

# Attachments

## Council Meeting

Monday 8 August 2022

**11.1      7-9 Barter Crescent, FOREST HILL (Lots 130 & 131 LP 50918)– Construction of six double storey dwellings and one single storey dwelling, and associated tree removal**

Attachment 1    7-9 Barter Crescent A3 Council Report Plans ..... 2

**11.2      Amendment C220 Residential Corridors Built Form Study  
Planning Scheme Amendment Re-authorisation**

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11.1            7-9 Barter Crescent, FOREST  
HILL (Lots 130 & 131 LP  
50918)– Construction of six  
double storey dwellings and one  
single storey dwelling, and  
associated tree removal

Attachment 1    7-9 Barter Crescent A3 Council Report  
Plans



11.1 – ATTACHMENT 1. 7-9 Barter Crescent A3 Council Report Plans



ADJOINING PUBLIC CARPARK



No. 7-9 BARTER CRESCENT, FOREST HILL



No. 11 BARTER CRESCENT, FOREST HILL

EXISTING STREETSCAPE - BARTER CRESCENT, FOREST HILL

SCALE APPROX 1:100

NOTE: STREETSCAPE ROTATED ALONG BOUNDARY LINES FOR CLARITY PURPOSES.



DESCRIPTION PLAN LEGEND

- DIRECTION OF SUNSHINE.
  - S.O.S LOCATION OF ADJOINING SECLUDED OPEN SPACE AREAS.
  - R/W RETAINING WALL.
  - SS SINGLE STOREY DWELLING.
  - SPL SPLIT LEVEL DWELLING.
  - DS DOUBLE STOREY DWELLING.
  - TS TRIPLE STOREY DWELLING.
  - B/V BRICK VENEER CLADDING.
  - W/B WEATHERBOARD CLADDING.
  - RENG RENOVATED FINISH.
  - TILED TILED ROOFS.
  - SHEET SHEET ROOFS.
  - SHNG SHINGLE ROOFS.
  - SLATE SLATE ROOFS.
- NOTE: WHERE NO FENCING STYLES HAVE BEEN SHOWN THIS INDICATES THE PROPERTY DOES NOT CONTAIN A FRONT FENCE.

LEVELS

THE PROPOSED SITE AND SURROUNDING AREA CONSISTS OF SLIGHT TO MODERATE UNDULATING TERRAIN.

THE PROPOSED SITE HAS APPROXIMATELY 1440MM FALL ON IT FROM SOUTH-EAST TO NORTH-WEST CORNERS.

FROM A VISUAL INSPECTION OF THE PROPOSED SITE THERE DOES NOT SEEM TO BE ANY IMMEDIATE RISE OR FALL BETWEEN THE PROPOSED AND ADJOINING SITES.

PLANNING

THE PROPOSED SITE IS LOCATED AT No. 7-9 BARTER CRESCENT, FOREST HILL AND IS COVERED BY THE 'WHITEHORSE PLANNING SCHEME'.

THE LAND IS INCLUDED IN A 'GENERAL RESIDENTIAL 1 ZONE' (GRZ1), AND HAS A SIGNIFICANT LANDSCAPE OVERLAY (SLO) ASSOCIATED WITH IT.

THERE ARE NO OTHER OVERLAYS ASSOCIATED WITH THIS SITE.

THERE ARE AMENDMENTS TO THE WHITEHORSE CITY COUNCIL GENERAL RESIDENTIAL SCHEDULE 1.

TREES

ALL SIGNIFICANT TREES HAVE BEEN SHOWN ON AND AROUND THE PROPOSED SITE.

ALL TREES WITHIN NO.9 BARTER CRESCENT WERE REMOVED UNDER PREVIOUS PLANNING PERMIT CONDITIONS. (PERMIT NO. 184/2015/2302) NO TREES HAVE BEEN REMOVED FROM NO.7 BARTER CRESCENT WITHIN THE PAST 12 MONTHS.

SOILS

FROM A VISUAL INSPECTION OF THE PROPOSED SITE, THERE SEEMS TO BE NO AREAS OF CONTAMINATED SOILS OR FILL.

NEIGHBOURHOOD CHARACTER

THE PROPOSED SITE IS WITHIN THE CITY OF WHITEHORSE AND LOCATED WITHIN NEIGHBOURHOOD CHARACTER AREA 'GARDEN SUBURBAN - PRECINCT 6' (GSE).

THE PROPOSED SITE IS ALSO WITHIN WALKING DISTANCE TO THE FOLLOWING PUBLIC FACILITIES:

- FOREST HILL CHASE SHOPPING AND ENTERTAINMENT CENTRE.
- FOREST HILL RESERVE, SWANWICK AQUATIC AND ASSOCIATED SPORTING CLUBS.
- PARNHAM PRIMARY SCHOOL, EMANUEL COLLEGE, BARNWOOD HEIGHTS PRIMARY SCHOOL AND FOREST HILL COLLEGE.
- NUMEROUS BUS ROUTES ALONG WILKINSON ROAD, SPRINGDALE ROAD AND CANTERBURY ROAD.

PLANNING AND ENVIRONMENT ACT 1987 WHITEHORSE PLANNING SCHEME

3/06/2022

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GARDEN SUBURBAN PRECINCT 6

KEY EXISTING CHARACTERISTICS

- Architecture is predominantly styles to styles in style, with double and triple fronted cream and orange brick veneer with pitched roofs. Some pockets of more contemporary style still are visible.
- Building material is predominantly brick with tiled roofs.
- Dwellings are predominantly single storey and standalone.
- Front setbacks are between 2 and 8m, with 2-3m setbacks from both side boundaries.
- Garages and carports are usually located behind the front setback, along one side boundary with a single crossover.
- Front fences are non-existent or low up to 0.8m and generally constructed of brick.
- Gardens are predominantly exotic, including shrubs, garden beds, lawns and canopy trees. There are some pockets of bushy gardens.
- Roads are sealed with upstanding kerbs and footpaths on both sides, except in new courts where roller kerbs are used.
- Trees are informally planted with mixed species and sizes.
- A number of properties back on to, or look towards sporting fields and other reserves, generally of an open landscape character.
- The topography of the area is flat to rolling.

PREFERRED CHARACTER STATEMENT

The modern, pitched roof dwellings will sit within well-maintained green settings and will not dominate the streetscape due to contrasting along patterns and substantial planting. The nature of dwelling separation will appear regular from the street, with buildings consistently built to one side boundary. The streets will have a spacious and lively feel, which is complemented by full trees in the public and private realm, visible from the street due to the frequent lack of or low front fencing and green nature strips.



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Issue	Date	Amendment	Plots	Date	Fax
1	19/08/21	PROPOSED 7-9 BARTER CRESCENT, FOREST HILL	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	19/08/21	03 9842 6650
2	19/08/21	PROPOSED 7-9 BARTER CRESCENT, FOREST HILL	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	19/08/21	03 9842 6650

NEIGHBOURHOOD & SITE DESCRIPTION PLAN.

THIS DRAWING AND DESIGN REMAINS THE PROPERTY OF ARCHITECTURAL DESIGNS P/L. AND MAY NOT BE USED WITHOUT WRITTEN CONSENT FROM ARCHITECTURAL DESIGNS P/L.

Date: 19 AUGUST 2021  
Scale: 1:600 & 1:100 @ A1  
Designer: M.W.  
Client: M.D.A.  
Checked: G.S.



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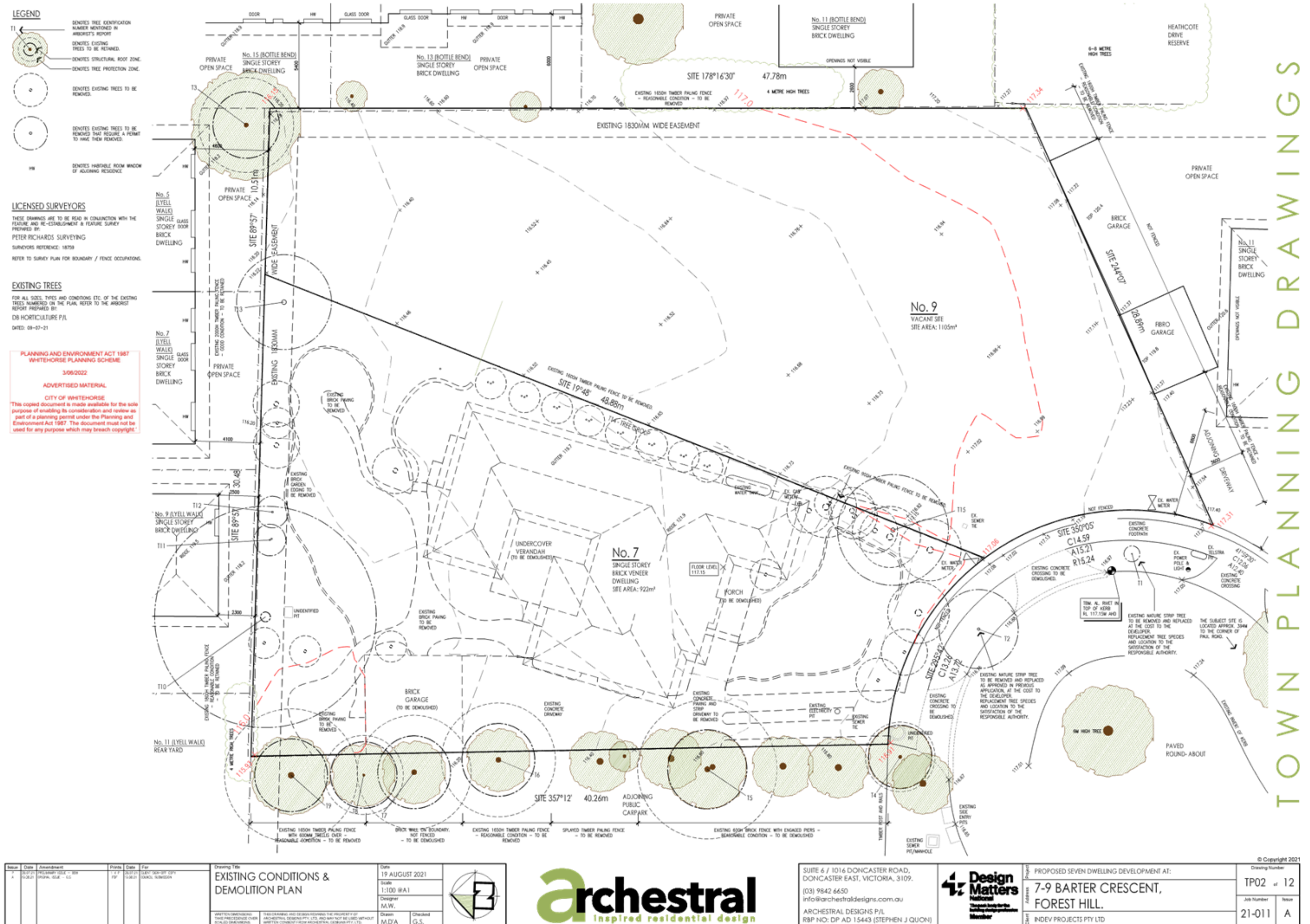


PROPOSED SEVEN DWELLING DEVELOPMENT AT:  
7-9 BARTER CRESCENT, FOREST HILL.  
INDEV PROJECTS PTY LTD

Drawing Number	TP01 of 12
Job Number	21-011
Room	A



11.1 – ATTACHMENT 1. 7-9 Barter Crescent A3 Council Report Plans





11.1 – ATTACHMENT 1. 7-9 Barter Crescent A3 Council Report Plans





DWELLING 1		
GROUND FLOOR	100.7 m <sup>2</sup>	10.8 SQUARES
FIRST FLOOR	87.4 m <sup>2</sup>	9.4 SQUARES
<b>TOTAL FLOOR AREA</b>	<b>188.1 m<sup>2</sup></b>	<b>20.2 SQUARES</b>
GARAGE	40.3 m <sup>2</sup>	4.3 SQUARES
PORCH	4.8 m <sup>2</sup>	0.5 SQUARES
PAVING	12.0 m <sup>2</sup>	1.3 SQUARES
SECURED PRIVATE OPEN SPACE > 5m	39.5 m <sup>2</sup>	
SECURED PRIVATE OPEN SPACE	6.5 m <sup>2</sup>	
<b>TOTAL OPEN SPACE</b>	<b>46.0 m<sup>2</sup></b>	
DWELLING 2		
GROUND FLOOR	86.2 m <sup>2</sup>	9.3 SQUARES
FIRST FLOOR	80.5 m <sup>2</sup>	8.7 SQUARES
<b>TOTAL FLOOR AREA</b>	<b>166.7 m<sup>2</sup></b>	<b>17.9 SQUARES</b>
GARAGE	36.8 m <sup>2</sup>	4.0 SQUARES
PORCH	4.3 m <sup>2</sup>	0.5 SQUARES
PAVING	12.0 m <sup>2</sup>	1.3 SQUARES
SECURED PRIVATE OPEN SPACE > 5m	35.9 m <sup>2</sup>	
SECURED PRIVATE OPEN SPACE	28.1 m <sup>2</sup>	
<b>TOTAL OPEN SPACE</b>	<b>69.0 m<sup>2</sup></b>	
DWELLING 3		
GROUND FLOOR	87.2 m <sup>2</sup>	9.4 SQUARES
FIRST FLOOR	64.1 m <sup>2</sup>	6.9 SQUARES
<b>TOTAL FLOOR AREA</b>	<b>151.3 m<sup>2</sup></b>	<b>16.3 SQUARES</b>
GARAGE	38.0 m <sup>2</sup>	4.1 SQUARES
PORCH	2.8 m <sup>2</sup>	0.3 SQUARES
PAVING	9.2 m <sup>2</sup>	1.0 SQUARES
SECURED PRIVATE OPEN SPACE > 5m	40.4 m <sup>2</sup>	
SECURED PRIVATE OPEN SPACE	46.6 m <sup>2</sup>	
<b>TOTAL OPEN SPACE</b>	<b>87.0 m<sup>2</sup></b>	
DWELLING 4		
GROUND FLOOR	91.2 m <sup>2</sup>	9.8 SQUARES
<b>TOTAL FLOOR AREA</b>	<b>91.2 m<sup>2</sup></b>	<b>9.8 SQUARES</b>
GARAGE	25.5 m <sup>2</sup>	2.7 SQUARES
PORCH	2.4 m <sup>2</sup>	0.3 SQUARES
PAVING	7.0 m <sup>2</sup>	0.8 SQUARES
SECURED PRIVATE OPEN SPACE > 5m	38.4 m <sup>2</sup>	
SECURED PRIVATE OPEN SPACE	67.0 m <sup>2</sup>	
<b>TOTAL OPEN SPACE</b>	<b>108.4 m<sup>2</sup></b>	
DWELLING 5		
GROUND FLOOR	87.2 m <sup>2</sup>	9.4 SQUARES
FIRST FLOOR	73.2 m <sup>2</sup>	7.9 SQUARES
<b>TOTAL FLOOR AREA</b>	<b>160.4 m<sup>2</sup></b>	<b>17.3 SQUARES</b>
GARAGE	37.5 m <sup>2</sup>	4.0 SQUARES
PORCH	2.8 m <sup>2</sup>	0.3 SQUARES
PAVING	12.0 m <sup>2</sup>	1.3 SQUARES
SECURED PRIVATE OPEN SPACE > 5m	43.7 m <sup>2</sup>	
SECURED PRIVATE OPEN SPACE	30.6 m <sup>2</sup>	
<b>TOTAL OPEN SPACE</b>	<b>74.3 m<sup>2</sup></b>	
DWELLING 6		
GROUND FLOOR	87.2 m <sup>2</sup>	9.4 SQUARES
FIRST FLOOR	84.5 m <sup>2</sup>	9.1 SQUARES
<b>TOTAL FLOOR AREA</b>	<b>171.7 m<sup>2</sup></b>	<b>18.5 SQUARES</b>
GARAGE	37.0 m <sup>2</sup>	4.0 SQUARES
PORCH	3.7 m <sup>2</sup>	0.4 SQUARES
PAVING	11.6 m <sup>2</sup>	1.2 SQUARES
SECURED PRIVATE OPEN SPACE > 5m	46.0 m <sup>2</sup>	
SECURED PRIVATE OPEN SPACE	31.2 m <sup>2</sup>	
<b>TOTAL OPEN SPACE</b>	<b>77.2 m<sup>2</sup></b>	
DWELLING 7		
GROUND FLOOR	102.8 m <sup>2</sup>	11.1 SQUARES
FIRST FLOOR	91.2 m <sup>2</sup>	9.8 SQUARES
<b>TOTAL FLOOR AREA</b>	<b>194.0 m<sup>2</sup></b>	<b>20.9 SQUARES</b>
GARAGE	39.8 m <sup>2</sup>	4.3 SQUARES
PORCH	4.0 m <sup>2</sup>	0.4 SQUARES
PAVING	12.0 m <sup>2</sup>	1.3 SQUARES
SECURED PRIVATE OPEN SPACE > 5m	38.8 m <sup>2</sup>	
SECURED PRIVATE OPEN SPACE	36.4 m <sup>2</sup>	
PRIVATE OPEN SPACE	64.7 m <sup>2</sup>	
<b>TOTAL OPEN SPACE</b>	<b>139.9 m<sup>2</sup></b>	



Issue	Date	Amendment	Points	Exp	Drawing Title	Date	
P1	15.05.21	POLYMERISE 100% - 00%	1-7	20.07.21	PROPOSED SITE/ FIRST FLOOR PLAN	25 MAY 2022	
P2	16.05.21	POLYMERISE 100% - 0.5	7/9	16.05.21		Scale	
A	15.05.22	10% REDUCED - 0.5	9/9	15.05.22		1:100 @A1	
						Designer	
						M.W.	
						Drawn	
						B.S.M.	Checked
							M.W.



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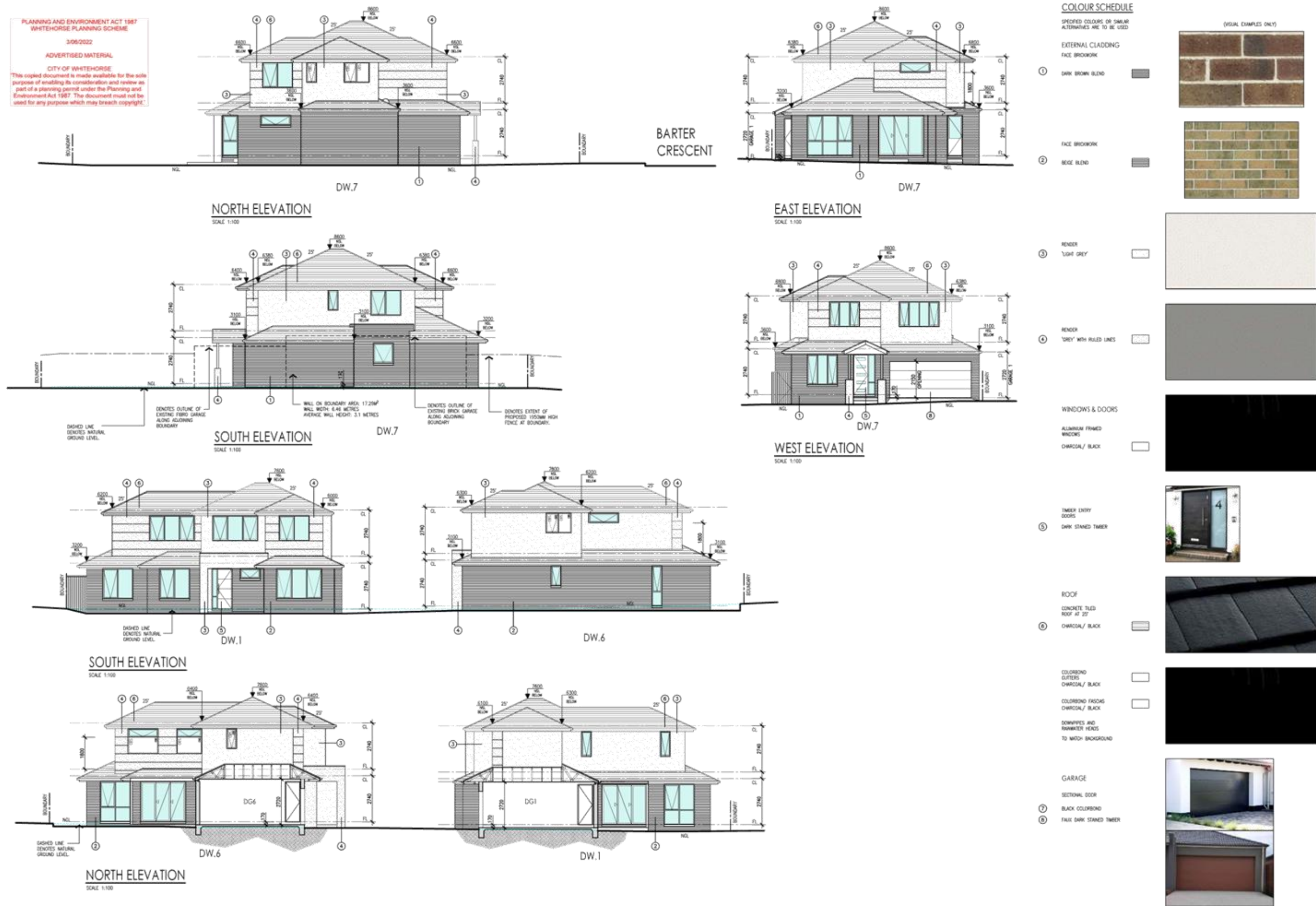


Project	PROPOSED SEVEN DWELLING DEVELOPMENT AT
Address	7-9 BARTER CRESCENT, FOREST HILL.
Client	INDEV / PROJECTS PTY LTD

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Drawing Number  
P04 of 12  
Job Number  
1-011  
Issue  
B



11.1 – ATTACHMENT 1. 7-9 Barter Crescent A3 Council Report Plans



Issue	Date	Amendment	Drawn	Check	Date	For
1	25/05/2022	PROPOSED ELEVATIONS - SHEET 1 & COLOUR SCHEDULE	A.B.	M.W.	25/05/2022	ARCHITECTURAL DESIGNS P/L
2	25/05/2022	PROPOSED ELEVATIONS - SHEET 1 & COLOUR SCHEDULE	A.B.	M.W.	25/05/2022	ARCHITECTURAL DESIGNS P/L
3	25/05/2022	PROPOSED ELEVATIONS - SHEET 1 & COLOUR SCHEDULE	A.B.	M.W.	25/05/2022	ARCHITECTURAL DESIGNS P/L



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11.1 – ATTACHMENT 1. 7-9 Barter Crescent A3 Council Report Plans



Issue	Date	Amendment	Drawn	Check	Scale	Notes
1	25/05/22	PROPOSED ELEVATIONS - SHEET 2 & COLOUR SCHEDULE	A.S.	M.W.	1:100 (A1)	
2	25/05/22	PROPOSED ELEVATIONS - SHEET 2 & COLOUR SCHEDULE	A.S.	M.W.	1:100 (A1)	
3	25/05/22	PROPOSED ELEVATIONS - SHEET 2 & COLOUR SCHEDULE	A.S.	M.W.	1:100 (A1)	

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PROPOSED SEVEN DWELLING DEVELOPMENT AT:  
7-9 BARTER CRESCENT,  
FOREST HILL.  
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Drawing Number  
TP06 of 12  
Job Number  
21-011  
Room  
B



11.1 – ATTACHMENT 1. 7-9 Barter Crescent A3 Council Report Plans



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**COLOUR SCHEDULE**  
SPECIFIED COLOURS OR SIMILAR ALTERNATIVES ARE TO BE USED

**EXTERNAL CLADDING**  
FACE BRICKWORK

① DARK BROWN BLEND

② BEIGE BLEND

③ RENDER  
LIGHT GREY

④ RENDER  
"GREY" WITH RULED LINES

**WINDOWS & DOORS**  
ALUMINIUM FRAMED WINDOWS  
CHARCOAL / BLACK

⑤ TIMBER ENTRY DOORS  
DARK STAINED TIMBER

**ROOF**  
CONCRETE TILED ROOF AT 25°

⑥ CHARCOAL / BLACK

**COLORBOND OUTLETS**  
CHARCOAL / BLACK

**COLORBOND FASCIA**  
CHARCOAL / BLACK

**DOWNSPIES AND RAINWATER HEADS**  
TO MATCH BACKGROUND

**GARAGE**  
SECTIONAL DOOR

⑦ BLACK COLORBOND

⑧ FAUX DARK STAINED TIMBER

**LETTERBOX ELEVATION - DWELLING 1**  
SCALE 1:50

**LETTERBOX PLAN - DWELLING 1**  
SCALE 1:50

**LETTERBOX ELEVATION - DWELLINGS 2-7**  
SCALE 1:50

**LETTERBOX PLAN - DWELLINGS 2-7**  
SCALE 1:50

**METERBOX ELEVATION**  
SCALE 1:50

**METERBOX PLAN**  
SCALE 1:50

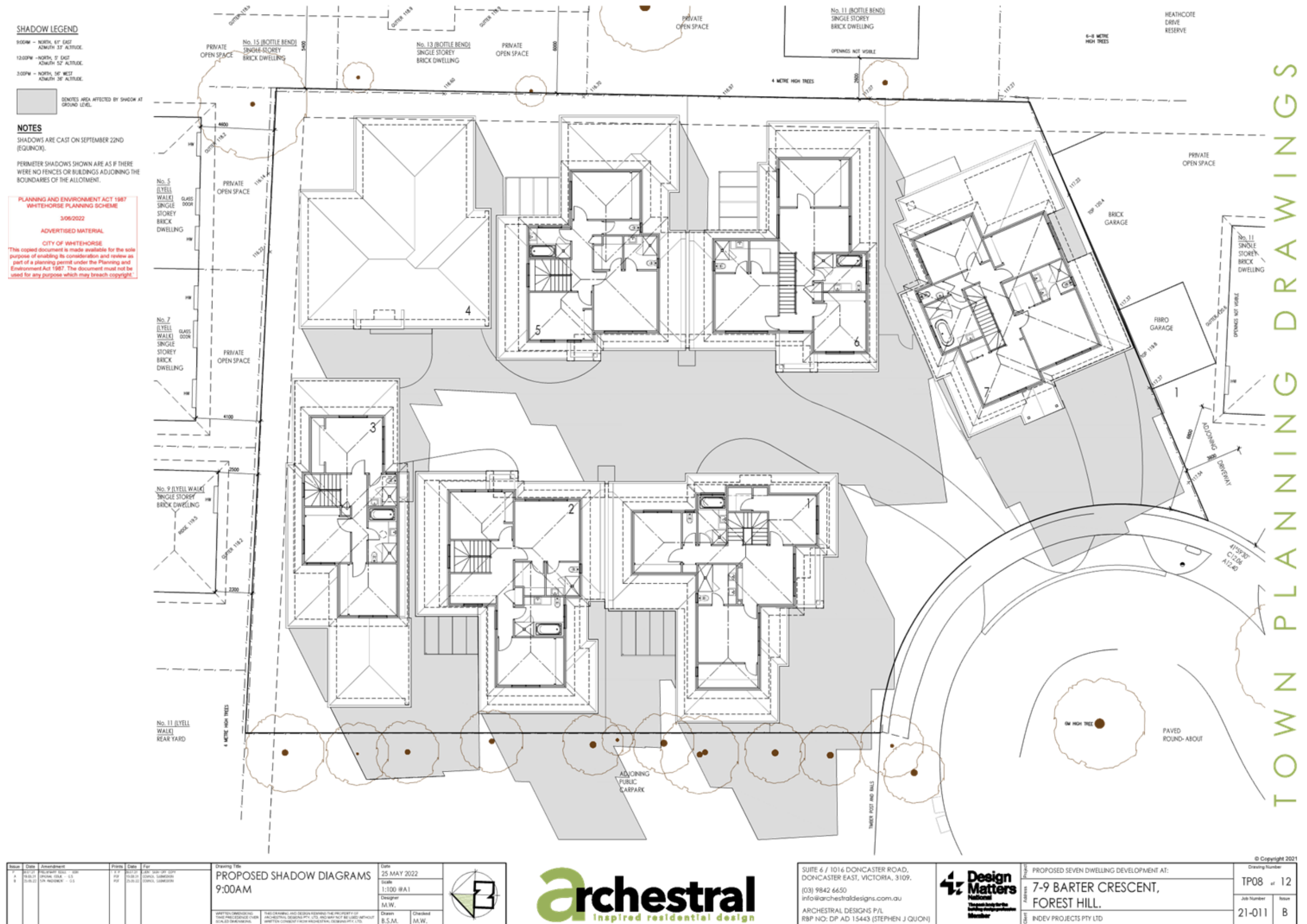
TOWN PLANNING DRAWINGS

Issue	Date	Amendment	Drawn	Check	By	Date	For
1	25/05/2022	PROPOSED ELEVATIONS - SHEET 3, COLOUR SCHEDULE & LETTERBOX/METERBOX DETAILS	A.B.	M.W.		25/05/2022	FOR APPROVAL
2	25/05/2022	PROPOSED ELEVATIONS - SHEET 3, COLOUR SCHEDULE & LETTERBOX/METERBOX DETAILS	A.B.	M.W.		25/05/2022	FOR APPROVAL
3	25/05/2022	PROPOSED ELEVATIONS - SHEET 3, COLOUR SCHEDULE & LETTERBOX/METERBOX DETAILS	A.B.	M.W.		25/05/2022	FOR APPROVAL



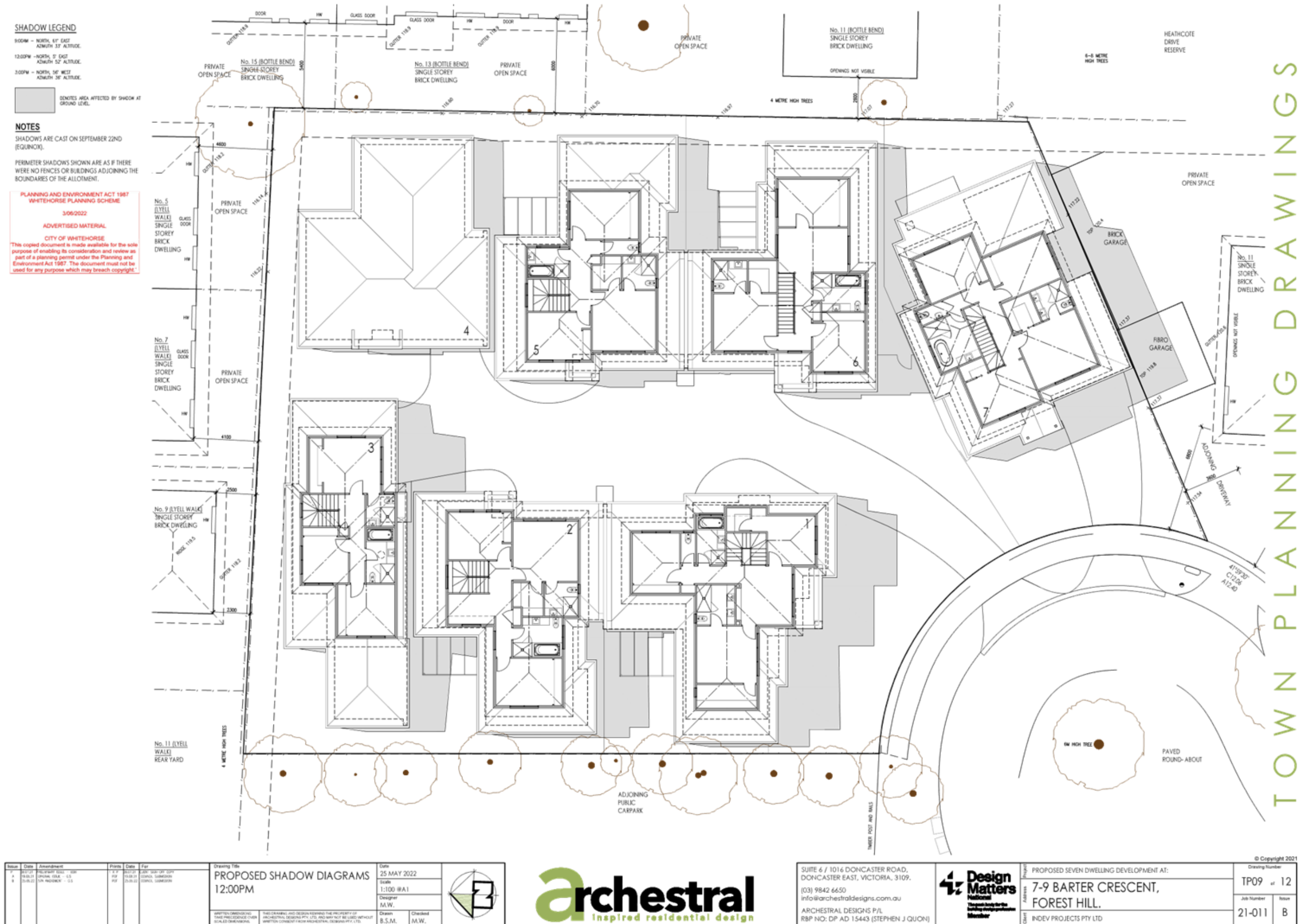
SUITE 6 / 1016 DONCASTER ROAD, DONCASTER EAST, VICTORIA, 3109. (03) 9842 6650 info@archestrалdesigns.com.au ARCHESTRAL DESIGNS P/L RBP NO: DP AD 15443 (STEPHEN J QUON)	<b>Design Matters</b> National The Best Industry Practice Member	PROPOSED SEVEN DWELLING DEVELOPMENT AT: 7-9 BARTER CRESCENT, FOREST HILL. INDEV PROJECTS PTY LTD	© Copyright 2021 Drawing Number TP07 of 12 Job Number 21-011 Room B
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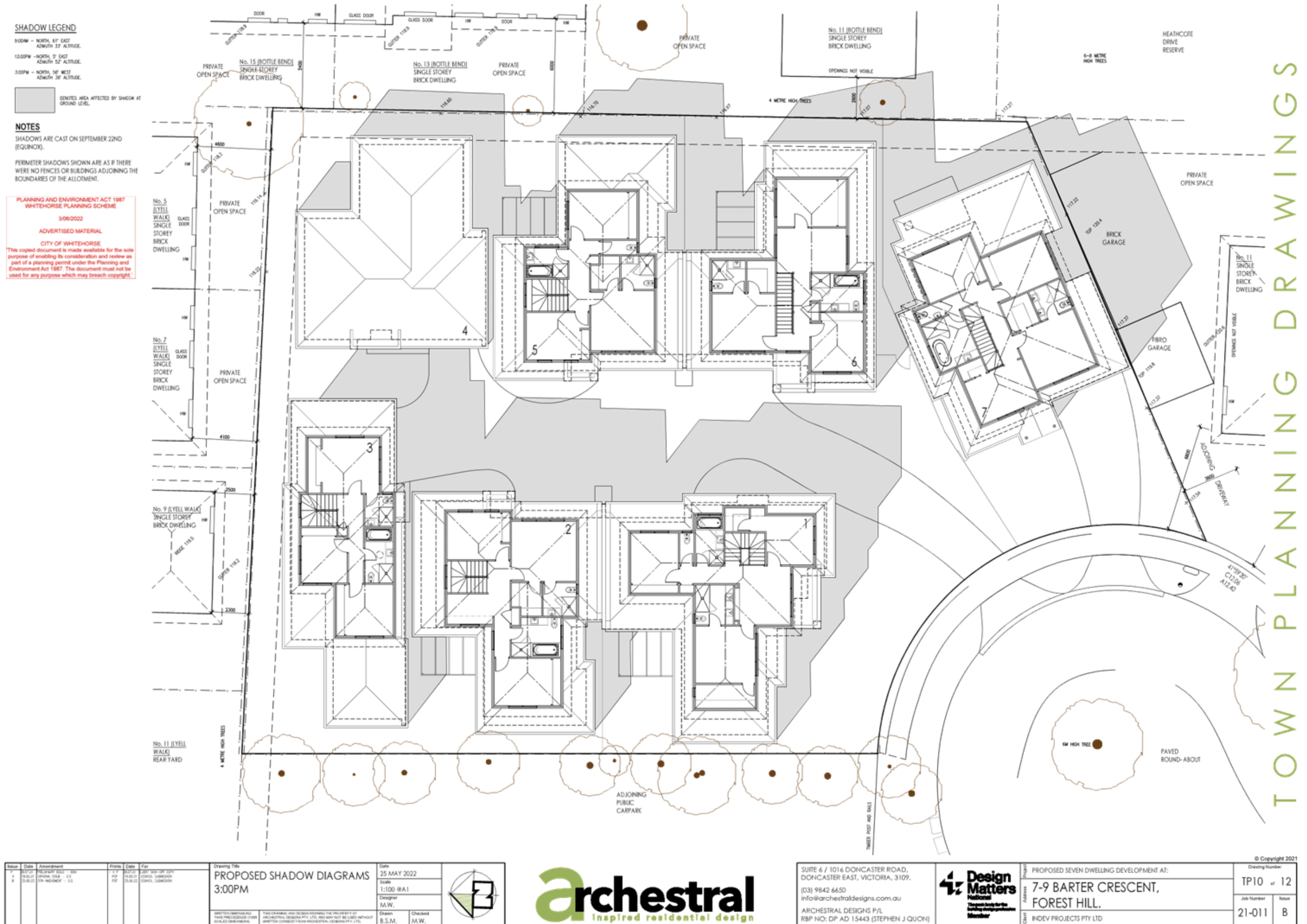




11.1 – ATTACHMENT 1. 7-9 Barter Crescent A3 Council Report Plans



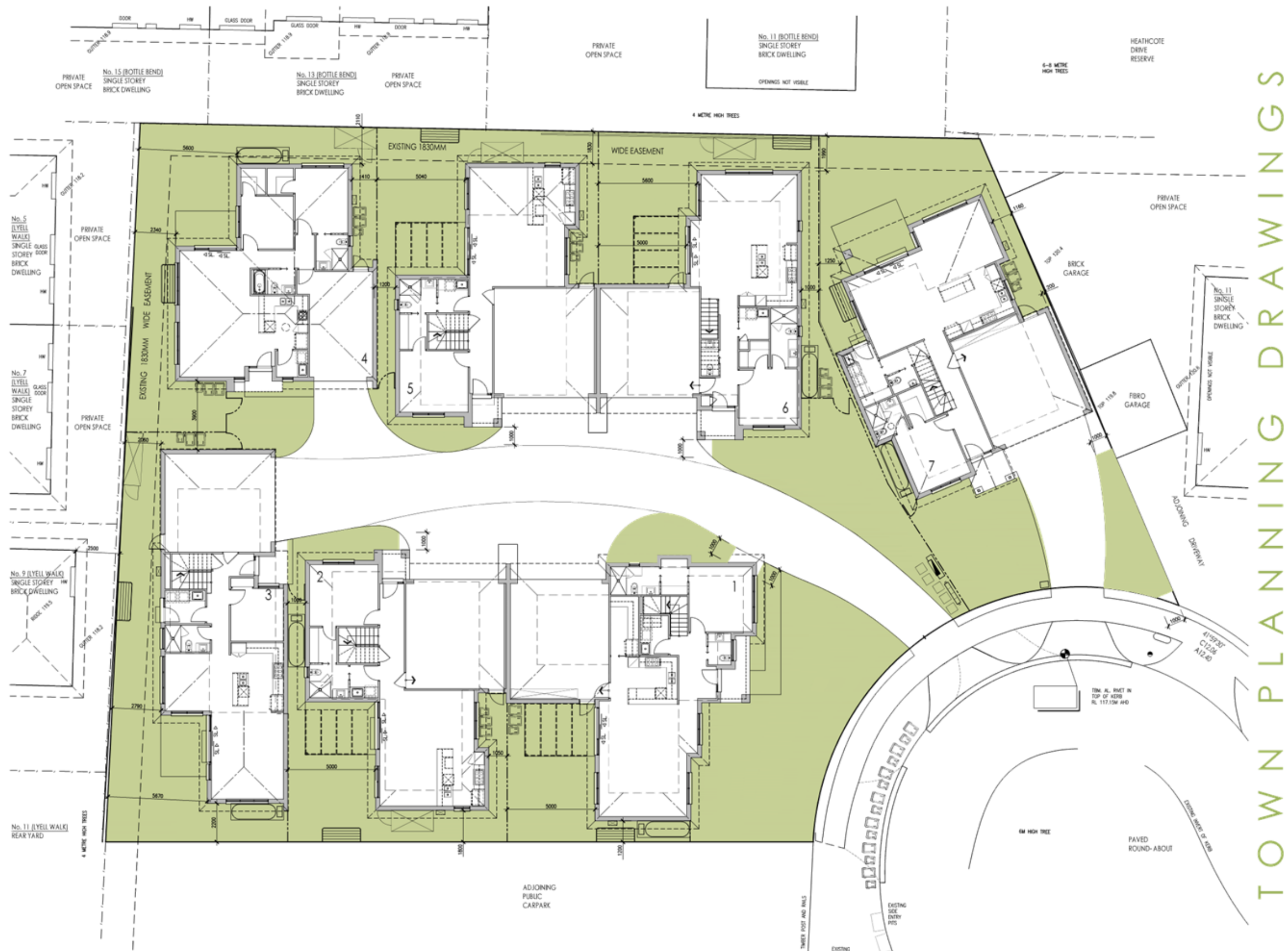
11.1 – ATTACHMENT 1. 7-9 Barter Crescent A3 Council Report Plans






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GARDEN AREA CALCULATIONS	
SITE AREA	2027.0 m <sup>2</sup>
	785.5 m <sup>2</sup>
GARDEN AREA - 35% MINIMUM	38.8 %



Issue	Date	Amendment	Plots	Fair	Drawing Title	Date	
1	28.07.21	REPLACEMENT - R&B	1 - F	1 - F	PROPOSED GARDEN AREA CALCULATIONS	25 MAY 2022	
2	21.08.21	ORIGINAL - R&B - U.S.	2 - B	2 - B		Scale	
3	23.05.22	U.S. REVISIONS - U.S.	3 - F	3 - F		1:100 @A1	
						Designer	
						M.W.	
WRITTEN CONSENTING HAS BEEN PROVIDED BY THE ARCHITECTURAL DESIGNER (FPA, LTD) AND MUST BE USED WITHOUT UNWRITTEN CONSENT FROM ARCHITECTURAL DESIGNER (FPA, LTD). THIS DRAWING AND DESIGN REMAINS THE PROPERTY OF ARCHITECTURAL DESIGNER (FPA, LTD) AND MUST BE USED WITHOUT UNWRITTEN CONSENT FROM ARCHITECTURAL DESIGNER (FPA, LTD). THIS DRAWING IS FOR INFORMATION ONLY.					THIS DRAWING AND DESIGN REMAINS THE PROPERTY OF ARCHITECTURAL DESIGNER (FPA, LTD) AND MUST BE USED WITHOUT UNWRITTEN CONSENT FROM ARCHITECTURAL DESIGNER (FPA, LTD). THIS DRAWING IS FOR INFORMATION ONLY.	Drawn B.S.M.	Checked M.W.



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Address	7-9 BARTER CRESCENT, FOREST HILL.
Client	INDEV PROJECTS PTY LTD

Drawing Number	
TP11 of 12	
Job Number	Issue
21-011	B





No. 11 BARTER CRESCENT, FOREST HILL

PROPOSED STREETScape - BARTER CRESCENT, FOREST HILL

SCALE APPROX 1:100  
NOTE: STREETSCAPE ROTATED ALONG BOUNDARY LINES FOR CLARITY PURPOSES.



**DESIGN RESPONSE LEGEND**

- |   |   |
|---|---|
|  | → DIRECTION OF SUNSHINE.                            |
| S.O.S.  | LOCATION OF ADJOINING<br>SECLUDED OPEN SPACE AREAS. |
| R/W   | RETAINING WALL.                                     |
| SS  | SINGLE STORY DWELLING.                              |
| SPL   | SPLIT LEVEL DWELLING.                               |
| DS  | DOUBLE STORY DWELLING.                              |
| TS  | TRIPLE STORY DWELLING.                              |
| R/V   | BRICK VENEER CLADDING.                              |
| W/B   | WEATHERBOARD CLADDING.                              |
| HEND.   | HENDERED FINISH.                                    |
| TILED   | TILED ROOFS.  |
| SHEET   | SHEET ROOFS.  |
| SHNG  | SHINGLE ROOFS.                                      |
| SLATE   | SLATE ROOFS.  |
- NOTE: WHERE NO FENCING SYMBOLS HAVE BEEN SHOWN THIS INDICATES THE PROPERTY DOES NOT CONTAIN A FRONT FENCE.

## DESIGN RESPONSE NOTES

THE CITY OF WHITEHOUSE NEIGHBORHOOD CHARACTER STUDY requires CERTAIN CHARACTER ELEMENTS AND OBJECTIVES TO BE MET. FOLLOWING ARE THE CHARACTER ELEMENTS FOR GARDEN STRIP AND PRESERVIST A-1 AREAS THAT WILL BE AFFECTED BY PROPOSED SITE, AND OUR RESPONSE TO THEM.

**GARDENS AND LANDSCAPING:**  
THE PROPOSED SITES CURRENTLY CONTAIN MINIMAL VEGETATION. VEGETATION LOCATION ON SITE IS NOT CONSIDERED WORTHY OF RETENTION.  
ALL SITE VEGETATION IS TO BE REMOVED.  
DUE TO THE LOCATION TO BE REMOVED FROM THE PROPOSED SITE, TREES REMOVED 10, 12.8 & 15 REQUIRE A PLANNING PERMIT UNDER THE SIGNIFICANT LANDSCAPE ORLANDO - SCHEDULE 8 PROVISIONS.  
THE REMOVAL OF TREE #1 LOCATED WITHIN THE NATURE STRIP IS AN UNMATURE SPECIES AND IS PROPOSED TO BE REMOVED / RELOCATED AT THE DEVELOPERS EXPENSE.  
THE REMOVAL OF TREE #2 LOCATED WITHIN THE NATURE STRIP IS ALREADY APPROVED FOR REMOVAL UNDER PLANNING PERMIT WH/2018/517

ALL OTHER SITE VEGETATION TO BE REMOVED IS LESS THAN 5.0 METERS IN HEIGHT OR IS CLASSIFIED AS AN ENVIRONMENTAL WEED IN ACCORDANCE TO THE SLOES, THIS NOT REQUIRING A PLANNING PERMIT TO BE REMOVED.

THE VEGETATION ADJACENT TO THE PROPOSED SITE IS SEEN TO BE ADEQUATELY PROTECTED.

EACH DWELLING HAS BEEN PROVIDED WITH A 5M X 5M PLANTING AREA, WHICH WILL ALLOW FOR CANOPY TREE PLANTING TO OCCUR WITHIN THE OPEN SPACES. THE PROPOSED SITES TREE PLANTING WITHIN OPEN SPACE AREAS WILL HAVE THE POTENTIAL TO GROW IN EXCESS OF 8.0 METERS.

ONCE THE DEVELOPMENT OF COMBINES TWO SITES, TWO VEHICLE CROSSINGS ACCESSING THE SITE WAS SEEN TO BE APPROPRIATE.

**MINIMAL LOT SIZE:**  
THE PROPOSED SITE IS ZONE GENERAL RESIDENTIAL (GR2).  
GIVEN THE DENSITY OF EXISTING DEVELOPMENT THRU-OUT THE NEIGHBORHOOD CHARACTER AREA, THE DENSITY OF THIS PROPERTY IS SEEN TO BE APPROPRIATE.

THE DEVELOPMENT HAS BEEN DESIGNED WITH MINIMAL WALLS LOCATED ON THE BOUNDARY.  
THE PROPOSED FRONT SETBACK IS 7000MM, WHICH IS A COINCIDENT SETBACK TO THE CHARACTER AREA AND GREATER THAN THAT OF THE ADJACING DOWLING-TOU TO THE SOUTH.

SETBACKS PROVIDED THRU-OUT THE SITE ARE SEEN TO BE APPROPRIATE TO OTHER DEVELOPMENTS WHICH CURRENT OCCUR THRU-OUT THE SURROUNDING CHARACTER AREA.  
THESE SETBACKS ARE NOT SEEN TO CAUSE ANY DETRIMENTAL IMPACTS ON ADJACING HABITABLE AREAS.

**PARK INTERFERENCE:**  
THE PROPOSED SITE IS ADJACENT BY A PUBLIC PARKWAY TO THE SOUTH, WHILE THE SOUTH-EAST CORNER OF THE SITE ADJACES THE HEATHCOTE PARK RESERVE.  
THE PROPOSED DEVELOPMENT IS NOT SEEN TO CAUSE ANY DETRIMENT TO THESE AREAS.

**BUILDING HEIGHT AND FORM:**  
THE HEIGHT OF THE PROPOSED DEVELOPMENT DOES NOT EXCEED TWO STOREYS.  
THE PROPOSED DEVELOPMENT IS TO CONSIST OF SEVEN NEW DOUBLE STOREY DWELLINGS, WITH PITCHED TILED ROOFS AND GABLE OVERHANGS.

THESE DWELLINGS HAVE BEEN ADAPTIVELY SETBACK FROM THE TITLE BOUNDARY AND HAVE BEEN DESIGNED WITH FLAT FORMING AND ARTICULATION THAT RESPECT THE FORM OF THE CHARACTER AREA.

**MATERIALS AND DESIGN DETAIL:**  
THE PROPOSED DEVELOPMENT PROVIDES FOR SEVEN (7) WELL-ARTICULATED DWELLINGS.

THESE DWELLINGS HAVE BEEN DESIGNED TO COMPLEMENT THE EXISTING CHARACTER OF THE AREA AND RESPECT THE BUILD FORM AND MATERIALS CURRENTLY LOCATED THRU-OUT THE AREA.

**DRIVE FENCING:**  
NO FENCING IS PROPOSED TO THE BARTER CRESCENT FRONTAGE.

PLANNING AND ENVIRONMENT ACT 1957  
WHITEHORSE PLANNING SCHEME  
3/06/2022  
ADVERTISED MATERIAL  
CITY OF WHITEHORSE  
This copied document is made available for the purpose of enabling its consideration and review as part of a planning permit under the Planning and Environment Act 1957. The document must not be used for any purpose which may breach copyright.

<table><tr><th>Issue</th><th>Date</th><th>Amendment</th></tr><tr><td>1</td><td>14.05.22</td><td>FOR REQUEST - 0.0L - 0.0L</td></tr><tr><td>2</td><td>15.05.22</td><td>SAR REQUEST - 0.0L - 0.0L</td></tr></table>			Issue	Date	Amendment	1	14.05.22	FOR REQUEST - 0.0L - 0.0L	2	15.05.22	SAR REQUEST - 0.0L - 0.0L	<table><tr><th>Points</th><th>Date</th><th>For</th></tr><tr><td>1</td><td>14.05.22</td><td>FOR REQUEST - 0.0L - 0.0L</td></tr><tr><td>2</td><td>15.05.22</td><td>SAR REQUEST - 0.0L - 0.0L</td></tr></table>			Points	Date	For	1	14.05.22	FOR REQUEST - 0.0L - 0.0L	2	15.05.22	SAR REQUEST - 0.0L - 0.0L	<div><div><div><div>Drawing Title</div><div>DESIGN RESPONSE PLAN.</div></div><div><div>THIS DRAWING AND DESIGN RESPONSE PLAN IS THE PROPERTY OF JAC+ASTRAL DESIGN PTY. LTD. AND MAY NOT BE USED WITHOUT THE WRITTEN CONSENT OF JAC+ASTRAL DESIGN PTY. LTD.</div></div></div></div>			<div><div><div>Date</div><div>25 MAY 2022</div></div><div><div>Scale</div><div>1:600 &amp; 1:100 @A1</div></div><div><div>Designer</div><div>M.W.</div></div><div><div>Drawn</div><div>A.R.</div></div><div><div>Checked</div><div>G.S.</div></div></div>					
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SUITE 6 / 1016 DONCASTER ROAD,  
DONCASTER EAST, VICTORIA, 3109.  
(03) 9842 6650  
info@archestraldesigns.com.au  
ARCHESTRAL DESIGNS P/L  
RBP NO: DP AD 15443 (STEPHEN J QUON)



Project	PROPOSED SEVEN DWELLING DEVELOPMENT AT:
Address	7-9 BARTER CRESCENT, FOREST HILL.
Client	INDEV PROJECTS PTY LTD

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Drawing Number	
TP12 of 12	
Job Number	Issue
21-011	B

TOWN PLANNING DRAWINGS



11.2            Amendment C220 Residential  
Corridors Built Form Study  
Planning Scheme Amendment  
Re-authorisation

Attachment 1    Attachment 1 - Whitehorse Planning  
Scheme Amendment C239 Authorisation  
refusal letter 21-12-2021

Attachment 2    Attachment 2 - Amendment C220whse  
Revised DDO11

Attachment 3    Attachment 3 - Revised Clause 22.03 -  
C220

**11.2 – ATTACHMENT 1. Attachment 1 - Whitehorse Planning Scheme Amendment C239 Authorisation refusal letter 21-12-2021**



Department of Environment,  
Land, Water and Planning

8 Nicholson Street  
East Melbourne, Victoria 3002  
PO Box 500  
East Melbourne, Victoria 8002

Mr Simon McMillan  
Chief Executive Officer  
Whitehorse City Council  
Email address: [vanessa.mclean@whitehorse.vic.gov.au](mailto:vanessa.mclean@whitehorse.vic.gov.au)

Dear Mr McMillan

**PROPOSED WHITEHORSE PLANNING SCHEME AMENDMENT C239  
WHITEHORSE RESIDENTIAL CORRIDORS**

I refer to your council's application for authorisation to prepare an amendment to the Whitehorse Planning Scheme. The amendment proposes to implement the outcomes of the *Whitehorse Residential Corridors Built Form Study* by introducing and applying Schedule 11 of the Design and Development Overlay (DDO11) to land included in the Residential Growth Zone along key road corridors the City of Whitehorse.

Pursuant to section 8A of the *Planning and Environment Act 1987*, I do not authorise your council to prepare the amendment.

In deciding not to authorise preparation of this amendment, I considered the following matters:

- The inadequate strategic basis for the proposed schedule to the Design and Development Overlay, and failure to satisfy the guidelines set out in *Planning Practice Note 59: The role of mandatory provisions in planning schemes*.
- The Victoria Planning Provisions, the objectives at section 4 of the *Planning and Environment Act 1987*, and the current Ministerial Directions.
- The effect of the proposed schedule and its mandatory setbacks on development opportunities, including the decrease in the expected yield within nominated growth areas in key road corridors.

Should Council wish to proceed with Amendment C220, all authorisation conditions must be met.

If council wish to make modifications to this amendment which do not affect conditions of authorisation, these may be discussed with DELWP officers and it can be determined whether it is possible to consent to these modifications as part of the Amendment C220 authorisation. Variation of the threshold for which a permit required (above 3 storeys) and variation of the mandatory maximum height to be uniform across all precincts as proposed by C239 could be considered if council wish to seek modification to the Amendment C220 authorisation.

If you have any further queries in relation to this matter please contact Mick Kannegiesser, Planner, Department of Environment, Land, Water and Planning, on 03 8508 2064 or email [mick.kannegiesser@delwp.vic.gov.au](mailto:mick.kannegiesser@delwp.vic.gov.au).

Yours sincerely

**Privacy Statement**

Any personal information about you or a third party in your correspondence will be protected under the provisions of the Privacy and Data Protection Act 2014. It will only be used or disclosed to appropriate Ministerial, Statutory Authority, or departmental staff in regard to the purpose for which it was provided, unless required or authorised by law. Enquiries about access to information about you held by the Department should be directed to the Privacy Coordinator, Department of Environment, Land, Water and Planning, PO Box 500, East Melbourne, Victoria 8002



OFFICIAL



**11.2 – ATTACHMENT 1. Attachment 1 - Whitehorse Planning Scheme Amendment C239 Authorisation  
refusal letter 21-12-2021**



**Jason Close**  
**Manager State Planning Services**

**21 December 2021**



OFFICIAL

11.2 – ATTACHMENT 2. Attachment 2 - Amendment C220whse Revised DDO11

WHITEHORSE PLANNING SCHEME

—/—/20—  
C220—

**SCHEDULE 11 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT  
OVERLAY**

Shown on the planning scheme map as **DDO11**.

**RESIDENTIAL GROWTH CORRIDORS**

**1.0 Design objectives**

—/—/20—  
C220

To ensure development achieves high quality public realm and public open space in relation to human scale and micro-climate conditions by providing a comfortable, pedestrian-friendly urban environment.

To ensure that the height of new buildings provides an acceptable built form interface with adjoining development in other zones.

To ensure the height and built form of new buildings do not visually dominate the street or compromise the character and amenity of adjacent low-rise residential areas.

To maintain the visual prominence of landscaping and ensure space for medium and large trees on site, particularly within the front and rear setbacks.

To encourage lot consolidation in order to achieve the maximum building heights and to provide for sufficient building setbacks to deliver high levels of internal amenity.

**2.0 Buildings and works**

—/—/20—  
C220

**Permit requirement**

A permit is not required to construct a building or construct or carry out works for a development up to 3 storeys under this Schedule.

A permit is required to construct a front fence.

**Building and works requirements**

**Building height**

- A building must not exceed a height of 19 metres and 6 storeys, except where the height of an existing building on the land already exceeds 19 metres, in which case new buildings and works must not exceed the height of the existing building in metres and storeys. A permit cannot be granted to vary this requirement.
- For the purpose of the above building height requirement, building height excludes rooftop services, such as plant rooms, air conditioning, lift overruns, roof mounted equipment and the like, that cannot be seen from any adjoining public space or are designed as architectural roof top features.

**Building setbacks**

- Buildings and works must be in accordance with the front setback specified in the Table 1 to this schedule. A permit cannot be granted to vary this requirement.



11.2 – ATTACHMENT 2. Attachment 2 - Amendment C220whse Revised DDO11

WHITEHORSE PLANNING SCHEME

Table 1 to Schedule 11

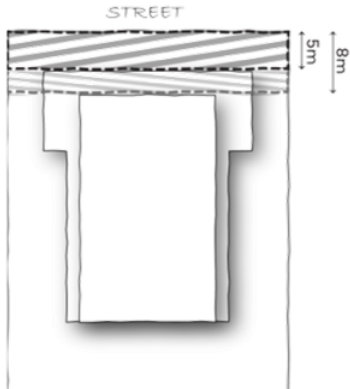
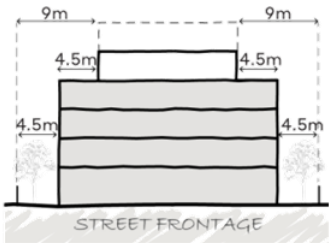
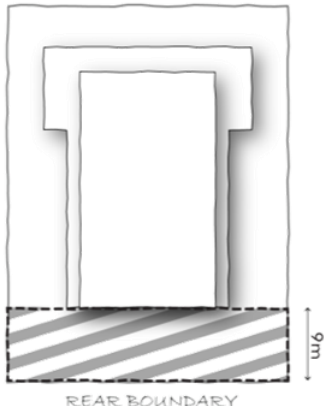
Measure		
Front setback	Minimum 5 metres with an additional 3 metres to levels above 4 storeys	

Table 2 to Schedule 11

- Buildings and works should be in accordance with the side and rear setback specified in the Table 2 to this schedule.

Measure		
Side setback	Minimum of 4.5 metres with an additional 4.5 metres to levels above 4 storeys	
Rear setback	Minimum of 9 metres	

## 11.2 – ATTACHMENT 2. Attachment 2 - Amendment C220whse Revised DDO11

### WHITEHORSE PLANNING SCHEME

#### Pedestrian interface

- Buildings at the ground floor should:
  - Present attractive, pedestrian orientated frontages which avoid blank walls, car parking areas and wide car park entrances.
  - Avoid service areas and other utility requirements, including fire hydrants and mailboxes, unless they are integrated into a landscaped front setback.
  - Avoid unscreened waste storage areas when viewed from a street.
  - Maximise windows at ground level and avoid high front fences to provide passive surveillance of the street.

#### Overshadowing

- No additional shadowing to adjacent public open space between 12.00pm and 2.00pm on 22 September.

#### Landscaping

- Developments should:
  - Provide a minimum deep soil area relative to tree height, which is a minimum depth of 800mm (for small trees), 1000mm (for medium trees) and 1200mm (for large trees).
  - Ensure the green character and tree canopy of the area is enhanced with deep soil plantings in the front, side and rear setbacks.

#### 3.0

--/20--  
C220

#### Subdivision

None specified.

#### 4.0

--/20--  
C220

#### Signs

None specified.

#### 5.0

--/20--  
220

#### Application requirements

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A wind tunnel assessment prepared by a suitably qualified person that:
  - Models the wind effects of the proposed development and its surrounding buildings.
  - Demonstrates the proposed development will not cause unsafe wind conditions.
  - Explains the effect of the proposed development on the wind conditions in publicly accessible areas.
  - Shows the development will allow for comfortable sitting in any public open space, standing in any pedestrian entrance and walking in any pedestrian walkway.

#### 6.0

--/20--  
C220

#### Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the development provides an appropriate transition to an adjoining residential zone or public open space.



**11.2 – ATTACHMENT 2. Attachment 2 - Amendment C220whse Revised DDO11**

WHITEHORSE PLANNING SCHEME

- Whether the development maintains a mid-rise scale that enhances the sense of openness, maintains access to expansive sky views along the corridor and allows maximum solar access to low-rise residential development in the adjoining and adjacent areas.
- Whether the development provides for adequate sun penetration at street level and mitigates wind down-draughts through upper level setbacks.
- Whether the development achieves an acceptable built form interface with the public realm, so as not to dominate the streetscape or appear as a continuous wall at street level or nearby vantage points if adjoining and/or nearby sites are developed in a similar manner.
- Whether the development allows for deep soil planting and landscaping within the front, side and rear setbacks.
- Whether the development achieves high architectural quality.
- Whether the development provides adequate sunlight, daylight and privacy, and outlook from habitable rooms, for both existing and proposed developments.
- Whether any additional overshadowing of adjacent public open space will:
  - Reduce the extent to which sunlight will be available between 12:00pm and 2:00pm on 22 September, including the cumulative impacts if adjacent land is developed in accordance with the planning scheme.
  - Not have an adverse impact on the landscaping, including plants, trees and lawn or turf surfaces in the public space.
  - Not compromise the existing and future use, quality and amenity of the public open space.

## 11.2 – ATTACHMENT 3. Attachment 3 - Revised Clause 22.03 - C220

### WHITEHORSE PLANNING SCHEME

#### 22.03 RESIDENTIAL DEVELOPMENT

14/10/2014  
C160

This policy applies to all applications for development within the Neighbourhood Residential, General Residential, Residential Growth, Mixed Use and Priority Development Zones. Development of land in these zones will need to demonstrate consistency with the attached Neighbourhood Character Precincts map (Map 1).

This policy will be used to supplement the neighbourhood character and residential policy requirements of Clauses 54, 55 and 56.

##### 22.03-1 Policy basis

14/10/2014  
C160

The importance of residential development within the City of Whitehorse is set out in the Municipal Strategic Statement (MSS).

This policy:

- Builds on the MSS objectives in Clause 21.06 – Housing relating to maintaining and enhancing the character of the City’s residential areas.
- Ensures that residential development within the City of Whitehorse is consistent with the three categories of housing change and the housing objectives of Clause 21.06 – Housing.
- Specifies the preferred built form, landscape and neighbourhood character sought by Council and the community for each of the Character Precincts within the City of Whitehorse.
- Builds on the MSS objectives in Clause 21.05 – Environment relating to ensuring that development is of high quality and compatible with the character and appearance of the area and providing adequate open space and landscaping for new development.

##### 22.03-2 Objectives

14/10/2014  
C160

- To ensure that residential development within the City of Whitehorse is consistent with the built form envisaged for the three categories of housing change, those being limited, natural and substantial change.
- To ensure development contributes to the preferred neighbourhood character where specified.
- To provide certainty to the community about the areas targeted for and protected from increased development.
- To ensure that new development minimises the loss of trees and vegetation.
- To ensure that new development does not detract from the natural environment and ecological systems.
- To ensure that new development provides adequate vegetation and gardens consistent with the preferred neighbourhood character.
- To recognise the potential for change as a result of new social and economic conditions, changing housing preferences and State and local planning policies.
- To accommodate the population increases in the municipality in the areas identified as being able to sustain higher density based on environmental and infrastructure considerations.
- To recognise that areas of substantial and natural change will make a significant contribution to increases in housing stock.
- To facilitate development in areas of substantial change.



## 11.2 – ATTACHMENT 3. Attachment 3 - Revised Clause 22.03 - C220

### WHITEHORSE PLANNING SCHEME

- To limit dwelling densities in the limited change areas identified as having either character, heritage, environmental or infrastructure constraints.

#### 22.03-3 Policy

14/10/2014  
C160

It is policy that:

Council will assess new applications for dwellings and subdivisions against the relevant objectives and strategies for the three categories of housing change, as identified in Clause 21.06 – Housing and detailed below in Clause 22.03-4.

Council will ensure that the Preferred Character Statements specified in Clause 22.03-5 and relevant precinct guidelines within the Whitehorse Neighbourhood Character Study 2014 will be applied to all applications for dwellings and subdivisions in the specified Character Area, Institutional or other large strategic development sites.

#### 22.03-4 Categories of Housing Change

14/10/2014  
C160

##### Strategies for Limited Change Areas

- Ensure residential development is of a scale, form and character that is consistent with the surrounding area, and will predominantly comprise:
  - Detached dwellings
  - Semi-detached dwellings
- Provide some diversity of dwelling sizes and tenures, including affordable housing, where feasible.
- Ensure the scale and appearance of new housing respects the appearance of surrounding development and the environmental, heritage and neighbourhood character values of the area.
- Encourage the retention of older dwellings in areas where these buildings dominate, and limit new development to two dwellings per lot.

##### Strategies for Natural Change Areas

- Encourage low and medium density housing in the following forms:
  - Detached houses.
  - Semi-detached dwellings, townhouses, row or terrace houses.
  - Units or townhouses.
- Support new medium density developments in Natural Change Areas that:
  - contribute to the preferred neighbourhood character for the location.
  - provide a sensitive and appropriate interface with adjoining streetscapes, buildings and residential areas.
- Provide a range of dwelling types, sizes and tenures, including affordable housing, in larger developments.
- Locate medium density housing, in the form of townhouses or units, close to transport, activity centres and community infrastructure.
- Ensure that the siting and design of new dwellings is respectful of surrounding development.
- Ensure buildings interfacing sensitive areas and uses in natural change areas are of a scale and massing appropriate to the character and scale of their context.
- Consider the retention of older dwellings in areas where these buildings dominate.

## 11.2 – ATTACHMENT 3. Attachment 3 - Revised Clause 22.03 - C220

### WHITEHORSE PLANNING SCHEME

#### Strategies for Substantial Change Areas

- Encourage the following forms of housing in Substantial Change areas:
  - Townhouses.
  - Units.
  - Flats and apartments.
- Shop-top dwellings and low scale apartment developments in activity centres:
  - Are encouraged at locations within key Neighbourhood Activity Centres identified in Schedule 4 to the Design and Development Overlay and in designated areas abutting the Principal Public Transport Network and main roads.
  - Should provide a sensitive and appropriate interface to adjoining streetscapes, buildings and residential areas.
- Locate new development in the form of flats and apartments in Substantial Change Areas only.
- Provide a range of dwelling types, sizes and tenures, including affordable housing, in larger developments.
- Ensure buildings interfacing sensitive areas and uses have a scale and massing appropriate to the character and scale of their context.
- Create a new, higher density urban character in areas located away from sensitive interfaces.
- Prioritise works to improve the appearance, function and safety of the public realm in locations subject to the greatest increase in residential density.
- In new street layout, add to and extend the pattern of surrounding streets, and provide convenient, safe and frequent pedestrian connections into surrounding areas.
- Ensure streets and other spaces are designed and managed as public spaces with unconstrained access, with high quality and durable finishes.
- Ensure new development provides space for planting, communal spaces and rooftop gardens to improve the amenity and liveability of dwellings.
- Ensure adequate infrastructure is in place to support substantial change areas.

#### 22.03-5 Preferred Character Statements

14/10/2014  
C160

##### Bush Environment

The streetscapes will be dominated by vegetation with subservient buildings frequently hidden from view behind vegetation and tall trees. The buildings will nestle into the topography of the landscape and be surrounded by bush-like native and indigenous gardens, including large indigenous trees in the private and public domains.

Buildings and hard surfaces will occupy a very low proportion of the site. They will be sited to reflect the prevailing front, rear and side setbacks. The larger rear setbacks will accommodate substantial vegetation including large canopy trees. The bushy environs are complemented by street trees and a lack of front fencing. Properties abutting and close to creeks and lake environs will contain more indigenous trees and shrubs that act in part as wildlife corridors.

This precinct is identified for the lowest scale of intended residential growth in Whitehorse (Limited Change area) and the preservation of its significant landscape character and environmental integrity is the highest priority.

##### Bush Suburban 1



## 11.2 – ATTACHMENT 3. Attachment 3 - Revised Clause 22.03 - C220

### WHITEHORSE PLANNING SCHEME

Dwellings will be dominated by the vegetated surrounds and sit within the landscape. While often visible from the street, buildings will not dominate the streetscape or penetrate the predominant tree canopy height and will fit within the contours of the site. The established pattern of front and side setbacks will be maintained, allowing sufficient space for retention, planting and growth of trees. All redeveloped properties within the area will contribute to the bushy landscape character of the public realm, incorporating large native / indigenous canopy trees and vegetation. The vegetated character of the streetscape will be complemented by the absence of front fencing, or low open style front fences, allowing views into private gardens.

#### **Bush Suburban 2**

The area will retain its classic bush suburban characteristics of low scale, pitched-roof dwellings set in spacious garden settings. The defined pattern of regular front setbacks and side setbacks from at least one side boundary will be maintained, allowing sufficient space for planting and growth of new vegetation. New buildings and additions will appear regular from the street and will be set back at upper levels to allow views between dwellings.

Low or open style front fences will provide a sense of openness along the streetscape, and allow views into front gardens. The landscape character of the area will be enhanced through the planting and growth of new vegetation, including large shrubs and tall canopy trees.

Areas with good access to train stations will accommodate more dwellings with slightly more compact siting than the remaining residential areas, but with space for large trees and gardens.

#### **Bush Suburban 3**

The low scale, pitched roof dwellings will sit within established garden settings that contain substantial vegetation including native and exotic canopy trees. The dominance of remnant indigenous eucalypts is retained and enhanced.

Properties abutting or situated close to Gardiners Creek, the Blackburn Creeklands and Wurrundjeri Walk, or with interface to Bush Environment areas will contain substantial vegetation, and development will be sited so that the overall visibility of buildings is minimised when viewed from the open space corridors.

New buildings will occasionally be built to one side boundary, however the rhythm of dwelling spacing appears regular from the street. In areas where timber predominates, new buildings utilise complementary materials. The impression of the streetscape will be of informality and openness due to a frequent lack of front fencing or low, unobtrusive fences, and the landscaped setting.

The landscape character of the area will be enhanced through the planting and growth of new vegetation, including large shrubs and tall canopy trees.

#### **Bush Suburban 4**

The dwellings will sit within established bushy garden settings, comprising large canopy trees and extensive native planting. The buildings are often partially hidden by vegetation and, while evident in the streetscape vista, do not dominate the streetscape. Large native and some exotic trees on public and private land provide a backdrop of vegetation, visible between and behind dwellings. Front fences are either not provided or are low, contributing to an informal and vegetation fringed streetscape. Properties abutting and close to the parklands (Heatherdale Reserve, Simpson Park and Melbourne Water pipe reserve) will contain more trees that complement the park landscape and contribute to the overall tree canopy.

Areas around Mitcham station and the MegaMile Activity Centre will accommodate more dwellings with slightly more compact siting than the remaining residential areas, but with space for large trees and gardens.

#### **Bush Suburban 5**

## 11.2 – ATTACHMENT 3. Attachment 3 - Revised Clause 22.03 - C220

### WHITEHORSE PLANNING SCHEME

Modest, low scale dwellings sit within well-established garden settings, including substantial native shrubs and tall canopy trees. Generous sized front and side setbacks will be maintained, allowing sufficient space for the continued planting and growth of new vegetation. The spaciousness of the area will be further complemented by the absence of front fencing, or low open style front fences, allowing views into front gardens. Properties abutting and close to parklands and the Koonung Creek Trail will reflect and contribute to the landscape character of the creek corridor, incorporating large canopy trees and native vegetation. Street trees further contribute to the vegetation dominated character of the area.

#### **Bush Suburban 6**

The mixed, low scale dwelling styles will be set within established, largely exotic garden settings. Generous front, side and rear setbacks will provide space for large trees and shrubs that dominate the streetscape and provide a backdrop to most properties. While occasionally visible from the street, new buildings will sit well below the tree canopy height and will be set back at upper levels. The large street trees will continue to provide an important contribution to the vegetation dominated streetscapes.

#### **Bush Suburban 7**

The modest dwellings will sit within established bushy garden settings that contain substantial vegetation, including large trees. Buildings will continue to be partially hidden behind vegetation, and adhere to the regular setback patterns of the street. The streetscape will retain an informal character due to the lack of front fencing and dominant landscape surroundings. The tall, native eucalypts in streets and private gardens will continue to provide a significant contribution to the tree canopy across the precinct. Properties abutting and close to the Dandenong Creek parklands will contain more trees that complement the creek-side landscape.

#### **Bush Suburban 8**

The low scale dwellings will sit within spacious and informally landscaped grounds that contain substantial vegetation including large trees. Dwellings will be partially visible from the road and be set back large distances from all boundaries. In Terrara Road, gardens may incorporate large grassy expanses. Materials and finishes will be subdued, blending with the surrounding environment. The Bellbird Dell Reserve forms the core of the area and vegetation will appear to flow from the Reserve through the streetscapes, which is further enhanced by a lack of front fences and wide, grassy nature strips.

#### **Bush Suburban 9**

The bushy landscape character afforded by substantial native shrubs and tall canopy trees will remain a key characteristic of the area. Modest dwellings will continue to be partially hidden behind vegetation, and adhere to the regular setback patterns of the street. Buildings will be absorbed into the vegetation-dominated landscape and reflect the topography by being designed to step down the site and follow the contours.

The streetscape will retain an informal character due to the lack of front fencing and dominant landscape surroundings. The tall, native eucalypts in streets and private gardens will continue to provide a significant contribution to the tree canopy across the precinct. Properties abutting and close to the Dandenong Creek corridor will contribute to the bushy landscape character of the public realm, incorporating large canopy trees and native vegetation.

The openness of the streetscape will be enhanced by the absence of front fencing, or low open style front fences, allowing views into private gardens.

The areas within this Precinct will be investigated for possible inclusion in the Bush Environment character type.

#### **Garden Suburban 1**

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The simple, moderately scaled dwellings, including many from the Interwar era, will sit within low-set, spacious gardens and are clearly visible from the street through open frontages. The formal character of the area will be enhanced by garden settings with tall trees, lawns, garden beds and shrubs. A sense of spaciousness will be established and enhanced with consistent front and side setbacks, and low or open style front fences.

Buildings will be occasionally built to the side boundary, but appear to have side setbacks with space for planting. Buildings close to Gardiner's Creek will be sited so that the overall visibility of the development is minimised when viewed from the creek corridor, which will enhance the natural, bushy settings. Vegetation from private gardens will enhance the existing landscape character of the creek corridor, incorporating large native / indigenous canopy trees.

Areas within the Structure Plan areas of Burwood Village and nearby (Substantial Change) will undergo change to accommodate new medium density dwellings with more compact siting, while retaining space for landscaping including trees.

Areas with good access to trams will accommodate more dwellings with slightly more compact siting than the remaining residential areas, but with space for large trees and gardens.

#### Garden Suburban 2

The combination of heritage and quality older style dwellings and well designed contemporary buildings set within large gardens will continue to form the key characteristics of this area. New dwellings will be sited in generous gardens to reflect the spacious qualities and the dominance of planting in the streetscape. Buildings or extensions will respect neighbouring properties from earlier periods, in scale and siting.

The vegetated character of the area will be maintained by retaining consistent front setbacks that allow for trees and shrubs. Buildings will be set back from side boundaries to provide a visual separation reflecting the typical rhythm of the streetscapes. Low or open style front fences will allow private gardens to contribute to the leafy character of the area.

Areas with good access to trams and train stations will accommodate more dwellings with slightly more compact siting than the remaining residential areas, but with the continued incorporation of trees and gardens, and high quality, responsive design.

#### Garden Suburban 3

The area will retain its classic garden dominated characteristics with low scale dwellings set in generous garden settings. Wide front and side setbacks from at least one side boundary allow views between dwellings, and low or open style front fences will continue to contribute to the spacious character of the area. The landscape settings will be enhanced through the planting and growth of new vegetation, including large shrubs and tall canopy trees.

Properties abutting or situated close to Gardiner's Creek will contain substantial vegetation, and development will be sited so that the overall visibility of buildings is minimised when viewed from the creek corridor.

Areas with good access to trams and Wattle Park shopping centre will accommodate more dwellings, including well designed medium density housing, with slightly more compact siting than the remaining residential areas, but with space for large trees and gardens.

#### Garden Suburban 4

The area will retain its classic garden suburban characteristics of modest, pitched roof dwellings in formal garden settings. The defined pattern of regular front setbacks and side setbacks from both side boundaries will be maintained, allowing sufficient space for planting and growth of new vegetation. Low or open style front fences will provide a sense of openness along the streetscape, and allow views into front gardens.



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Properties abutting or situated close to Gardiner's Creek will contain substantial vegetation, and development will be sited so that the overall visibility of buildings is minimised when viewed from the creek corridor.

In areas along the tram corridor on Burwood Highway (Substantial Change) infill development including medium density housing and apartment developments will be common, however new buildings and additions will be set back at upper levels to minimise dominance in the streetscape and impact on nearby standard residential areas.

Areas with good access to trams and shops will accommodate more dwellings, including well designed medium density housing, with slightly more compact siting than the remaining residential areas, but with space for large trees and gardens.

#### **Garden Suburban 5**

The modest, pitched roof dwellings will sit within well-established garden settings and will not dominate the streetscape due to consistent siting patterns and substantial planting of canopy trees. The rhythm of dwelling separation will appear regular from the street, even with buildings occasionally built to one side boundary. The streets will have a spacious and leafy feel, which is complemented by tall trees in the public and private realm, visible front lawn areas due to the frequent lack of or low front fencing and grass nature strips.

In areas adjacent to the tram corridor along Burwood Highway (Substantial Change) and the areas designated Substantial Change within the Burwood Heights adopted structure plan and within the Tally Ho Major Activity Centre adopted urban design framework, infill development including medium density housing and apartment developments will be common. New buildings and additions however, will be set back at upper levels to minimise dominance in the streetscape and impact on nearby standard residential areas.

Areas with good access to trams and shops will accommodate more dwellings, including well designed medium density housing, with slightly more compact siting than the remaining residential areas, but with space for large trees and gardens.

#### **Garden Suburban 6**

The modest, pitched roof dwellings will sit within well-established garden settings and will not dominate the streetscape due to consistent siting patterns and substantial planting. The rhythm of dwelling separation will appear regular from the street, even with buildings occasionally built to one side boundary. The streets will have a spacious and leafy feel, which is complemented by tall trees in the public and private realm, visible front lawn areas due to the frequent lack of or low front fencing and grass nature strips.

#### **Garden Suburban 7**

The contemporary dwellings will sit within larger lots, comprising spacious, established gardens containing substantial vegetation and trees. Buildings will be set back from side boundaries sufficient to provide vegetation and while occasionally built to one side boundary, appear to have side setbacks when viewed from the street. The streetscape will retain an informal character due to nonexistent or low and unobtrusive front fencing and well-landscaped settings.

Buildings close to Dandenong Creek environs will be sited so that the overall visibility of the development is minimised when viewed from the creek corridor, which will enhance the natural, bushy settings. Vegetation from private gardens will enhance the existing landscape character of the creek corridor, incorporating large native / indigenous canopy trees.

Areas within close proximity to trams along Burwood Highway will accommodate more dwellings with slightly more compact siting than the remaining residential areas, but with space for large trees and gardens.

Sites fronting the Burwood Highway tram route, or indicated as significant change areas within current adopted structure plans or urban design frameworks (Substantial Change

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areas) will undergo change to accommodate new medium density dwellings with more compact siting, while retaining space for landscaping including trees.

#### **Garden Suburban 8**

A variety of well articulated dwelling styles will sit within open garden settings incorporating a mixture of native and exotic vegetation and large trees. The established pattern of front and side setbacks will be maintained, allowing sufficient space for planting and growth of new vegetation. Infill development will be common, however new buildings and additions will be setback at upper levels to minimise dominance in the streetscape.

Properties abutting and close to the Koonung Creek, Bushy Creek and Gawler Chain parklands will contribute to the bushy landscape character of the public realm, incorporating large native / indigenous canopy trees and native / indigenous vegetation. The openness and informality of the streetscape will be further enhanced by low open style front fences that allow for views into front gardens.

#### **Garden Suburban 9**

The area will retain its classic garden suburban characteristics of low set, pitched roof dwellings set in spacious garden settings, with a backdrop of large native and exotic trees. The established pattern of regular front and side setbacks from both side boundaries will be maintained, allowing sufficient space for planting and growth of new vegetation.

Infill development including unit developments will be common, however new buildings and additions will be set back at upper levels to minimise dominance in the streetscape. Low or open style front fences will provide a sense of openness along the streetscape, and allow views into front gardens and lawn areas.

Buildings close to Koonung Creek and Bushy Creek parklands will be sited so that the overall visibility of the development is minimised when viewed from these areas, which will enhance their natural, bushy settings. Vegetation from private gardens will enhance the existing landscape character of the creek corridor or parklands, incorporating large native / indigenous canopy trees.

#### **Garden Suburban 10**

A variety of well articulated dwelling styles will sit within open garden settings incorporating a mixture of native and exotic vegetation and large trees. Infill development will be common, however new buildings and additions will be set back at upper levels to minimise dominance in the streetscape. The consistent front setbacks and spacing between dwellings will be retained, with buildings set back or appearing to be setback from both side boundaries. Low or open style front fences will provide a sense of openness along the streetscape, and allow views into front gardens.

The Limited Change areas / sites are subject to additional controls under the Heritage and Neighbourhood Character Overlays.

#### **Garden Suburban 11**

A variety of well articulated dwelling styles will sit within compact garden settings. Infill development will be common, however new buildings and additions will be setback at upper levels to minimise dominance in the streetscape. The consistent front setbacks and spacing between dwellings will be retained, with buildings setback or appearing to be setback from at least one side boundary. Low or open style front fences will provide a sense of openness along the streetscape, and allow views into front gardens.

#### **Garden Suburban 12**

The area will retain its classic garden suburban characteristics of low set, pitched roof dwellings set in spacious garden settings, with a backdrop of large native and exotic trees. The established pattern of regular front and side setbacks from both side boundaries will

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be maintained, allowing sufficient space for planting and growth of new vegetation. Low or open style front fences will provide a sense of openness along the streetscape, and allow views into front gardens and lawn areas.

#### **Garden Suburban 13**

The area will retain its classic garden suburban characteristics of low set, pitched roof dwellings set in spacious garden settings, with a backdrop of large native and exotic trees. The established pattern of regular front and side setbacks from both side boundaries will be maintained, allowing sufficient space for planting and growth of new vegetation.

Infill development including unit developments will be common, however new buildings and additions will be set back at upper levels to minimise dominance in the streetscape. Low or open style front fences will provide a sense of openness along the streetscape, and allow views into front gardens and lawn areas.

Buildings close to Cootamundra Walk will be sited so that the overall visibility of the development is minimised when viewed from the open space, which will enhance the natural, bushy settings. Vegetation from private gardens will enhance the existing landscape character of the corridor, incorporating large native / indigenous canopy trees.

Areas within the Blackburn / Megamile West Urban Design Framework and nearby (Substantial Change) will undergo change to accommodate new medium density dwellings with more compact siting, while retaining space for landscaping including trees.

Areas with good access to the train stations at Laburnum and Blackburn (Substantial Change) will accommodate more dwellings with slightly more compact siting than the remaining residential areas, but with space for large trees and gardens.

Some of this precinct is contained within the Blackburn Neighbourhood Activity Centre, and the Nunawading/Megamile Major Activity Centre.

#### **Garden Suburban 14**

The area will retain its classic garden suburban characteristics of dwellings in garden settings, located along tree-lined streets.

As contemporary infill development, including medium density and low scale apartments buildings, becomes more common, new buildings and additions will be set back at upper levels to minimise dominance in the streetscape and maintain the existing rhythm of front and side setbacks from one side boundary. They will also allow sufficient space for the planting and growth of new vegetation, including trees. Low or open style front fences will contribute to a sense of openness along the streetscape, allowing for views into private gardens.

Areas in proximity to train stations will accommodate more dwellings with slightly more compact siting than the remaining residential areas, but with space for large trees and gardens.

This precinct is partly contained within the Nunawading Megamile Major Activity Centre, and the Mitcham Neighbourhood Activity Centre.

#### **Garden Suburban 15**

The dwellings will be set within established, exotic and native garden settings. The continued use of low open front fencing, will maintain a sense of lightness in the streetscapes.

New buildings and additions will provide innovative or contemporary design responses to the traditional low scale dwelling forms. Buildings will not dominate the streetscape, with trees and vegetation that appears to wrap around dwellings creating a green leafy garden setting. The large street trees will continue to provide an important contribution to the vegetation dominated streetscapes.



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This precinct is within the boundaries of the Mitcham Neighbourhood Activity Centre and the Nunawading / Megamile Major Activity Centre, and is identified as a Substantial Change area.

#### Garden Suburban 16

The combination of heritage, older style dwellings and well designed contemporary buildings set within gardens will continue to form the key characteristics of this area. New dwellings will be sited to reflect the spacious qualities and the dominance of gardens in the streetscape. Dwelling design will respond to the characteristics of the older dwellings including heavily articulated forms, 1-2 storey scale, pitched roofs and front and side setbacks that allow for planting, without replicating earlier styles. Low or open style front fences will allow private gardens to contribute to the leafy character of the area.

This area will undergo further investigation to determine whether additional Neighbourhood Character or Heritage Overlay controls are warranted.

#### 22.03-6 Nominated large sites

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A number of large sites have also been identified including 1 Lake Road, Blackburn, 131-173 Central Road, Nunawading, 57-67 Central Road, Blackburn and 15 Virgillia Street, Blackburn North. Other large sites may be identified in the future.

#### Desired future character

The properties at 1 Lake Road, Blackburn, 131-173 Central Road, Nunawading and 57-67 Central Road, Blackburn are located within the Blackburn Lake environs. Each site is presently used for institutional purposes including aged care accommodation and education facilities. While these uses must be supported for their contribution to the community, these sites also have the possibility to make a significant contribution to the future residential housing stock.

Each site makes a contribution to the special character of the Blackburn Lake Surrounds because of its location and landscape qualities. The landscape significance of the Blackburn Lake Surrounds is attributed to the quality of the environment, which includes vegetation notable for its height, density, maturity and high proportion of indigenous trees, which it is sought to retain and enhance.

The property at 15 Virgillia Street Blackburn North is a remaining large residential site with botanical significance and plays an important role in contributing to the biodiversity of the Blackburn North area.

The preferred future character is to provide for the development of these sites for residential and institutional purposes through a site layout and built form which is subservient to the landscape character. In considering any permit application for development, including subdivision, consideration should be given to the Statement of nature and key elements of the landscape and the objectives of the Significant Landscape Overlay – Schedule 5 that applies to these sites and the Statement of Environmental Significance and environmental objectives of the Environmental Significance Overlay – Schedule 1 for the property at 131-173 Central Road, Nunawading and Schedule 2 for the property at 15 Virgillia Street Blackburn North.

#### 22.03-7 Residential Corridors

Built form controls have been identified to guide development outcomes along key road corridors in the municipality where Substantial Change Areas interface with low-rise residential development.

The controls focus primarily on the major east-west tram and road corridors, where there is an interface between the Residential Growth Zone and General Residential Zone or

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Neighbourhood Residential Zone to the rear or side. Specifically, Burwood Highway, generally between Elgar Road, Burwood and Hanover Road, Vermont South and Whitehorse Road in Mont Albert, Laburnum and Nunawading.

The controls relate to building setbacks, architecture and height, building separation, overshadowing, landscaping and pedestrian and vehicle access. In this area the built form of new development should not visually dominate and should transition to the low-rise scale of adjoining development. New development should respect the character and amenity of the surrounding area.

#### **22.03-78 Subdivision**

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In considering the merits of a subdivision application, the following key principles should also be also considered:

- Buildings should be sited on the lot to protect substantial trees and vegetation to be retained.
- Encourage development, which responds to the preferred neighbourhood character as detailed in this policy.
- Encourage a diversity of lot sizes and types having regard to the subdivision layout of the neighbourhood.
- Ensure that off-street vehicle parking provision and design complies with relevant standards.
- Encourage energy efficient outcomes within subdivisions.
- Ensure that the landscape design and retention of vegetation of a future subdivision achieves the design objectives and design responses as detailed in this policy.
- The need for an Agreement under Section 173 of the Planning and Environment Act 1987 relating to the future development of the land.

#### **22.03-89 Application requirements**

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Applicants for two or more dwellings on a lot or subdivision of a lot must provide a report explaining how the proposal satisfies Clause 55.02-2 or Clause 56.02-2 including a justification based on the growth area category within which the site is located.

#### **22.03-910 Policy references**

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Whitehorse Housing Strategy 2014

Whitehorse Neighbourhood Character Study 2014

Whitehorse Neighbourhood Activity Centre Urban Design Guidelines 2014

Whitehorse Residential Corridors Built Form Study, 2018