

Attachments

Council Meeting

Monday 25 August 2025

- 10.1 5-7 Frances Avenue, VERMONT (LOT 20 & 21 LP 7959, LOT 2 TP 829269T)– Construction of six double storey dwellings, buildings and works and removal of vegetation in a Significant Landscape Overlay (SLO8)**
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- 10.7 Charles Rooks - Dagola Reserve Landscape Concept Plan Endorsement**
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**10.1 5-7 Frances Avenue, VERMONT (LOT 20 & 21 LP
7959, LOT 2 TP 829269T)– Construction of six
double storey dwellings, buildings and works and
removal of vegetation in a Significant Landscape
Overlay (SLO8)**

Attachment 1 Advertised Plans Including Landscape Plan

Attachment 2 Without Prejudice Plans

Attachment 3 ResCode Assessment

Attachment 4 Arborist Report

10.1 – ATTACHMENT 1. Advertised Plans Including Landscape Plan

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ARKEY

CONSTRUCTION / ARCHITECT / MANAGEMENT

No. 5-7 FRANCES AVENUE

VERMONT

TP 0.1COVER SHEET

TP 1.1NEIGHBOURHOOD CHARACTER

TP 1.2DESIGN RESPONSE

TP 1.3PROPOSED GROUND FLOOR PLAN

TP 1.4PROPOSED FIRST FLOOR PLAN

TP 1.5GARDEN AREA

TP 1.6S.P.O.S

TP 1.7ROOF PLAN

TP 2.1ELEVATIONS

TP 2.2ELEVATIONS

TP 2.3ELEVATIONS

TP 3.1SHADOW DIAGRAMS

TP 3.2SHADOW DIAGRAMS



TP 3.3SHADOW DIAGRAMS

TP 3.4SHADOW DIAGRAMS

TP 3.5SHADOW DIAGRAMS

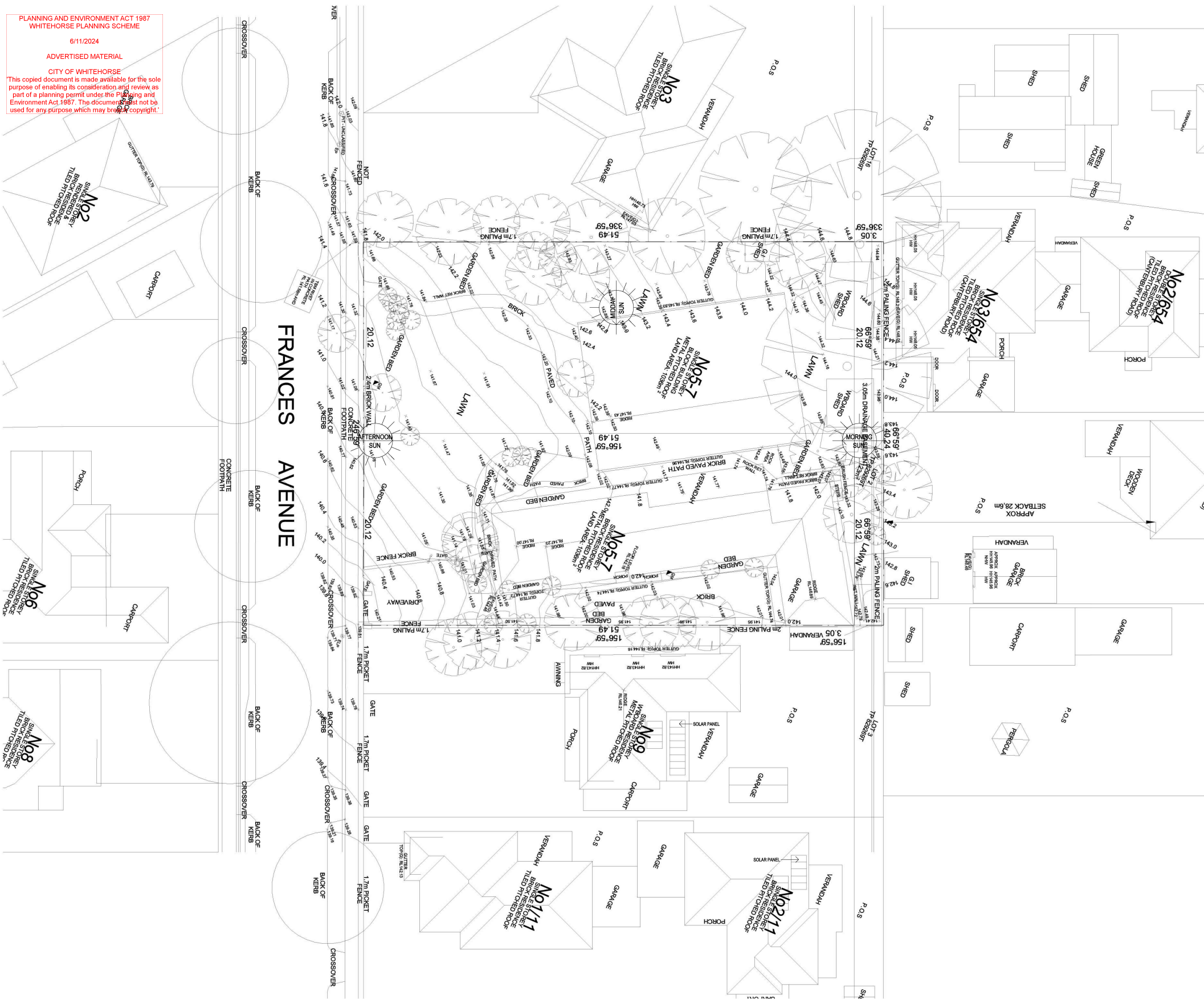
TP 3.6SHADOW DIAGRAMS

TP 3.7SHADOW DIAGRAMS

	PROJECT Six Double-Storey Townhouse Development 5-7 Frances Avenue Vermont	CONTACT Arkey Construction Email: info@arkey.com.au Phone: 0451 963 383	<small>COPYRIGHT THESE PLANS REMAIN THE PROPERTY OF PLANNING AND DESIGN ARE SUBJECT TO COPYRIGHT REGULATIONS DIMENSIONS FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS & CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS. DO NOT SCALE THIS DRAWING.</small>	CLIENT 	No.	DESCRIPTION	DATE	DRAWING Cover Sheet		Scale	1 : 200	TP 0.1	
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- A SUBJECT SITE HAS EASEMENT NEAR NORTH BOUNDARY AT 3.05M DITCH.
- B THE SUBJECT SITE HAS A MODERATE FALL FROM THE REAR TO THE FRONT OF THE PROPERTY AND FOLLOWS THROUGH TO SURROUNDING PROPERTIES.
- C THE SITE DOES CONTAIN SOME TREES. THERE ARE A FEW SHRUBS WHICH HAVE MINIMAL SIGNIFICANCE. THE PROPOSED DESIGN WILL INCORPORATE AREAS WITH THE CAPACITY FOR NEW TREES WITH SPREADING CROWNS.
- D THE EXISTING DWELLING ON THE SUBJECT SITE IS IN FAIR CONDITION AND IS PROPOSED TO BE REMOVED.
- E THE SITE HAS ACCESS TO ALL SERVICES (SEWER, WATER, ELECTRICITY, GAS AND TELEPHONE)
- F SURROUNDING PROPERTIES HAVE MIXED TYPES OF FRONT AND REAR FENCING STYLES: PICKET AND PALLING FENCES. HEIGHTS VARY FROM 1700mm (APPROX) TO 2000mm (APPROX).
- G THE SOUTH BOUNDARY (FRONT OF SITE) CONTAINS A EXISTING 2400mm HIGH BRICK WALL. THE WEST BOUNDARY CONTAINS A EXISTING 1700mm HIGH PALLING FECE AND 500MM NEW LATTICE ON THE TOP. THE NORTH BOUNDARY HAS A EXISTING 2000mm HIGH PALLING FENCE TO BE RETAINED, THE EAST BOUNDARY HAS A EXISTING 2000MM HIGH PALLING FENCE AND 450MM NEW LATTICE ON THE TOP AT DW3 SECTION.
- H ACCESS TO THE SITE IS CURRENTLY FROM AN EXISTING CROSSOVER LOCATED AT EAST SIDE OF THE SITE AND TWO NEW CROSSOVERS. ONE IN THE WEST SIDE AND ONE IN THE MIDDLE, WHICH ARE PROPOSED AS COUNCILS STANDARD.
- I DWELLINGS SURROUNDING THE SUBJECT ARE DOUBLE STOREY AND ARE A MIXTURE OF BRICK VENEER, AND RENDER.
- J ADJOINING SECLUDED PRIVATE OPEN SPACE OF SURROUNDING PROPERTIES.
- K POSSIBLE HABITABLE ROOM WINDOWS FACING SUBJECT SITE WITHIN 9m.
- L VERMONT PRIMARY SCHOOL, 550m
- M ST JAMES PRIMARY SCHOOL, 1.5Km.
- N RANGEVIEW PRIMARY SCHOOL, 1.7Km.
- O VERMONT SECONDARY COLLEGE, 1.5Km.
- P MITCHAM STATION, 2.2Km.
- Q BRENTFORD SHOPPING CENTRE, 2.0Km.
- R EASTERN FREEWAY M3, 2.3Km.

 <p>ARKEY ARKEY CONSTRUCTION / DESIGN / MANAGEMENT</p>	<p>PROJECT Six Double-Storey Townhouse Development 5-7 Frances Avenue Vermont</p>	<p>CONTACT Arkey Construction Email: info@arkey.com.au Phone: 0451 963 383</p>	<p><small>COPYRIGHT THESE PLANS REMAIN THE PROPERTY OF PLANNING AND DESIGN ARE SUBJECT TO COPYRIGHT REGULATIONS</small></p> <p><small>DIMENSIONS FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS & CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.</small></p> <p><small>DO NOT SCALE THIS DRAWING.</small></p>	<p>CLIENT</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DESCRIPTION	DATE																						<p>DRAWING Neighbourhood Character</p>		<table border="1"> <tr> <td>Scale</td> <td>1 : 200</td> <td rowspan="3"> <div>TP 1.1</div> <div>Ref No. 2411</div> </td> </tr> <tr> <td>Date</td> <td>26/04/2024</td> </tr> <tr> <td>Drawn</td> <td>CC</td> </tr> </table>	Scale	1 : 200	<div>TP 1.1</div> <div>Ref No. 2411</div>	Date	26/04/2024	Drawn	CC
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10.1 – ATTACHMENT 1. Advertised Plans Including Landscape Plan

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DESIGN RESPONSE PLAN

- 1 SETBACKS 9000mm FROM THE STREET FRONTAGES
- 2 THE DESIGN FORMS CHOSEN WILL MINIMISE VISUAL BULK AND STEP THE BUILDING FACADE.
- 3 PROPOSED BOUNDARY FENCES TO BE CONSTRUCTED TO THE CORRECT HEIGHT.
- 4 EXTERNAL TREATMENT HAS ALLOWED FOR ARTICULATED BUILDING VOLUME, WITH OFFSET OF UPPER LEVEL AND LOWER LEVEL WALLS TO BREAK UP ROOF MASS.
- 5 THE DESIGN HAS TAKEN INTO CONSIDERATION THE MINIMISATION OF OVERLOOKING INTO ADJOINING WINDOWS AND OPEN SPACE. THUS MINIMISING OFF SITE AMENITY IMPACTS, CHANGES IN MATERIALS AND FINISHES ASSIST.
- 6 PERIMETER PLANTING OPPORTUNITIES PROVIDED TO SOFTEN THE BUILDING FORM.
- 7 UPPER AND LOWER FLOOR BUILDING FORMS ARE MANAGED WITH OFFSETS TO MINIMISE VISUAL BULK .
- 8 THE INTRODUCTION OF LANDSCAPING ALONG DRIVEWAY TO PROVIDE A VISUAL BREAKUP IN THE DRIVEWAY AND MINIMISE A GUN BARREL EFFECT.
- 9 THE MAINTENANCE OF PROPOSED VEGETATION WILL ENHANCE INTERFACES POSSIBLE TO PROVIDE PRIVACY BETWEEN NEIGHBOURING PROPERTIES.
- 10 STREET SURVEILLANCE IS AVAILABLE FROM FRONT ROOMS OF ALL THE DWELLING
- 11 ALL ENTRANCES ARE EASILY IDENTIFIABLE
- 12 WINDOWS STYLE TO COMPLIMENT ADJOINING WINDOW TYPES.
- 13 ALL MATERIALS ASSOCIATED WITH THE DEVELOPMENT ARE HIGHLIGHTED WITH SELECTED USE OF FACE BRICK WORK TO BLEND IN WITH THE STREETScape AND SELECTED TEXTURED FINISH TO UPPER FLOOR LIGHT WEIGHT WALLS.
- 14 All EXISTING INFRASTRUCTURE WITHIN THE DEVELOPMENT ARE ABLE TO BE INSTALLED BY CONNECTION TO EXISTING SERVICES WITHIN THE SITE, THEREFORE LIMITING ANY IMPACT TO EXISTING SERVICES WITHIN THE STREET.

PROJECT
Six Double-Storey Townhouse Development
5-7 Frances Avenue Vermont

CONTACT
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DRAWING
Design Response

Scale	1 : 200
Date	26/04/2024
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TP 1.2
Ref No. 2411

10.1 – ATTACHMENT 1. Advertised Plans Including Landscape Plan



SITE ANALYSIS

SITE AREA	2194 sqm
DW 1	
GROUND FLOOR:	131 sqm
GROUND FLOOR	88 sqm
PROPOSED GARAGE	38 sqm
PORCH	4 sqm
FIRST FLOOR:	74 sqm (56.5% Ground Floor)
S.P.O.S	82 sqm
P.O.S	104 sqm
DW 2	
GROUND FLOOR:	129 sqm
GROUND FLOOR	89 sqm
PROPOSED GARAGE	38 sqm
PORCH	2 sqm
FIRST FLOOR:	64 sqm (49.6% Ground Floor)
S.P.O.S	94 sqm
DW 3	
GROUND FLOOR:	130 sqm
GROUND FLOOR	88 sqm
PROPOSED GARAGE	38 sqm
PORCH	4 sqm
FIRST FLOOR:	83 sqm (63.8% Ground Floor)
S.P.O.S	108 sqm
DW 4	
GROUND FLOOR:	128 sqm
GROUND FLOOR	89 sqm
PROPOSED GARAGE	38 sqm
PORCH	1 sqm
FIRST FLOOR:	79 sqm (61.7% Ground Floor)
S.P.O.S	197 sqm
DW 5	
GROUND FLOOR:	130 sqm
GROUND FLOOR	88 sqm
PROPOSED GARAGE	38 sqm
PORCH	4 sqm
FIRST FLOOR:	64 sqm (49.2% Ground Floor)
S.P.O.S	117 sqm
DW 6	
GROUND FLOOR:	139 sqm
GROUND FLOOR	93 sqm
PROPOSED GARAGE	38 sqm
PORCH	8 sqm
FIRST FLOOR:	87 sqm (62.6% Ground Floor)
S.P.O.S	74 sqm
P.O.S	112 sqm
SITE COVERAGE	35.9 %
HARD SURFACE	16.2 %
PERMEABILITY	47.9 %
GARDEN AREA	45.4 % 998m²
CARSPACES PROVIDED	13 No.

NOTATION: All boundary fencing to be a minimum of 1.8 metres above finished ground level to the satisfaction of the Responsible Authority

NOTATION: All highlight windows must be noted to have a minimum sill height of 1.7m and all obscured glazing must be noted as 'fixed'.

- EXISTING TREE TO BE REMOVED
- TPZ FOR EXISTING TREE
- SRZ FOR EXISTING TREE

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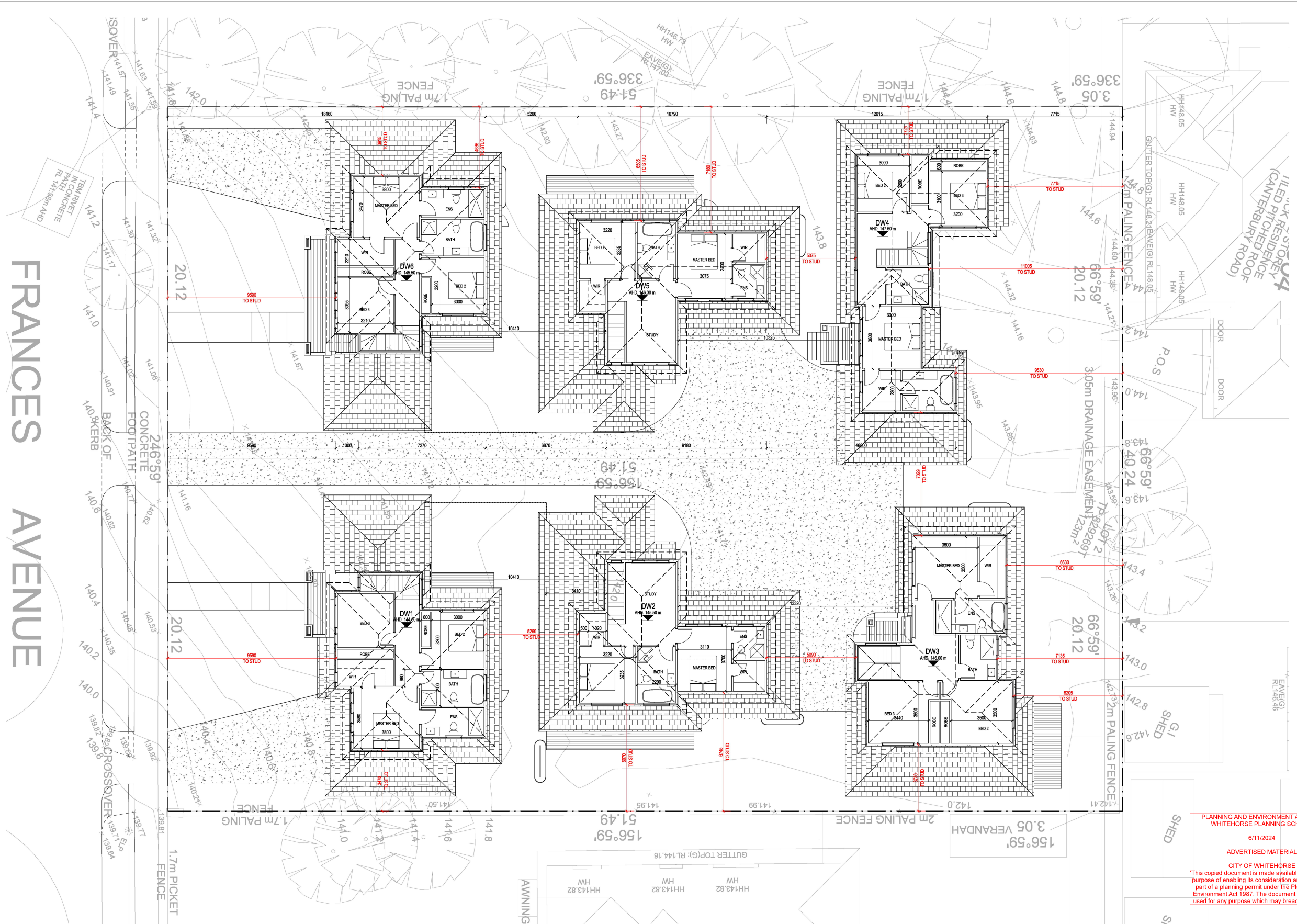
DRAWING
Proposed Ground
Floor Plan



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FRANCES AVENUE



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STORM Rating Report

TransactionID: 0

Municipality: WHITEHORSE

Rainfall Station: WHITEHORSE

Address: 5-7 Frances Avenue

Vermont VIC 3133

Assessor: Shea

Development Type: Residential - Multiunit

Allotment Site (m2): 2,194.00

STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Dw1 Roof	162.60	Rainwater Tank	4,500.00	4	113.30	95.20
DW2 Roof	163.70	Rainwater Tank	4,000.00	3	97.30	97.50
DW3 Roof	161.80	Rainwater Tank	4,500.00	4	113.40	95.20
DW4 Roof	166.70	Rainwater Tank	4,500.00	4	108.70	96.40
DW5 Roof	164.30	Rainwater Tank	4,000.00	3	97.20	97.50
DW6 Roof	169.60	Rainwater Tank	4,500.00	4	107.80	96.40
DW1 Driveway	39.70	Raingarden 100mm	1.00	0	130.45	0.00
DW6 Driveway	39.70	Raingarden 100mm	1.00	0	130.45	0.00
DW2345 Driveway	282.00	Raingarden 100mm	1.00	0	70.60	0.00

NOTE: USING ENVISS SENTINEL PIT TO INSTEAD THE RAINGARDEN.
ONE 600MM X 600MM ENVISS SENTINEL PIT EQUAL TO 1M2 RAINGARDEN

Technical Bulletin

100mm Raingarden* Area (m²)	300mm Raingarden#* Area (m²)	EnvissSentinel™ (no. of Pits)
0.70	0.57	1
1.05	0.85	1
1.40	1.13	2
2.10	1.70	2
3.15	2.55	3
4.20	3.40	4
5.25	4.25	4
6.30	5.10	5
7.00	5.67	6

* Ponding depth above media surface with a projected area equal to the raingarden area.
#* Needs to be positioned where extra ponding depth does not cause loss of serviceability or safety hazard

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DRAWING

Roof Plan

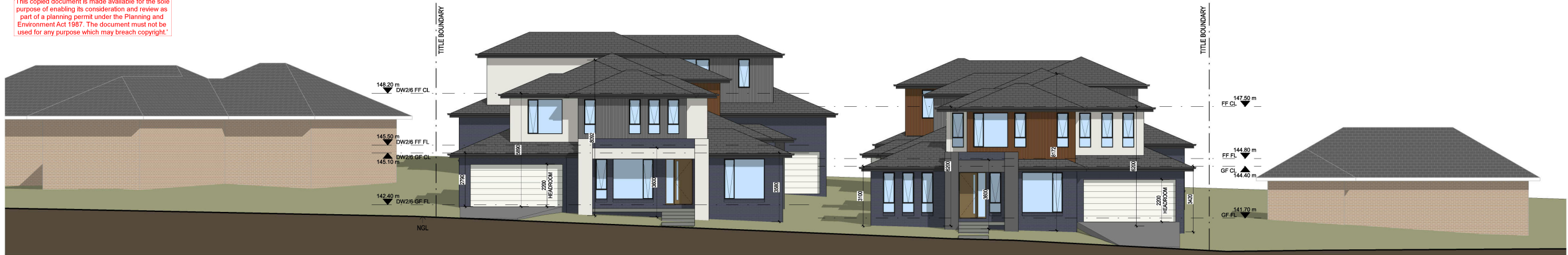
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TP 1.7

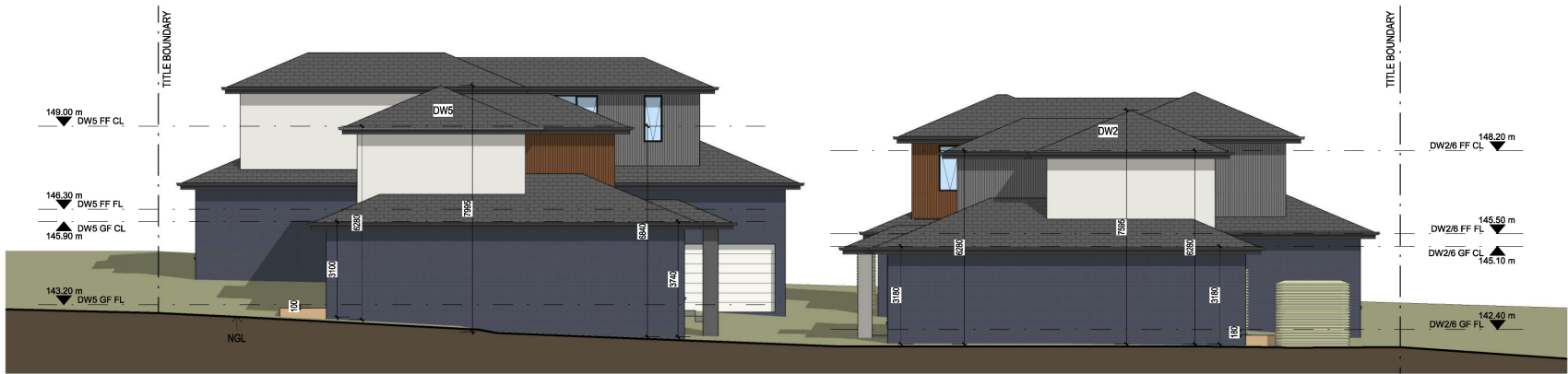
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SOUTH ELEVATION (Streetscape)
1 : 100












SOUTH ELEVATION INTERNAL 1
1 : 100



SOUTH ELEVATION INTERNAL 2
1 : 100

SCHEDULE OF MATERIALS AND FINISH

EXTERNAL WALL 1		JAMES HARDIE AXON VERTICAL CLADDING
EXTERNAL WALL 2		DULUX TEXTURE PAIL WHITE RENDERED FINISH
EXTERNAL WALL 3		JAMES HARDIE AXON VERTICAL CLADDING (DARK COLOR)
EXTERNAL WALL 4		SELECTED BRICKWORK
ROOF		BLACK ZINCALUME ROOFING
WINDOWS FRAMES		BLACK POWDER COAT ALUMINUM
PAVING		LIGHTER COLOUR PAVING
GARAGE DOORS		SECTIONAL DOORS
FOOTPATH		SELECTED EXPOSED AGGREGATE

NOTATION: ON THE PLANS STATING THAT THE OBSCURE GLAZING IS (FIXED (NOT FLM) WITH A MAXIMUM TRANSPARENCY OF 20% TO A MINIMUM HEIGHT OF 1.7 METRES ABOVE FINISHED FLOOR LEVEL (FFL).



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NO.	DESCRIPTION	DATE

DRAWING
Elevations

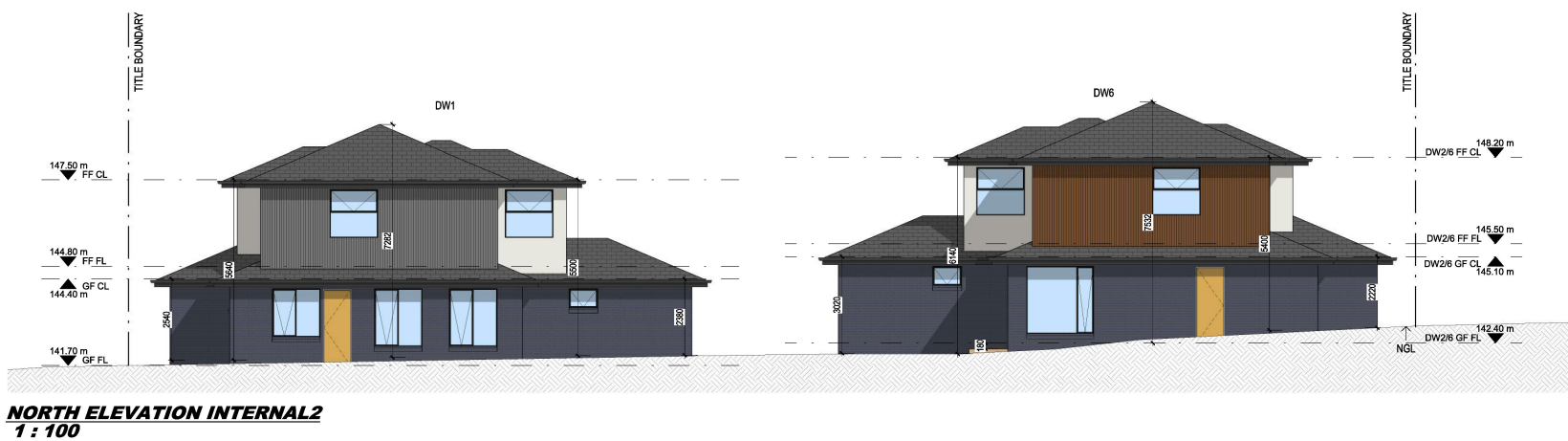
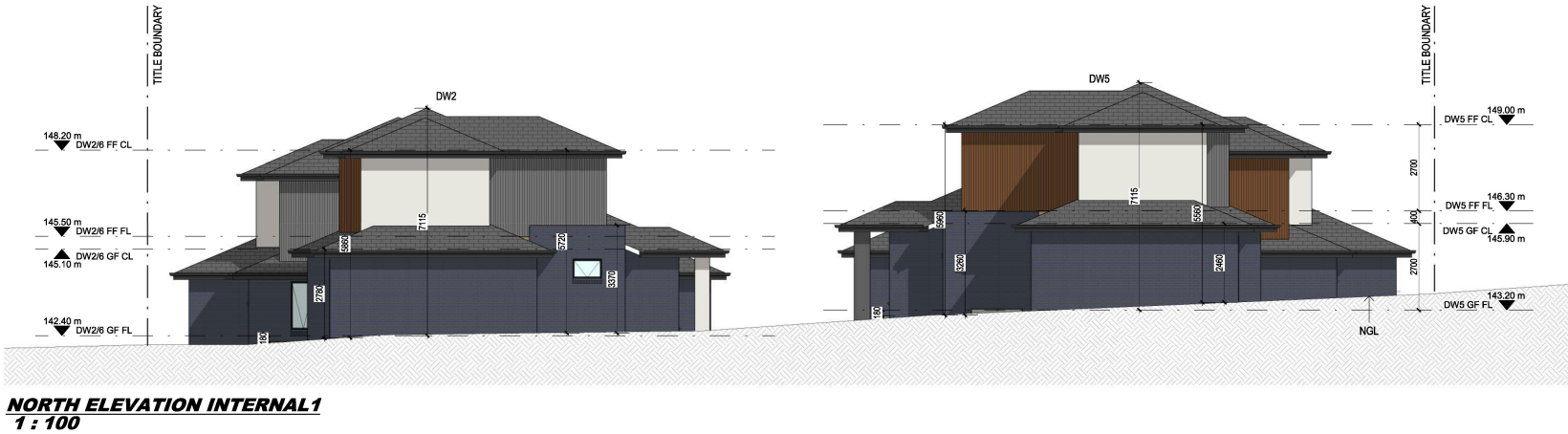
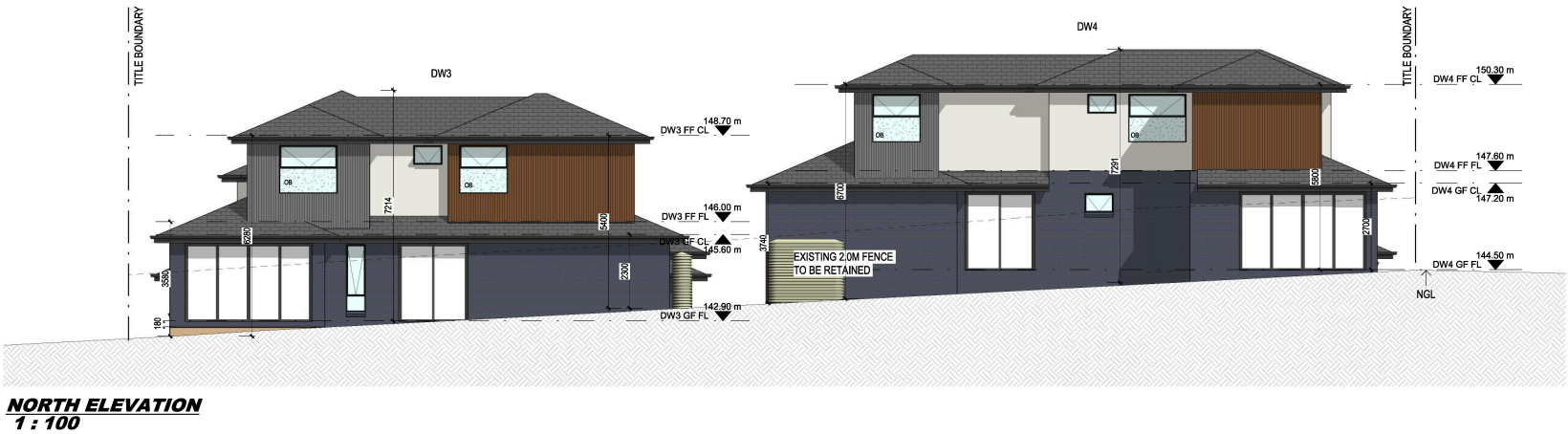
Scale	1 : 100
Date	26/04/2024
Drawn	Author

TP 2.1

Ref No. 2411

10.1 – ATTACHMENT 1. Advertised Plans Including Landscape Plan

PLANNING AND ENVIRONMENT ACT 1987
WHITEHORSE PLANNING SCHEME
6/11/2024
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PROJECT
Six Double-Storey Townhouse Development
5-7 Frances Avenue Vermont

CONTACT
Arkey Construction
Email: info@arkey.com.au
Phone: 0451 963 383

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CLIENT
[Redacted]

NO.	DESCRIPTION	DATE

DRAWING
Elevations

Scale	1 : 100
Date	26/04/2024
Drawn	Author

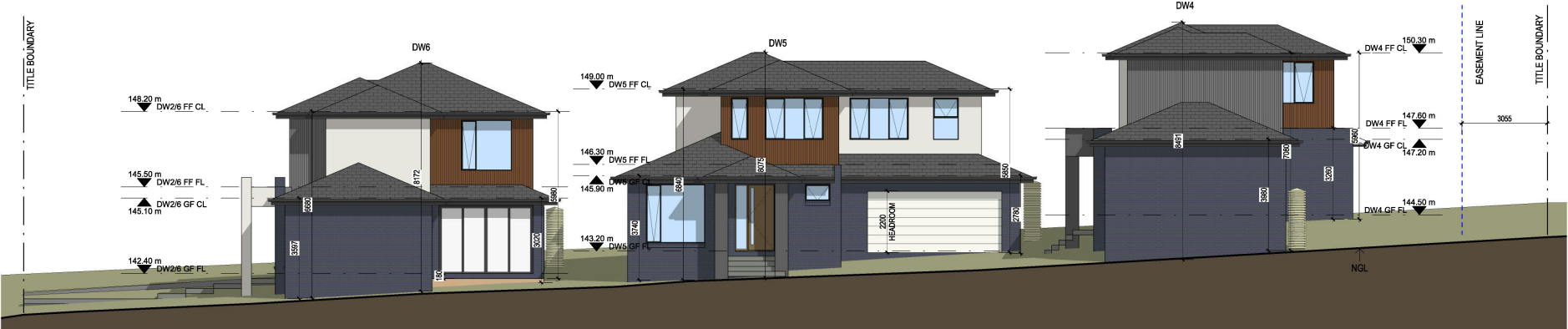
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Ref No. 2411

10.1 – ATTACHMENT 1. Advertised Plans Including Landscape Plan

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EAST ELEVATION
1 : 100



EAST ELEVATION INTERNAL
1 : 100



WEST ELEVATION
1 : 100



WEST ELEVATION INTERNAL
1 : 100



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NO.	DESCRIPTION	DATE

DRAWING
Elevations

Scale	1 : 100
Date	26/04/2024
Drawn	Author

TP 2.3

Ref No. 2411

10.1 – ATTACHMENT 1. Advertised Plans Including Landscape Plan



10.1 – ATTACHMENT 1. Advertised Plans Including Landscape Plan



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					NO.	DESCRIPTION	DATE																		
Date	26/04/2024																								
Drawn	Author	Ref No. 2411																							

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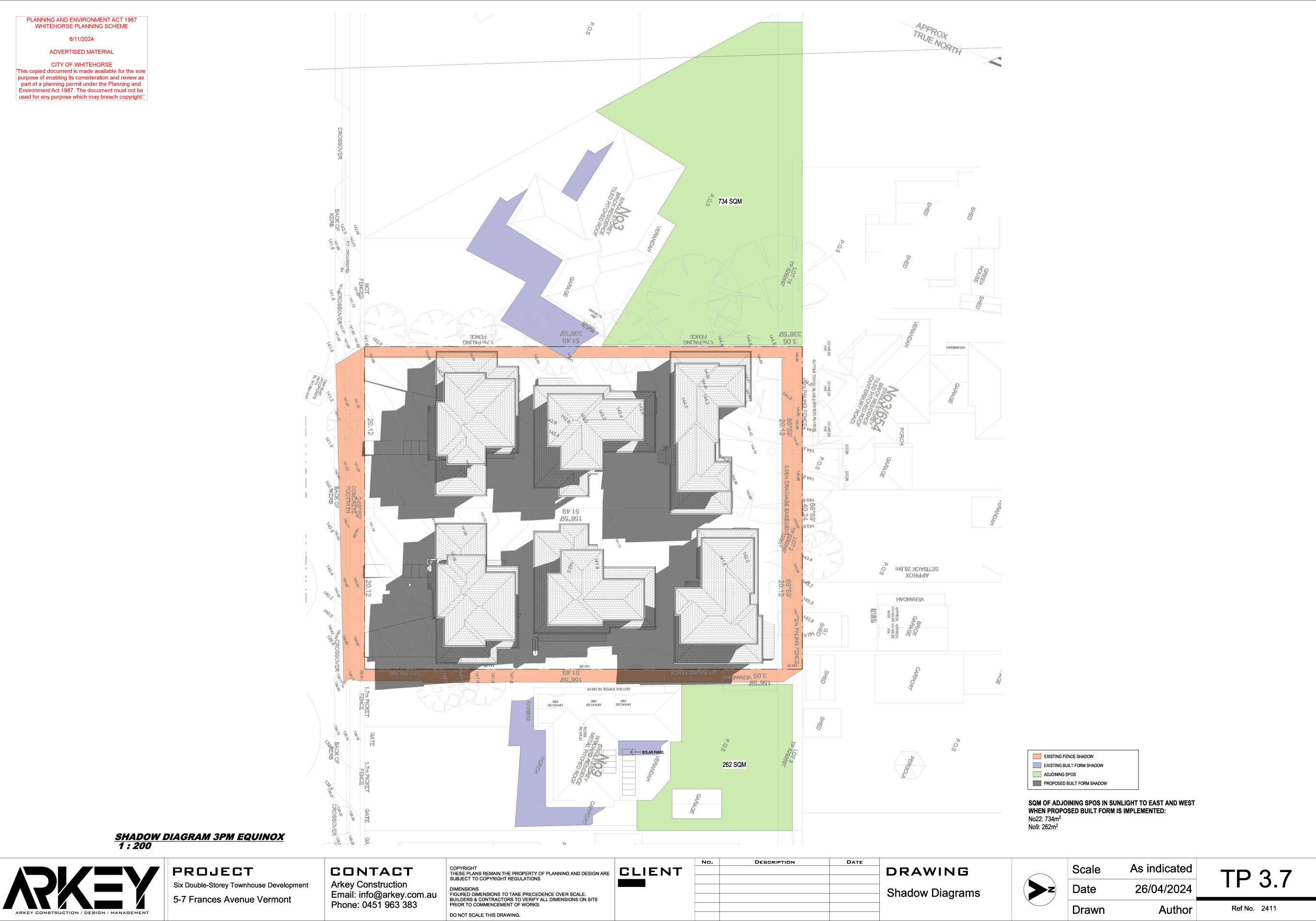
10.1 – ATTACHMENT 1. Advertised Plans Including Landscape Plan



10.1 – ATTACHMENT 1. Advertised Plans Including Landscape Plan



10.1 – ATTACHMENT 1. Advertised Plans Including Landscape Plan



PLANTING SCHEDULE							
Trees	ID	Qty	Common Name	Botanical Name	Height @ Maturity (m)	Width @ Maturity (m)	Pot Size @ Install (cm)
Ap	1	Japanese Maple	Acer palmatum	4.0m	4.0m	30	
Bi	6	Coast Banksia	Banksia integrifolia	12.0m	6.0m	40	
Esc	2	Wallangarra White Gum	Eucalyptus scoparia	12m	6.0m	30	
Mc	1	Crab Apple	Malus tchonoskii	7.0m	4.0m	30	
Ti	2	Kanooka	Tristanopsis laurina	10m	4.0m	30	
Shrubs & Groundcovers							
PTTR	101	Thin Red	Phloxia v. 'sarsii' 'Thin Red'	2.5m	0.8m	20	
AcD	24	Dazzler	Acacia cognata 'Dazzler'	0.6m	1.0m	14	
AgW	1	Burgundy Myrtle	Agonis 'Burgundy'	4.0m	2.5m	20	
BRW	8	Buddiea	Buddiea 'Royal Red'	0.3m	1.2m	20	
CI	14	Mexican Orange Blossom	Choisya ternata	1.5m	1.2m	20	
CLC	33	Little Gate	Cornus pulchella 'Little Gate'	0.3m	0.9m	14	
EW	29	Dwarf Spurge	Euphorbia wulfenii 'Dwarf Spurge'	1.2m	0.7m	14	
SP	47	Dwarf Lilybush	Syringium 'Phenacis'	5.0m	1.0m	20	
TuFM	54	Flat Matt	Trachelospermum 'Flat Matt'	0.2m	0.9m	14	
WN	52	Namga	Westringia 'Namga'	2.0m	0.8m	14	
Grasses							
L.L.C	41	Little Con	Lomandra 'Little Con'	0.3m	0.3m	Tubestock	
L.T	67	Tanka	Lomandra 'Tanka'	0.6m	0.6m	Tubestock	

- STRUCTURAL ROOT ZONE
- TREE PROTECTION ZONE
- EXISTING TREES TO BE RETAINED
- TREES / SHRUBS TO BE REMOVED
- PAVERS
- GRAVEL
- DRYOUT TOLERANT LAWN (Buffalo or similar)
- TIMBER DECKING
- CHARCOAL COLOURED CONCRETE
- LIGHT COLOURED CONCRETE
- AUTOMATIC DRIP IRRIGATION SYSTEM INSTALLED TO WATER GARDEN BEDS
- TIMBER EDGING INSTALLED TO SEPARATE LAWN, GARDEN BEDS & GRAVEL
- ALL GARDEN BEDS TO HAVE MINIMUM 75MM LAYER OF DARK COLOURED COMPOSTED MULCH (e.g. Black Pine Bark or Mushroom Compost)

TREE REGENERATION NOTES:
Under Clause 22.04 (Tree Conservation), a New Tree must meet the following conditions:
i) Separated by a distance of 3 metres from a building
ii) Situated in an area of 35m² of open ground with a minimum dimension of 5 metres that is free of buildings and impervious surfaces and of tree canopies. To minimise competition and facilitate natural growth.
iii) Is not within land encumbered by an easement

GARDEN BED & TIMBER EDGING DETAIL:
1. No direct drainage to the garden bed
2. No direct drainage to the garden bed
3. No direct drainage to the garden bed

LANDSCAPE CONSTRUCTION SPECIFICATIONS:
This specification is to be used for all landscape construction and is in accordance with standard horticultural practice. The use of machinery and tools that may damage soil structure is not acceptable. Gravel and other sub-grade to be installed to a depth of 150mm and shaped to achieve drainage to the existing ground. If gravel is used, it must be washed and free of fines and debris. The finished top level after settlement should be 75mm below the existing level to allow for further settlement. The top level should be 75mm below the existing level to allow for further settlement.

TREE & SHRUB PLANTING DETAIL:
1. Tree to be planted in a hole 100mm larger than the root ball.
2. Tree to be planted in a hole 100mm larger than the root ball.
3. Tree to be planted in a hole 100mm larger than the root ball.

TREE & SHRUB PLANTING DETAIL:
1. Tree to be planted in a hole 100mm larger than the root ball.
2. Tree to be planted in a hole 100mm larger than the root ball.
3. Tree to be planted in a hole 100mm larger than the root ball.

MAINTENANCE SCHEDULE	
Site Preparation	Remove trees and any unwanted vegetation. Any excess soil during excavation should be utilized in other areas if required. Care to be taken to avoid existing services and excavations.
Planting	Plant species should be true to type with appropriate substitution if the nominated species is unavailable at root of season. All plant stock shall be checked and must be healthy and disease free. Planting must be undertaken in accordance with sound horticultural practices. Holes to be dug to the size of the root ball. Avoid excessive compaction of the soil. It is recommended that all garden beds are mulched to a minimum depth of 75mm. Mulch to be either a fine grade pine bark or similar. Show release barrier suitable for proposed plant species should be applied at the time of planting in accordance with manufacturer's recommended dose rates and application methods.
Irrigation	Should an irrigation system be installed it should consist of a dripper type system for which and be installed to all garden beds at the time of planting. Garden system to be appropriately zoned or controlled with relation to the proposed planted species, drainage and other factors.
Continuing Maintenance	Once completed the landscaping should be well maintained. This includes ongoing watering, weeding and replacement of lost vegetation/species. Manual weed control and removal should continue, as should the maintenance and cleanup of the garden beds and the plants they contain.

PLANNING AND ENVIRONMENT ACT 1987
WHITEHORSE PLANNING SCHEME

6/11/2024

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Zenith Concepts Pty Ltd
Landscape Design
171 Abbott Street Sandringham VIC 3191
W: www.zenithconcepts.com T: 03 9566 2129 E: landscapes@zenithconcepts.com

ADDRESS	5 - 7 Frances Avenue, Vermont	DATE	07/09/2024
PROJECT	Proposed Development	DATE #	July 2024
CLIENT		SCALE	A4: 1:200
		DATE	07/09/2024

The builder is responsible for the setting out of the Works, the checking of all dimensions and levels on site, and the reporting of any discrepancies to the Proprietor prior to commencement of Work. Do not scale from drawings.

10.1 – ATTACHMENT 2. Without Prejudice Plans

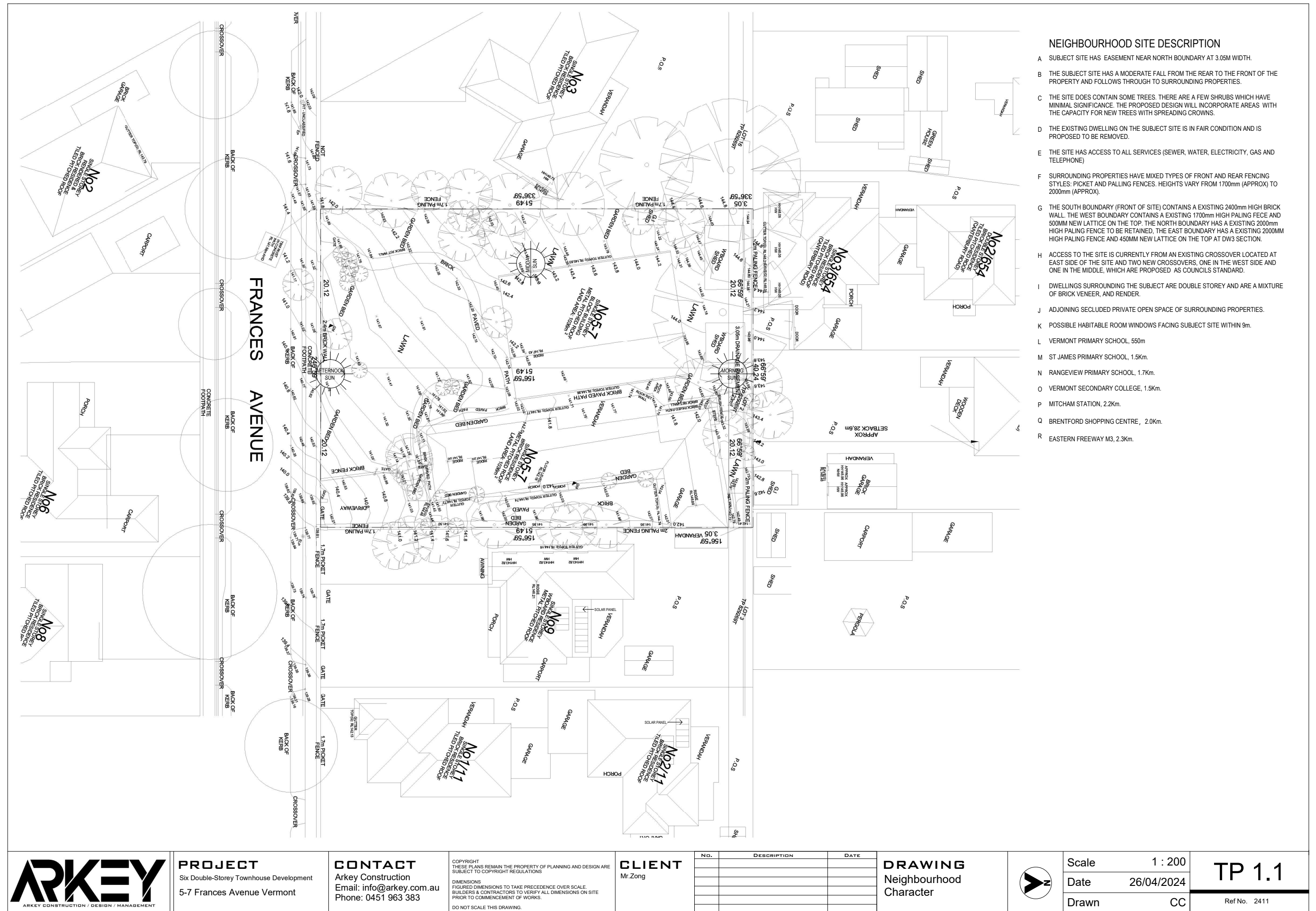


No. 5-7 FRANCES AVENUE
VERMONT

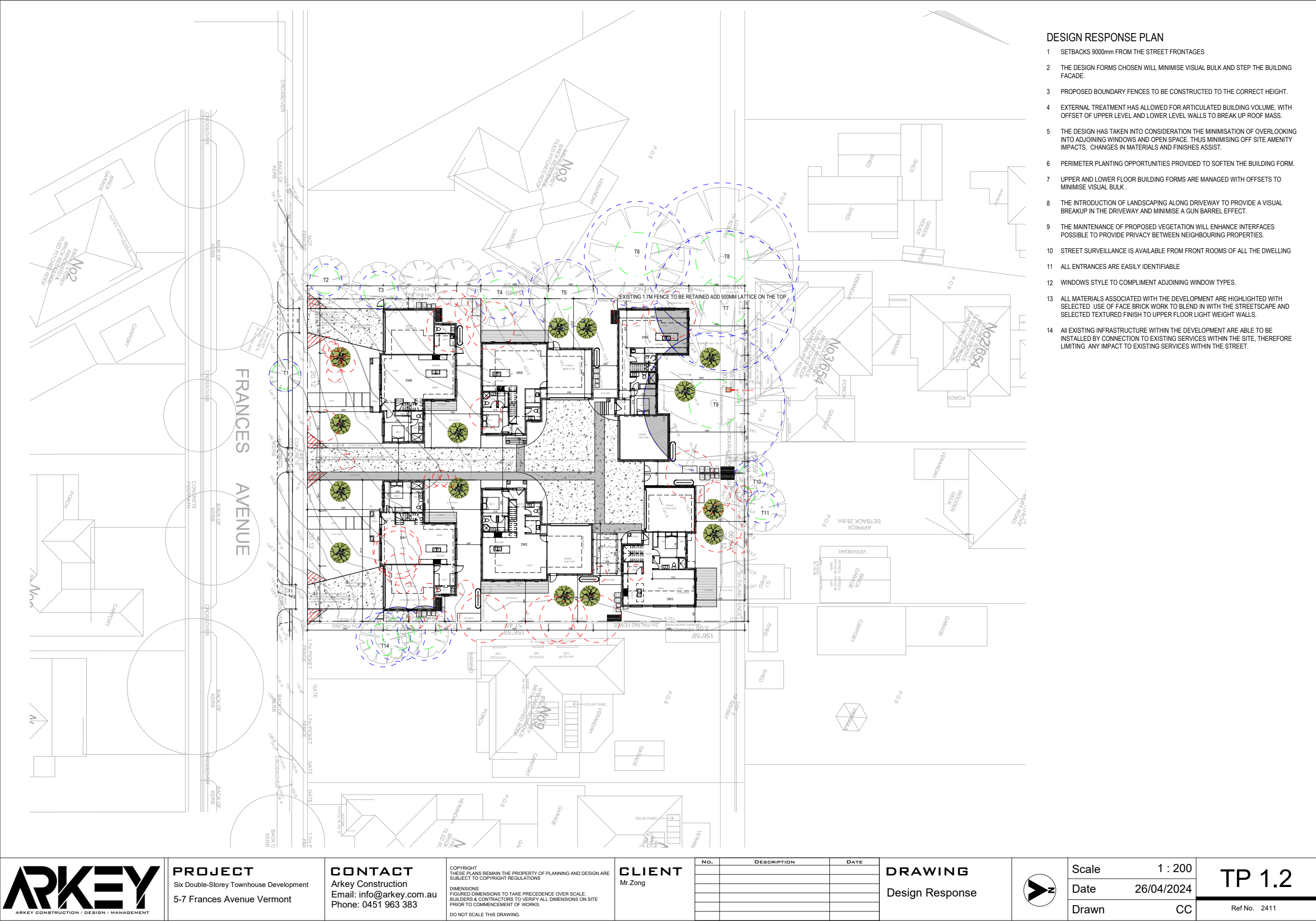
TP 0.1	COVER SHEET
TP 1.1	NEIGHBOURHOOD CHARACTER
TP 1.2	DESIGN RESPONSE
TP 1.3	GROUND FLOOR CUT AND FILL
TP 1.4	PROPOSED GROUND FLOOR PLAN
TP 1.5	PROPOSED FIRST FLOOR PLAN
TP 1.6	GARDEN AREA
TP 1.7	S.P.O.S
TP 1.8	ROOF PLAN
TP 2.1	ELEVATIONS
TP 2.2	ELEVATIONS
TP 2.3	ELEVATIONS
TP 3.1	SHADOW DIAGRAMS
TP 3.2	SHADOW DIAGRAMS
TP 3.3	SHADOW DIAGRAMS
TP 3.4	SHADOW DIAGRAMS
TP 3.5	SHADOW DIAGRAMS
TP 3.6	SHADOW DIAGRAMS
TP 3.7	SHADOW DIAGRAMS

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					NO.	DESCRIPTION	DATE														
Date	26/04/2024																				
Drawn	Author																				

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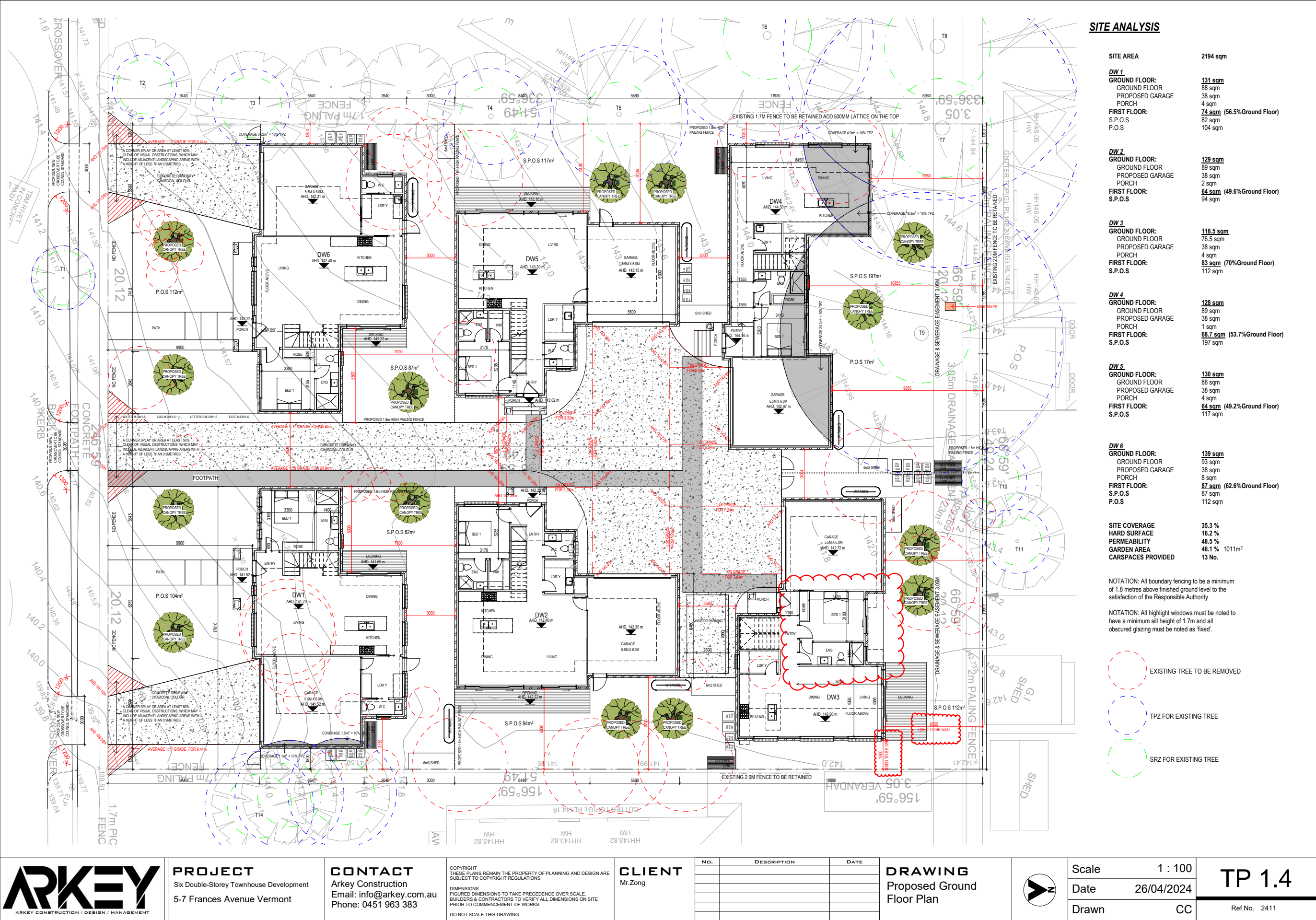
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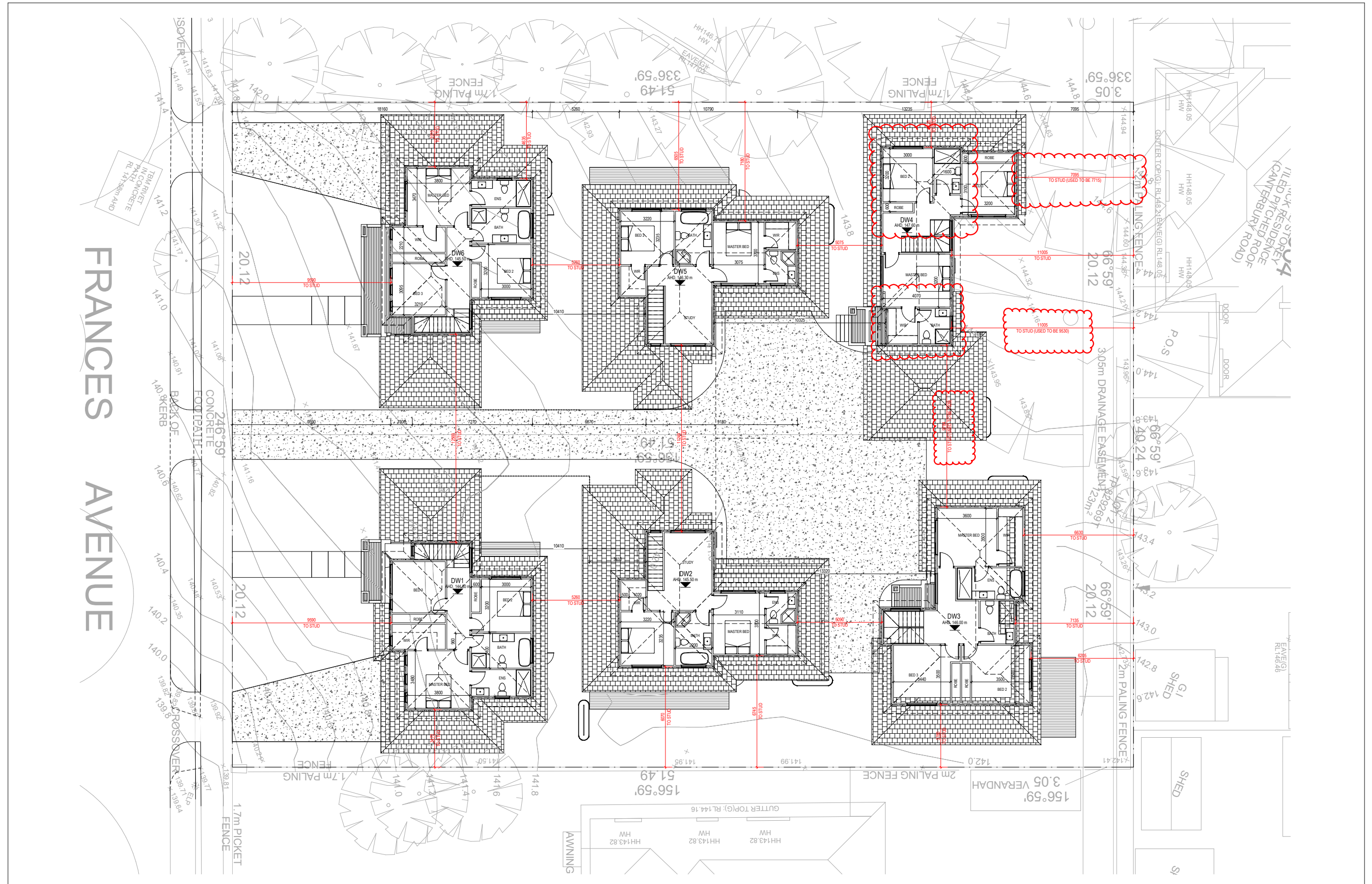
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FRANCES AVENUE



Six Double-Storey Townhouse Development
5-7 Frances Avenue Vermont

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Mr.Zong

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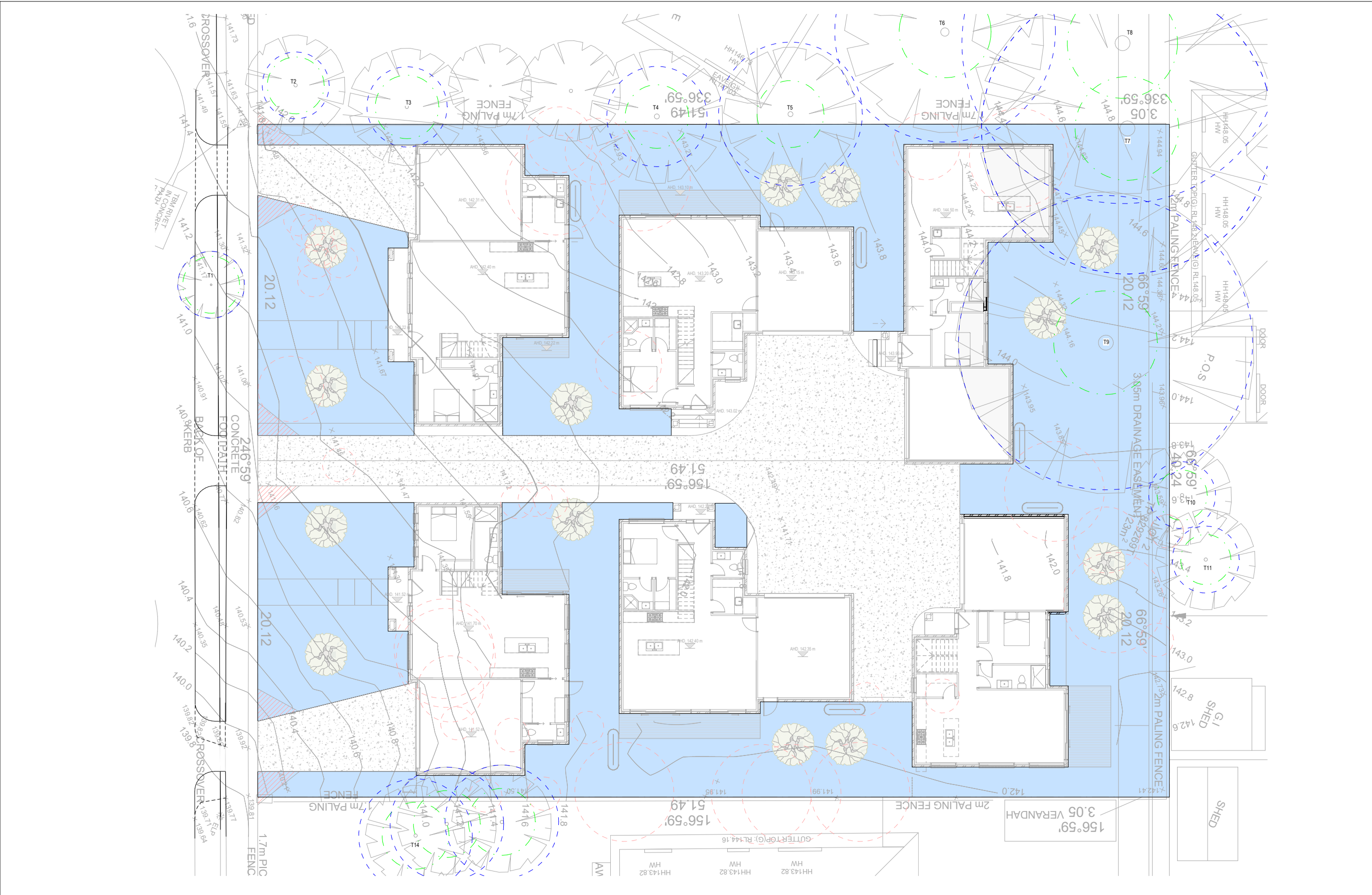
Proposed First Floor
Plan



Scale	1 : 100
Date	26/04/2024
Drawn	CC

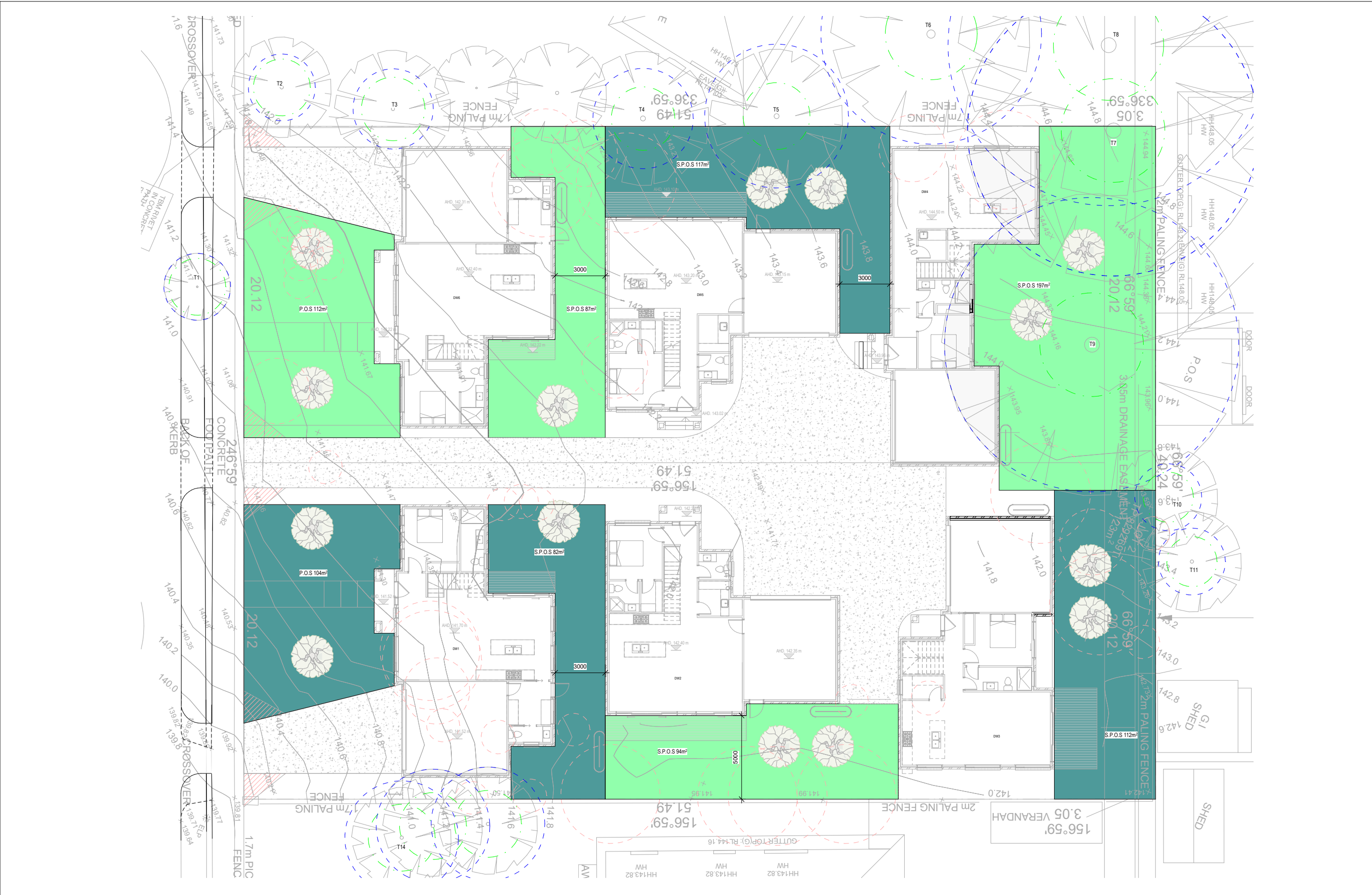
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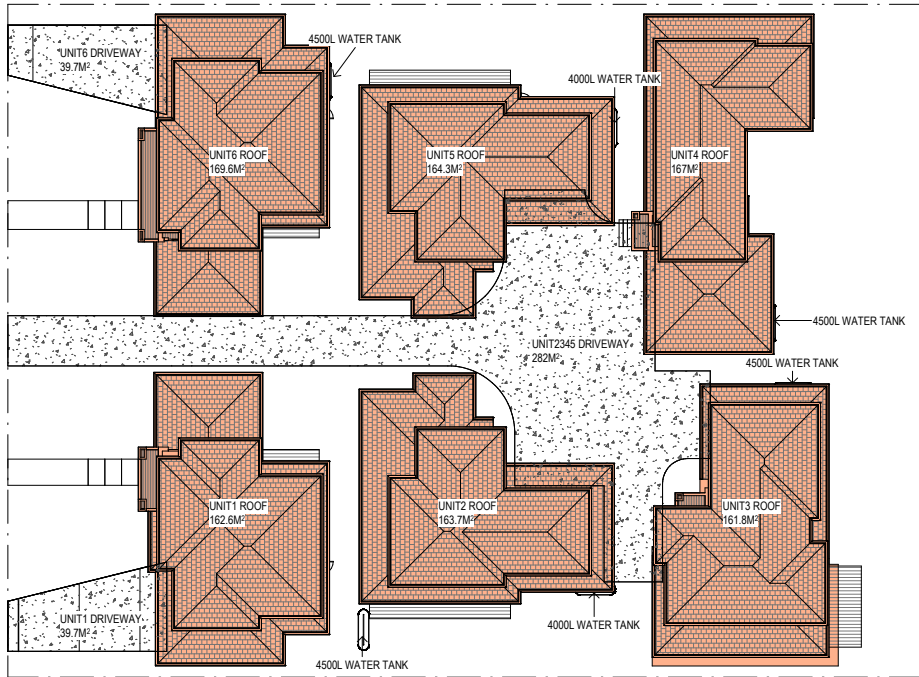


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					NO.	DESCRIPTION	DATE																
Date26/04/2024																							
DrawnAuthor	Ref No. 2411																						

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					No.	DESCRIPTION	DATE													
Date26/04/2024																				
DrawnAuthor	Ref No. 2411																			



STORM Rating Report

TransactionID: 0
Municipality: WHITEHORSE
Rainfall Station: WHITEHORSE
Address: 5-7 Frances Avenue

Vermont
VIC 3133
Assessor: Shea
Development Type: Residential - Multiunit
Allotment Site (m2): 2,194.00
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Dw1 Roof	162.60	Rainwater Tank	4,500.00	4	113.30	95.20
DW2 Roof	163.70	Rainwater Tank	4,000.00	3	97.30	97.50
DW3 Roof	161.80	Rainwater Tank	4,500.00	4	113.40	95.20
DW4 Roof	166.70	Rainwater Tank	4,500.00	4	108.70	96.40
DW5 Roof	164.30	Rainwater Tank	4,000.00	3	97.20	97.50
DW6 Roof	169.60	Rainwater Tank	4,500.00	4	107.80	96.40
DW1 Driveway	39.70	Raingarden 100mm	1.00	0	130.45	0.00
DW6 Driveway	39.70	Raingarden 100mm	1.00	0	130.45	0.00
DW2345 Driveway	282.00	Raingarden 100mm	1.00	0	70.60	0.00

NOTE: USING ENVISS SENTINEL PIT TO INSTEAD THE RAINGARDEN.
ONE 600MM X 600MM ENVISS SENTINEL PIT EQUAL TO 1M2 RAINGARDEN



Technical Bulletin

100mm Raingarden* Area (m²)	300mm Raingarden#* Area (m²)	EnvissSentinel™ (no. of Pits)
0.70	0.57	1
1.05	0.85	1
1.40	1.13	2
2.10	1.70	2
3.15	2.55	3
4.20	3.40	4
5.25	4.25	4
6.30	5.10	5
7.00	5.67	6

* Ponding depth above media surface with a projected area equal to the raingarden area.
#* Needs to be positioned where extra ponding depth does not cause loss of serviceability or safety hazard



PROJECT
Six Double-Storey Townhouse Development
5-7 Frances Avenue Vermont

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CLIENT
Mr.Zong

NO.	DESCRIPTION	DATE

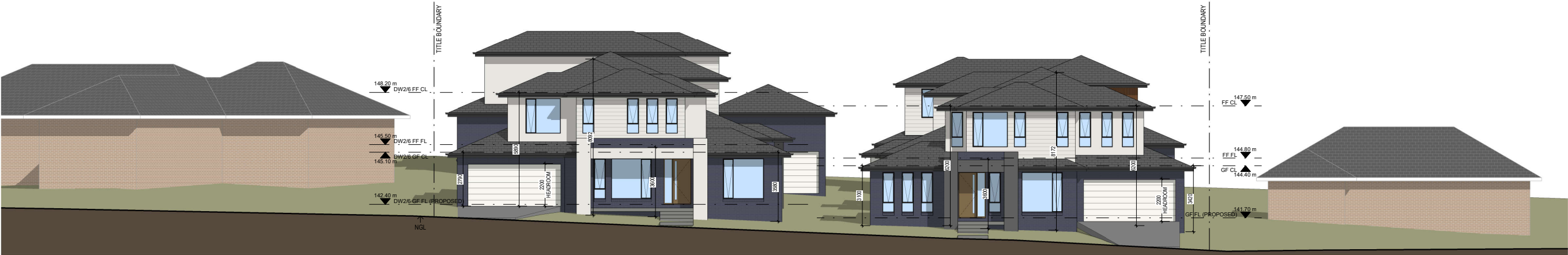
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Roof Plan

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Date	26/04/2024
Drawn	Author

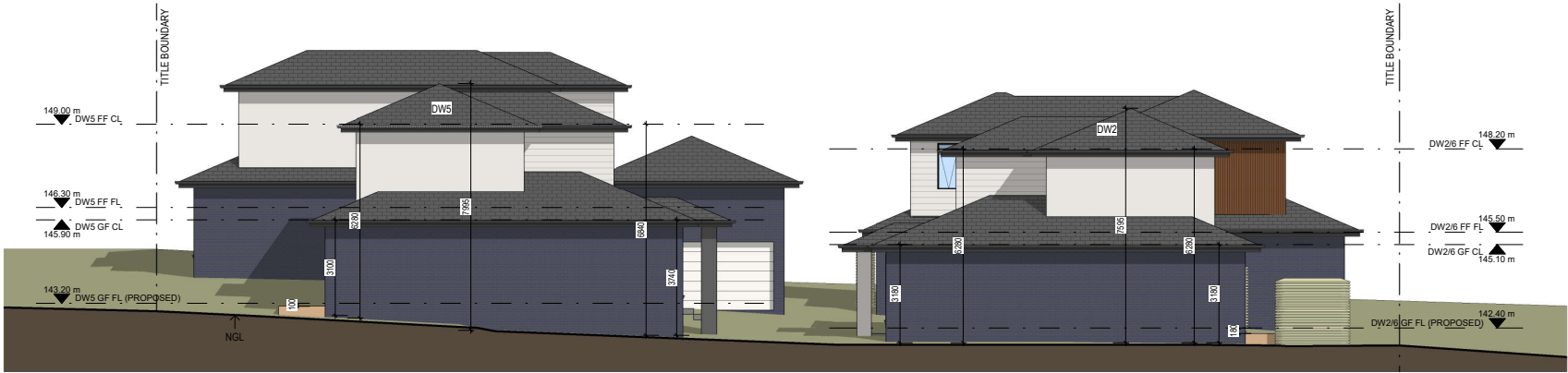
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Ref No. 2411

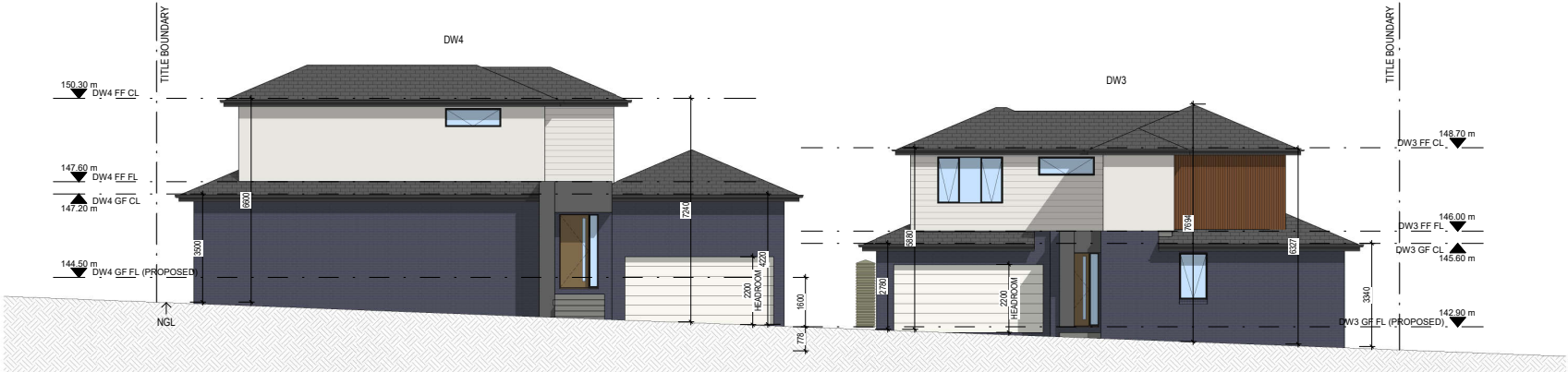
10.1 – ATTACHMENT 2. Without Prejudice Plans



SOUTH ELEVATION (Streetscape)
1 : 100












SOUTH ELEVATION INTERNAL 1
1 : 100



SOUTH ELEVATION INTERNAL 2
1 : 100

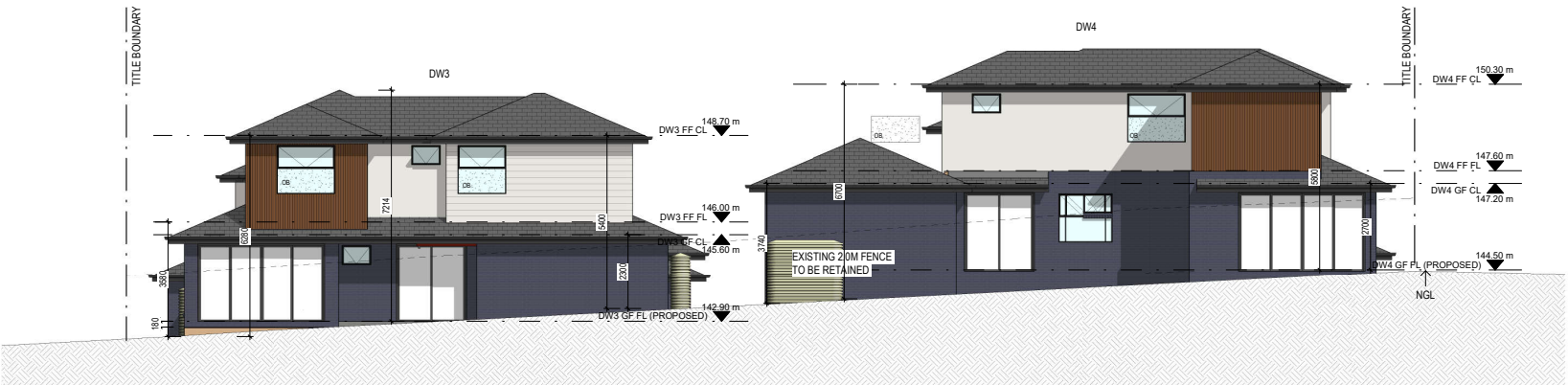
SCHEDULE OF MATERIALS AND FINISH

EXTERNAL WALL 1		JAMES HARDIE AXON VERTICAL CLADDING
EXTERNAL WALL 2		DULUX TEXTURE PAIL WHITE RENDERED FINISH
EXTERNAL WALL 3		JAMES HARDIE LINEA LIGHT WEATHERBOARD
EXTERNAL WALL 4		SELECTED BRICKWORK
ROOF		BLACK ZINCALUME ROOFING
WINDOWS FRAMES		BLACK POWDER COAT ALUMINIUM
PAVING		LIGHTER COLOUR PAVING
GARAGE DOORS		SECTIONAL DOORS
FOOTPATH		SELECTED EXPOSED AGGREGATE

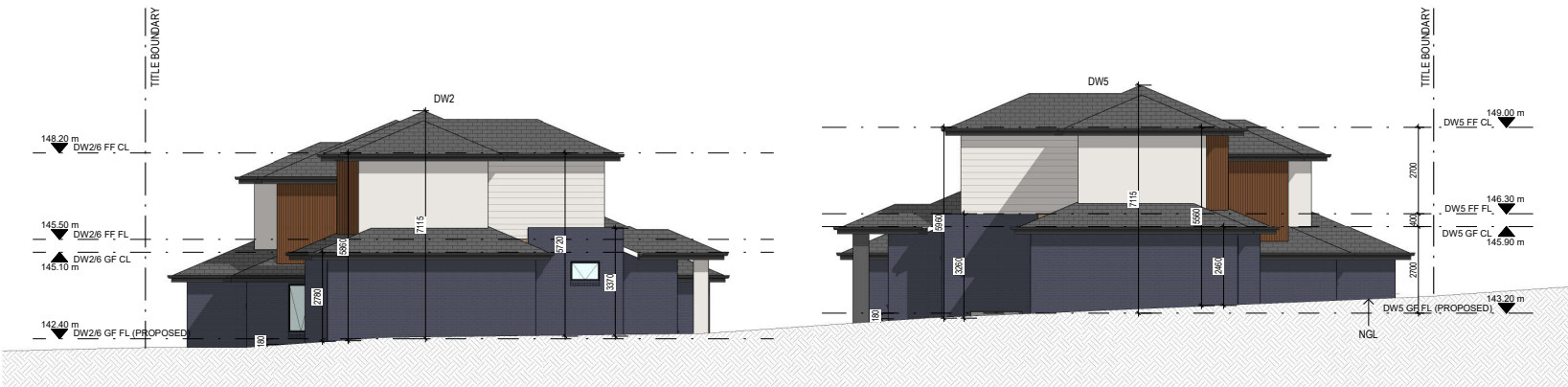
NOTATION: ON THE PLANS STATING THAT THE OBTUSE GLAZING IS FIXED (NOT FLM) WITH A MAXIMUM TRANSPARENCY OF 25% TO A MINIMUM HEIGHT OF 1.7 METRES ABOVE FINISHED FLOOR LEVEL (FFL).

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					NO.	DESCRIPTION	DATE													
Date26/04/2024																				
DrawnAuthor	Ref No. 2411																			

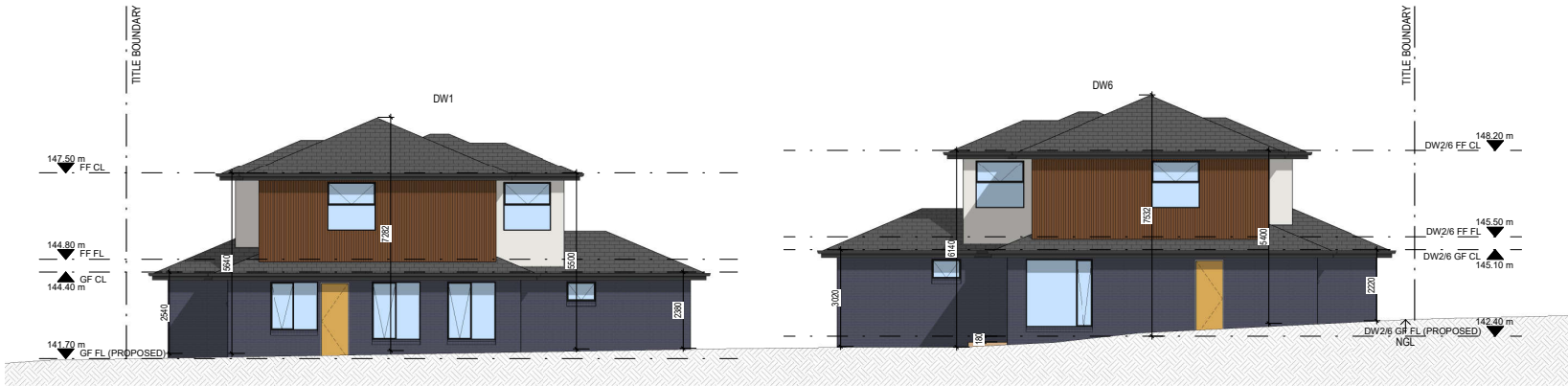
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NORTH ELEVATION
1 : 100



NORTH ELEVATION INTERNAL 1
1 : 100



NORTH ELEVATION INTERNAL 2
1 : 100



PROJECT

Six Double-Storey Townhouse Development
5-7 Frances Avenue Vermont

CONTACT

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Mr.Zong

NO.	DESCRIPTION	DATE

DRAWING

Elevations

Scale	1 : 100
Date	26/04/2024
Drawn	Author

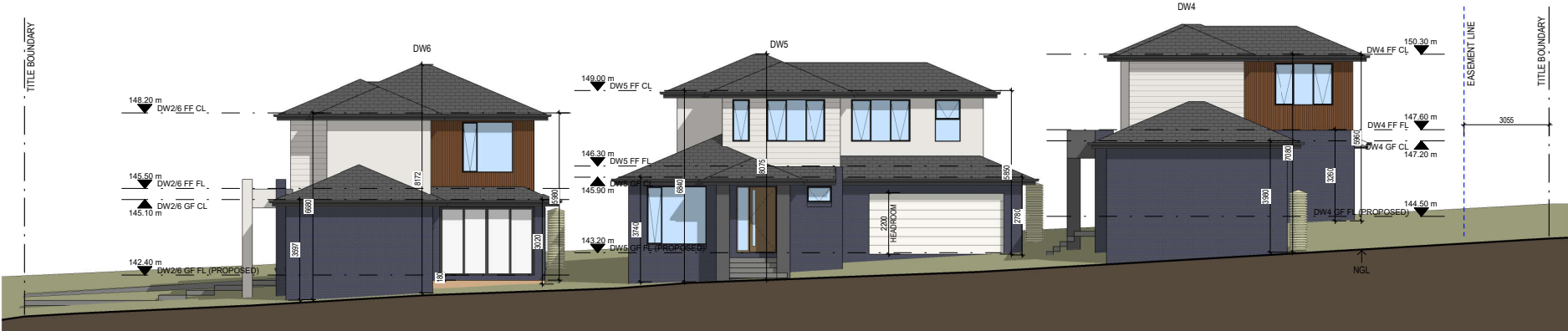
TP 2.2

Ref No. 2411

10.1 – ATTACHMENT 2. Without Prejudice Plans



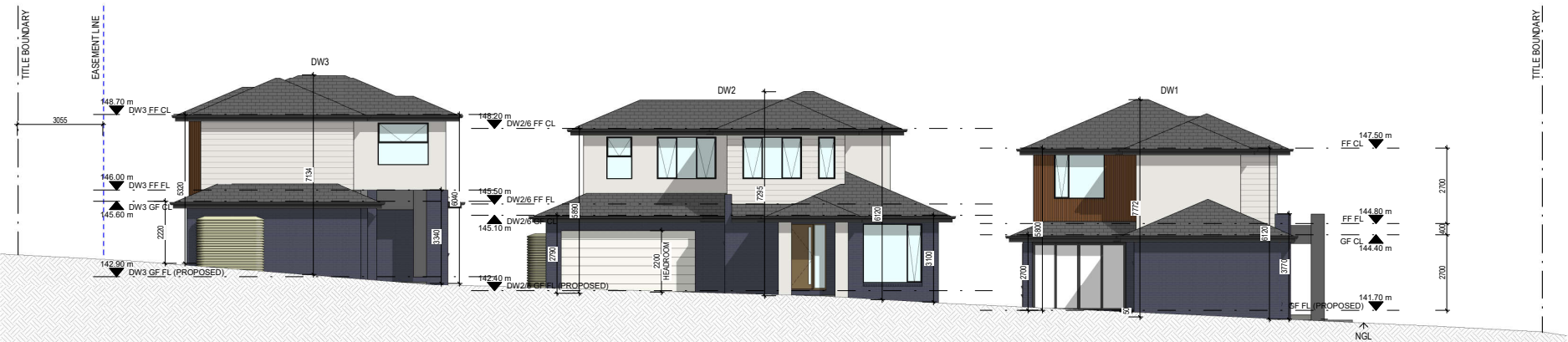
EAST ELEVATION
1 : 100



EAST ELEVATION INTERNAL
1 : 100



WEST ELEVATION
1 : 100



WEST ELEVATION INTERNAL
1 : 100



PROJECT
Six Double-Storey Townhouse Development
5-7 Frances Avenue Vermont

CONTACT
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CLIENT
Mr.Zong

NO.	DESCRIPTION	DATE

DRAWING
Elevations

Scale	1 : 100
Date	26/04/2024
Drawn	Author

TP 2.3

Ref No. 2411

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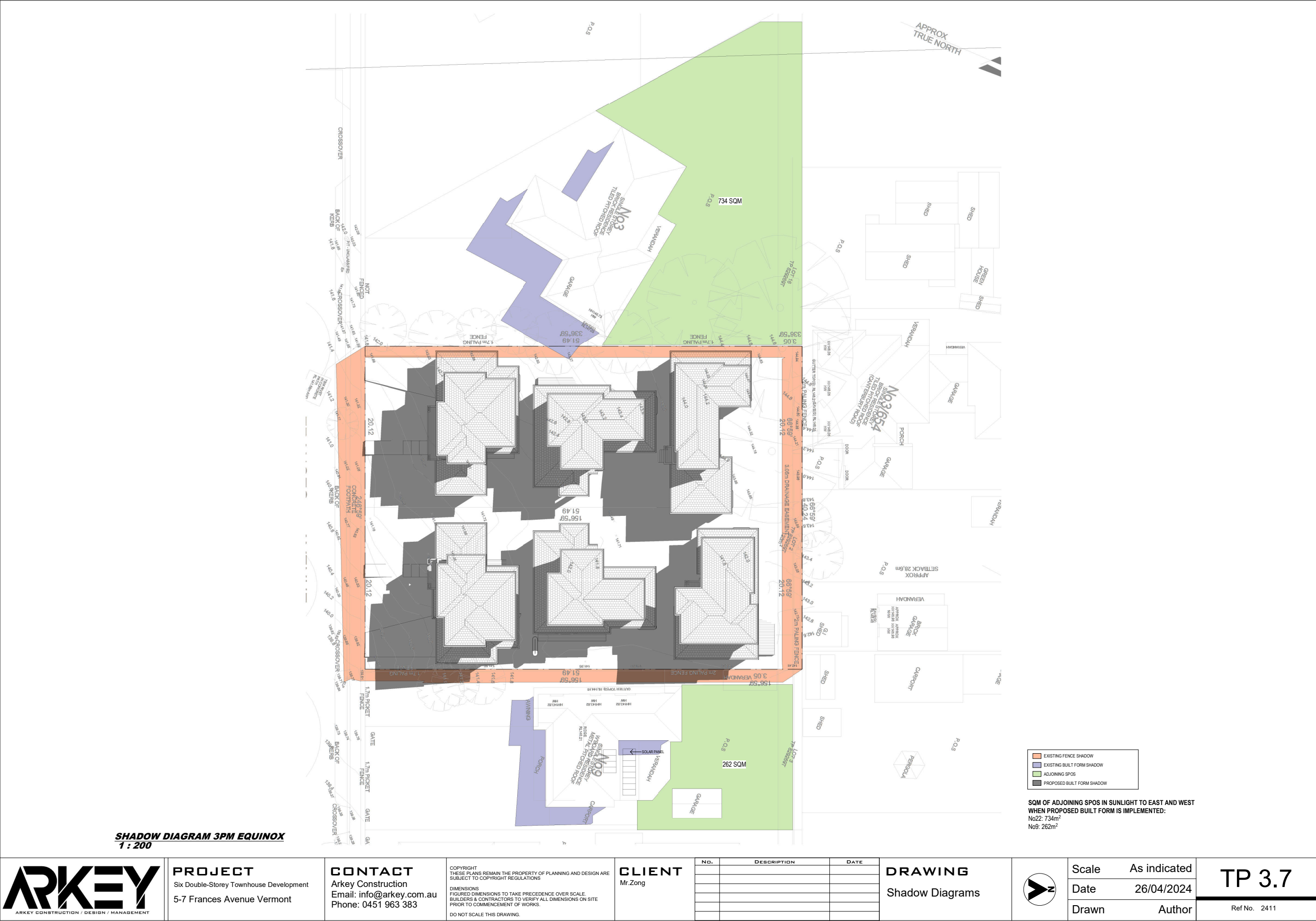
	PROJECT Six Double-Storey Townhouse Development 5-7 Frances Avenue Vermont	CONTACT Arkey Construction Email: info@arkey.com.au Phone: 0451 963 383	<small>COPYRIGHT THESE PLANS REMAIN THE PROPERTY OF PLANNING AND DESIGN ARE SUBJECT TO COPYRIGHT REGULATIONS</small> <small>DIMENSIONS FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS & CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.</small> <small>DO NOT SCALE THIS DRAWING.</small>	CLIENT Mr.Zong	<table><tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	NO.	DESCRIPTION	DATE													DRAWING Shadow Diagrams		Scale	As indicated	TP 3.5 <div>Ref No. 2411</div>
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 <div>ARKEY CONSTRUCTION / DESIGN / MANAGEMENT</div>	PROJECT Six Double-Storey Townhouse Development 5-7 Frances Avenue Vermont	CONTACT Arkey Construction Email: info@arkey.com.au Phone: 0451 963 383	<small>COPYRIGHT THESE PLANS REMAIN THE PROPERTY OF PLANNING AND DESIGN ARE SUBJECT TO COPYRIGHT REGULATIONS</small> <small>DIMENSIONS FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS & CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.</small> <small>DO NOT SCALE THIS DRAWING.</small>	CLIENT Mr.Zong	<table><tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	NO.	DESCRIPTION	DATE													DRAWING Shadow Diagrams		Scale	As indicated	TP 3.6 <div>Ref No. 2411</div>
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10.1 – ATTACHMENT 3. ResCode Assessment**Appendix A****Clause 55: Two or more dwellings on a lot**

The purpose of Two or More Dwellings on a Lot outlined at Clause 55 seeks:

- *To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.*
- *To encourage residential development that provides reasonable standards of amenity for existing and new residents.*
- *To encourage residential development that is responsive to the site and the neighbourhood.*

The requirements of Clause 55 states that a development:

- Must meet all of the objectives of this clause that apply to the application.
- Should meet all of the standards of this clause that apply to the application.
- If a development meets standard B6, B7, B8, B17, B18, B19, B20, B21, B22, B27, B28, B30 or B32, it is deemed to meet the objective for that standard.
- Where standard B6, B7, B8, B17, B18, B19, B20, B21, B22, B27, B28, B30 or B32 is met the decision guidelines for that standard do not apply to the application.

The following objectives are not relevant to this application:

- Clause 55.02-3 (Dwelling diversity objective, B3), as the application is less than the threshold of 10 dwellings.
- Clause 55.03-6 (Open space objective, B11), as the proposal does not propose any public or communal open space on site.
- Clause 55.04-2 (Walls on boundaries objective, B18) as no walls on boundary are proposed.
- Clause 55.04-4 (North facing windows) as there are no north facing windows affected by the proposal.
- Clause 55.06-2 (Front fences objective, B32), as the proposal does not propose any front fence.

Each objective and standard are assessed below:

Clause 55.02-1 Neighbourhood character objectives (B1) Relevant objectives:

- To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.

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- To ensure that development responds to the features of the site and the surrounding area.

Refer to the character assessment within the Council Report. The proposal is considered to meet the standards and objective of Clause 55.02-1.

Clause 55.02-2 Residential policy objectives (B2) Relevant objectives:

- To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.
- To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.

The proposal is consistent with the relevant policy framework for housing. As such the proposal meets the standard and objectives of Clause 55.02-2.

Clause 55.02-4 Infrastructure objectives (B4) Relevant objectives:

- To ensure development is provided with appropriate utility services and infrastructure.
- To ensure development does not unreasonably overload the capacity of utility services and infrastructure.

The proposal is located within an established urban area with connection to existing infrastructure. Additional one dwelling is not considered to generate additional capacity that would overload the current system. As such the proposal meets the standard and objectives of Clause 55.02-4.

Clause 55.02-5 Integration with the street objective (B5)

Relevant objective:

- To integrate the layout of development with the street.

Both Dwelling 1 and 6 are proposed to be orientated to the street, with the remaining dwellings positioned behind.

Crossovers would be provided to both Dwelling 1 and 6 as well as footpaths to the front doors for pedestrians.

The remaining dwellings would be accessed by a crossover and driveway through the centre of the site, with a pedestrian footpath along side it. Overall these are

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considered adequate accessways and considering the width of the block are acceptable in the context of surrounding neighbourhood character.

No front fences are proposed which aligns with the character objectives of the Bush Environment area in providing visibility to the landscaping within the front setback.

As such it is considered the standard and objective are met.

Clause 55.03-1 Minimum street setback objective (B6) Relevant objective:

- To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.
- The varied minimum street setback (B6) requirements of NRZ4 requires *The front of a garage, carport and/or outbuilding should be set back at least 10 metres from the front boundary or 1 metre further than the average set back of the buildings on adjoining allotments, whichever is the lesser.*

Both Dwelling 1 and 6 are setback 9 metres to ground floor. The standard requires the average of the two abutting properties, or 9 metres whichever is the lesser. As such the 9-metre setback is compliant with the standard.

The porches exceed 3.6 metres in height and protruding 1.2 metres into this setback. As the porches are over 3.6 metres in height a variation to Standard B6 is required. Overall, it is considered that the porches each of Dwellings 1 and 6 are acceptable as the frame the front doors and integrate the development with the street. The variation in height is relatively minor and considered acceptable in this context.

As such it is considered the objective is met in this instance.

Clause 55.03-2 Building height objective (B7) Relevant objective:

- To ensure that the height of buildings respects the existing or preferred neighbourhood character.

The proposed dwellings are two storeys with a maximum height of 8.172 metres. This does not exceed the maximum height listed in the zone (Clause 32.09-11) of two storeys and 9 metres at any point. As such the proposal meets the standard and objective of Clause 55.03-1.

Clause 55.03-3 Site coverage objective (B8) Relevant objective:

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- To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.

The proposal meets the varied standard, with a proposed site coverage of 35.3% which is less than the 40% maximum listed in NRZ4. As such the proposal meets the standard and objective of Clause 55.03-3.

Clause 55.03-4 Permeability and stormwater management objectives (B9)

Relevant objectives:

- To reduce the impact of increased stormwater run-off on the drainage system.
- To facilitate on-site stormwater infiltration.
- To encourage stormwater management that maximises the retention and reuse of stormwater.

The proposal meets the varied standard, with a permeability of 48.5% which exceeds 40% thus ensuring that the site maintains a level of permeability to improve on-site stormwater filtration.

The submitted Storm rating report shown 3,000L water tanks to be allocated to each dwelling with rainwater tanks shown on the plans. Other stormwater management objectives are addressed by conditions on any permit to be issued, these include connecting rainwater tanks to flushing, laundry washing machine and irrigation areas. With this condition, the proposal would meet the objective of Clause 55.03-4.

Clause 55.03-5 Energy efficiency objectives (B10) Relevant objectives:

- To achieve and protect energy efficient dwellings and residential buildings.
- To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.

The dwellings are sufficiently designed to ensure SPOS area receive sunlight from the north, without being affected by first floor levels. Additionally living spaces are orientated to ensure they receive sufficient sunlight to protect the energy efficiency of the dwellings. Conditions on the permit will also ensure a minimum NatHERS 7-star energy efficiency rating reflecting best practice energy efficiency and thermal comfort. As such it is considered the standard and objective are met.

Clause 55.03-7 Safety objective (B12) Relevant objective:

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- To ensure the layout of the development provides for the safety and security of residents and property.

Dwellings 1 and 6 are orientated to the streetscape with windows providing surveillance opportunities to the street and internal accessway.

The remaining dwellings have windows which overlook the internal accessway providing surveillance opportunities.

It is considered there will be sufficient internal lighting of the accessway and entrances to dwellings to ensure the development is safe. Conditions on the permit will ensure high mounted security lighting is added to each garage and entry.

Private open spaces are protected from entrance via boundary and internal fences.

Overall, it is considered the objective and standard are met with conditions.

Clause 55.03-8 Landscaping objectives (B13) Relevant objectives:

- To encourage development that respects the landscape character of the neighbourhood.
- To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.
- To provide appropriate landscaping.
- To encourage the retention of mature vegetation on the site.

Refer to the landscape assessment within the 'Landscaping' section of the council report. Subject to condition the proposed landscaping meets the varied standards and as such the proposal meets the objectives of Clause 55.03-8.

Clause 55.03-9 Access objective (B14) Relevant objective:

- To ensure the number and design of vehicle crossovers respects the neighbourhood character.

Standard B14 of Clause 55.03-9 requires that accessways be less than 33 per cent of the street frontage. Overall, there is 9 metres of accessway to 40.24 metres of frontage equating to 22.4 per cent and well less than the Standard requires. The proposal has been reviewed by Council's Assets Department and Transport Departments who are satisfied with the proposal. It is also noted that splays to the driveways have been provided in accordance with safety requirement of Clause 52.06.

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Considering the width of the lot it is considered the crossovers are acceptable in the context of surrounding neighbourhood character and as such it is considered both the standard and objective are met.

Clause 55.03-10 Parking location objective (B15) Relevant objectives:

- To provide convenient parking for resident and visitor vehicles.
- To protect residents from vehicular noise within developments

Each dwelling is provided with a double garage integrated within the dwellings and easily accessible.

Dwelling 2 is the only dwelling with a habitable room window affected by the internal accessway (Bed 1 on the western elevation). The window is within 1.2 metres of the accessway and as such the standard requires that the sill of this window be raised to 1.4 metres. A condition on the permit will ensure this.

Subject to conditions it is considered the standard and objective are met.

Clause 55.04-1 Side and rear setbacks objective (B17) Relevant objective:

- To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.
- The varied standard of B17 in NRZ1 A new building not within 200mm of a boundary should be set back from side and rear boundaries 1.2 metres, plus 0.3 metres for every height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre over 6.9 metres.

Dwelling 1

Interface	Setback	Wall height	Compliance
GF East	1.3m	3.42m	Complies 1.2m required
FF East	3.47m	6.52m	Complies 2.076m required

Dwelling 2

Interface	Setback	Wall height	Compliance
GF East	5m	3.24m	Complies 1.2m required

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FF East	6.07m	6.34m	Complies 2.049m required
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Dwelling 3

Interface	Setback	Wall height	Compliance
GF East	1.8m	3.42m	Complies 1.2m required
GF North	6.055m	3.58m	Complies 1.2m required
FF East	3.78m	6.52m	Complies 2.076m required
FF North	6.205m	6.28m	Complies 2.004m required

Dwelling 4

Interface	Setback	Wall height	Compliance
GF West	1.2m	3.383m	Complies 1.2 required
GF North	6.96m	3.098m	Complies 1.2m required
FF West	2.725m	6.42m	Complies 2.046m required
FF North	7.095m	6.204m	Complies 1.98m required

Dwelling 5

Interface	Setback	Wall height	Compliance
GF West	5.435m	3.097m	Complies 1.2m required
FF West	6.506m	6.068m	Complies 1.94m required

Dwelling 6

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Interface	Setback	Wall height	Compliance
GF West	1.2m	2.946m	Complies 1.2m required
FF West	3.915m	6.04m	Complies 1.93m required

As shown above the proposal is fully compliant with the varied Standard B17 requirements in the Neighbourhood Residential Zone, Schedule 3.

The proposal has been discussed in further detail in relation to Significant Landscape Overlay, Schedule 8 in the main report.

The Standard and therefor Objective are met.

Clause 55.04-3 Daylight to existing windows objective (B19)

Relevant objective:

- To allow adequate daylight into existing habitable room windows.

This is achieved with all habitable rooms with windows having clear access to open sky in accordance with the standard. In addition, the dwellings are all setback 50% of their respective wall heights to maintain daylight to existing windows. As such the proposal meets the standards and objectives of Clause 55.04-3.

Clause 55.04-5 Overshadowing objective (B21)

Relevant objective:

- To ensure buildings do not significantly overshadow existing secluded private open space.

3 Frances Avenue

Time (22 September)	Unshadowed SPOS with 3m minimum dimension	Compliance
9am	556sqm	Complies
10am	629sqm	Complies
11am	679sqm	Complies
12	721sqm	Complies

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1pm	734sqm	Complies
2pm	734sqm	Complies
3pm	734sqm	Complies

9 Frances Avenue

Time (22 September)	Unshadowed SPOS with 3m minimum dimension	Compliance
9am	287sqm	Complies
10am	288sqm	Complies
11am	288sqm	Complies
12	288sqm	Complies
1pm	288sqm	Complies
2pm	281sqm	Complies
3pm	262sqm	Complies

As shown the submitted shadow diagrams demonstrate that the adjoining properties always receive over 40 square metres of sunlight (with a minimum dimension of 3m) between 9am and 3pm on 22 September. As such the Standard and Objective are met.

Clause 55.04-6 Overlooking objective (B22)

Relevant objective:

- To limit views into existing secluded private open space and habitable room windows.

At ground floor all habitable room windows and decks have finish floor levels less than 800mm and face visual barriers at least 1.8 metres in height and as such the Standard does not apply.

Eastern Elevation (Dwellings 1, 2, 3 and 4 internal elevation)

All dwellings have obscure glazing to their habitable room windows and it appears this is to 1.7 metres above finish floor level, however this has not been properly

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annotated and as such conditions on the permit will ensure proper annotations are including ensuring compliance with Standard B22.

Dwelling 4 has a window on the eastern elevation at first floor to Bed 3. An overlooking arc from this windows in accordance with the Standard falls within the subject property and as such it does not need to be screened or obscured.

Western Elevation (Dwelling 4, 5 and 6)

All dwellings have obscure glazing to their habitable room windows and it appears this is to 1.7 metres above finish floor level, however this has not been properly annotated and as such conditions on the permit will ensure proper annotations are including ensuring compliance with Standard B22.

Northern Elevation (Dwelling 3 and 4))

All dwellings have obscure glazing to their habitable room windows and it appears this is to 1.7 metres above finish floor level, however this has not been properly annotated and as such conditions on the permit will ensure proper annotations are including ensuring compliance with Standard B22.

There are no other windows (that Dwelling 4 assessed above) on the first floor internal elevation that could overlook a neighbouring property.

As such subject to conditions the proposal would comply with the Standard B22 and therefor also the Objective.

Clause 55.04-7 Internal view's objective (B23)

Relevant objective:

- To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.

No unscreened habitable room windows are capable of overlooking the secluded private open space of any other unit within the development other the Dwelling 4 eastern internal elevation. Views from this window fall within its own SPOS area and as such it is not required to be screened.

The proposal meets the Standard and Objective.

10.1 – ATTACHMENT 3. ResCode AssessmentClause 55.04-8 Noise impacts objectives (B24)

Relevant objectives:

- To contain noise sources in developments that may affect existing dwellings.
- To protect residents from external noise.

The proposed dwellings are not located near any external noise sources or do not result in the creation of any internal noise sources, thus impact to residents on the site or external to the site is limited. As such the proposal meets the standards and objectives of Clause 55.04-8.

Clause 55.05-1 Accessibility objective (B25)

- To encourage the consideration of the needs of people with limited mobility in the design of developments.

All dwelling entries have porches with steps which would need to be adjusted for any person(s) with limited mobility, however this can be done which is acceptable. There are entries through garages for all dwellings other than Dwelling 4 with each of these dwellings also having bedrooms and living spaces at ground floor level. This is considered to be acceptable and meets the standards and objective.

Clause 55.05-2 Dwelling entry objective (B26)

Relevant objective:

- To provide each dwelling or residential building with its own sense of identity.

All dwellings including those accessed from the accessways within the site have porches with covered entries which clearly identify the respective entries.

As such the standard and objective are met.

Clause 55.05-3 Daylight to new windows objective (B27)

Relevant objective:

- To allow adequate daylight into new habitable room windows.

The submitted ground and first floor plans demonstrate that each habitable room window maintains a clearance of 1m within a 3 square metres light court area, to

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allow daylight into new habitable room windows. As such the proposal meets the standards and objectives of Clause 55.05-3.

Clause 55.05-4 Private open space objective (B28)

Relevant objective:

- To provide adequate private open space for the reasonable recreation and service needs of residents.

All dwellings have private open space areas in excess of 40sqm including with an SPOS area of at least 35sqm with a minimum dimension of 5 metres in compliance with the Standard and Objective.

	POS	SPOS with minimum 5 metre dimension	Compliance
Dwelling 1	104sqm	37.1sqm	Complies
Dwelling 2	94sqm	94sqm	Complies
Dwelling 3	138sqm	112sqm	Complies
Dwelling 4	197sqm	189sqm	Complies
Dwelling 5	117sqm	99.4sqm	Complies
Dwelling 6	41sqm	87sqm	Complies

Clause 55.05-5 Solar access to open space objective (B29)

Relevant objective:

- To allow solar access into the secluded private open space of new dwellings and residential buildings

Standard requires that the southern boundary of Secluded Private Open Space should be setback from any wall on the north of the space at least $(2+0.9h)$ metres, where 'h' is the height of the wall.

Dwelling 1

Wall	Height	Setback	Compliance
Ground floor Dwelling 2	3.18m	7 metres	Complies 4.862m required

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First Floor Dwelling 2	6.28m	9.892m	Complies 7.65m required
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Dwelling 6

Wall	Height	Setback	Compliance
Ground floor Dwelling 5	3.894m	7 metres	Complies 5.5m required
First Floor Dwelling 5	6.84m	9.892m	Complies 8.156m required

Dwelling 2

The walls of Dwelling 3 are setback over 17 metres from the southern boundary of the SPOS well in excess of the Standard at both ground and first floor level.

Dwelling 3

There is a shed on the northern side of the SPOS space however this only encumbers a small amount the SPOS space and meets the Standard.

Dwelling 5

There is a neighbouring dwelling on the northern side of the SPOS space however this only encumbers a small amount the SPOS space and meets the Standard.

Overall, the layout of the SPOS area allows for sun to receive sunlight in line with the requirements of the Standard. It is considered the objective is met.

Clause 55.05-6 Storage objective (B30)

- To provide adequate storage facilities for each dwelling.

Each dwelling has a six cubic metre shed in its SPOS in compliance with the Standard. The objective is met.

10.1 – ATTACHMENT 3. ResCode AssessmentClause 55.06-1 Design detail objective (B31)

Relevant objective:

- To encourage design detail that respects the existing or preferred neighbourhood character.

The design detail is discussed in detail within the Council Report. It is considered that the mixture of materials and overall design responds sufficiently to the Bush Environment Character Area, including brick at ground floor, timber cladding at first floor and Zincalume cladding for the roofing which responds to the prevailing materials of the streetscape. The roof forms include eaves and recesses to ensure the buildings are appropriately articulated.

It is considered the standard and objective are met.

Clause 55.06-3 Common property objective (B33)

Relevant objective:

- To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.
- To avoid future management difficulties in areas of common ownership.

The centralised driveway and footpath to the rear units is considered to clearly delineate the common areas to each double garage and entry to each dwelling. Buildings and fences are appropriately designed to ensure private spaces are clearly separated and differentiated from common areas.

There is a visitors car parking space between Dwelling 2 and 3 and it is considered that it would be unclear this is a parking space unless it was appropriately signed or marked as a visitor space. Residents may not see it or may think that it belongs to another Dwelling within the development. **As such conditions on the permit will ensure that it is sign posted as a visitor space.**

Clause 55.06-4 Site services objective

Relevant objective:

- To ensure that site services can be installed and easily maintained.
- To ensure that site facilities are accessible, adequate and attractive.

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It is considered the layout of the development will allow for services to be installed and easily maintained. Bins will be able to be wheeled out to the streetscape relatively easily through gates or garages from the SPOS areas.

Mailboxes and other services have been annotated on to the plans however are not appropriately shown and as such a condition will be added to the permit to ensure they are properly shown, convenient and properly designed.

It is considered subject to conditions the standard and objective are met.

10.1 – ATTACHMENT 4. Arborist Report

ARBORICULTURAL IMPACT ASSESSMENT

5-7 FRANCES AVENUE VERMONT
Vic 3133

PLANNING AND ENVIRONMENT ACT 1987
WHITEHORSE PLANNING SCHEME

6/11/2024

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CITY OF WHITEHORSE

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PREPARED BY:

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CONSULTANT ARBORIST
B.APP. SCI(HORT) DIP HORT (ARB)

6 MAY 2023



Treespace Solutions Pty Ltd
Email: contact@treespace.com.au
www.treespacesolutions.com.au

10.1 – ATTACHMENT 4. Arborist Report

PLANNING AND ENVIRONMENT ACT 1987
WHITEHORSE PLANNING SCHEME

6/11/2024

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10.1 – ATTACHMENT 4. Arborist Report

6/11/2024

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CITY OF WHITEHORSE

1.0 INTRODUCTION

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- 1.1.1 ARKEY Construction Pty Ltd has engaged Treespace Solutions to provide an arboricultural impact assessment for the population of trees within and proximity to the proposed development of 5-7 Frances Av Vermont.
- 1.1.2 A complete demolition of the existing dwelling, construction of 6 x 2-level dwellings serviced by three crossovers is proposed. This includes reconstructing the existing crossover plus two new crossovers. With the exception of two large existing trees positioned on the rear northern boundary, the proposal requires the removal of all vegetation within the site boundaries.
- 1.1.3 This assessment has been prepared with the proposed development plans prepared by ARKEY Construction Pty Ltd and measured against AS4970-2009 *Protection of trees on development sites*.
- 1.1.4 A total of 2 groups and 13 individual trees were assessed on 12 March 2024 using a TruPulse 200 / B laser height meter, Avalon 8X32 Mini HD Binoculars and a Richter 5m Fibreglass Diameter Tape.
- 1.1.5 The inspection was carried out in accordance with steps one and two of the internationally recognised Visual Tree Assessment (VTA). This method for assessing trees was developed by Mattheck and Breloer (1994) and is included in standard arboricultural texts by Harris, Clarke, and Matheny (2004) and Lonsdale (1999).

2.0 PLANNING & ZONING

Local Government Authority	City of Whitehorse
Planning Scheme Zone	Neighbourhood Residential Zone – Schedule 5 (NRZ5)
Vegetation Overlays or Local Law	Significant Landscape Overlay – Schedule 8 (SLO8)

3.0 CITY OF WHITEHORSE SLO8

- 3.1.1 A permit is required to remove, destroy or lop a tree. This does not apply to:
- A tree having a single trunk circumference of 0.5m (16cm diameter) or less at a height of 1.0m above ground level.
 - The pruning of a tree for regeneration or ornamental shaping.
 - A tree which is dead or dying to the satisfaction of the responsible authority.
- 3.1.2 A permit is required to construct a front fence that is within 4.0m of any vegetation that requires a permit to remove, destroy or lop under the provisions of this schedule. This does not apply to the like-for-like replacement of a front fence to the satisfaction of the responsible authority.
- 3.1.3 *Note: Pruning of a tree is defined as removing branches (or occasionally roots) from a tree or plant using approved practices, to achieve a specified objective such as for regeneration or ornamental shaping.*
- 3.1.4 *Lopping is defined as the practice of cutting branches or stems between branch unions or internodes.*
- 3.1.5 A permit is not required to construct a building, or construct or carry out works provided all the following requirements are met:

10.1 – ATTACHMENT 4. Arborist Report

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- The building is:

- o No higher than two storeys or 9 metres.

- o Set back at least 9 metres from the front boundary for a single storey building and has any upper floor set back at least 11 metres from the front boundary.

- o Set back from any other boundary at least 1.2 metres for a building wall height of no more than 3.6 metres or 1.5 metres plus half the building height if the building wall height is more than 3.6 metres.

3.1.6 The works are set back more than 4.0m from any vegetation that requires a permit to remove, destroy or lop under the provisions of this schedule.

4.0 SITE DETAILS

4.1.1 The subject site comprises of two adjoining allotments, rectangular in plan with a north-south orientation and positioned on the eastern side of Frances Av. Topographically, the site sits upon a gentle southwest-facing slope.

4.1.2 The site is currently occupied by a single-level masonry building which occupies most of 7 Frances Av allotment whilst 5 Frances Av has an indoor, inground swimming pool surrounded by landscaped gardens with the balance of the land comprising open lawn, gardens and vegetable patches.

4.1.3 Given the sites topography, both buildings sit within a site cut toward the northern end of the site.

4.1.4 The sites vegetation comprises of small, medium and large shrubs concentrated in and around the buildings with the assessed trees concentrated along the rear north and eastern boundaries, dominated by two large trees toward the northwest of the site. However, of the two groups and thirteen individuals assessed, all but 1 group and 3 individual trees are located offsite.

5.0 TREE ASSESSMENTS

5.1.1 Three groups and thirteen individual trees have been assessed as part of this study.

- Tree 1 is a street tree positioned directly in front of 5 Frances Av.
- Trees 2, 3, 4, 5, 6, 8 are positioned in proximity to the western boundary within 3 Frances Av.
- Trees 10 and 11 are positioned in proximity to the western boundary within 656 Canterbury Rd.
- Group 14 and Tree 12 are positioned in proximity to the eastern boundary within 9 Frances Av.
- Group 15 and Tree 13 are positioned in proximity to the eastern boundary within the site boundaries.

5.1.2 The most notable of the assessed trees are Trees 6, 7, 8 and 9 concentrated in the northwest corner of the study area.

5.1.3 Tree 6 is a maturing, robust Brushbox, Trees 7 and 8 are large prominent Flooded Gums whilst Tree 9 is a large and prominent Spotted Gum.

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5.1.4 High value trees

5.1.5 Trees 6, 7 and 9 have been rated with a High arboricultural value.

5.1.6 High value trees are in good overall condition that have the potential to positively contribute to the landscape in the long-term if appropriately managed. Their species are suited to the existing site conditions and can tolerate certain changes in their environment. Ideally, trees with a high retention value should be retained and incorporated into any development plans. The tree is worthy of retention wherever possible.

5.1.7 Medium value trees

5.1.8 Trees 3 and 8 have been rated with a Medium arboricultural value.

5.1.9 A medium value tree has some attributes that may benefit the site in relation to botanical, horticultural, historical, or local significance but may be limited to some degree by their current health condition or future growth in relation to existing or future site conditions and/or immediate/future maintenance requirements. These trees are likely to tolerate changes in their environment and will respond to arboricultural treatments. Trees classed as having a moderate retention value should be considered for retention if reasonably practicable. Arboricultural works may be required but should remain within reasonable limits. Tree may have a ULE of over 10 years if managed appropriately.

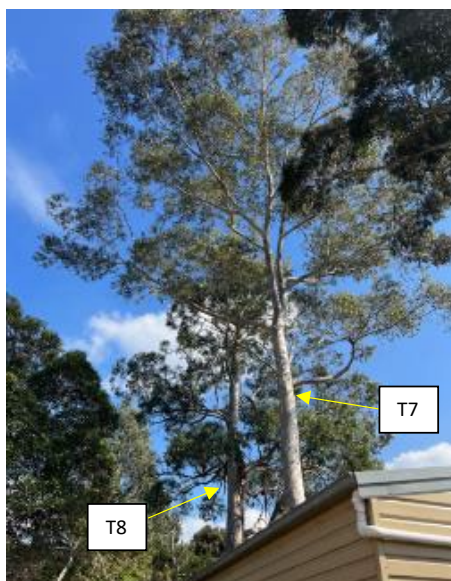
5.1.10 Low & No value trees

5.1.11 Group 14, 15 and Trees 1, 2, 4, 5, 10, 11, 12 and 13 have been assessed with a Low arboricultural rating primarily due to their poor health, poor structural condition, arboricultural insignificance, weed status or a combination of these factors.

5.1.12 Offsite trees

5.1.13 Regardless of their Arboricultural rating, Group 14 and Trees 1, 2, 3, 4, 5, 6, 8, 10, 11 and 13 must be retained and protected throughout the works by virtue of their third-party ownership.

5.1.14 Refer to 10.0 Tree Data Table for further detail.



ARBORICULTURAL IMPACT ASSESSMENT

5-7 FRANCES AV VERMONT

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6.0 AERIAL PHOTOGRAPH & TREE LOCATIONS



Figure 1: Site feature Survey – 26 March 2024

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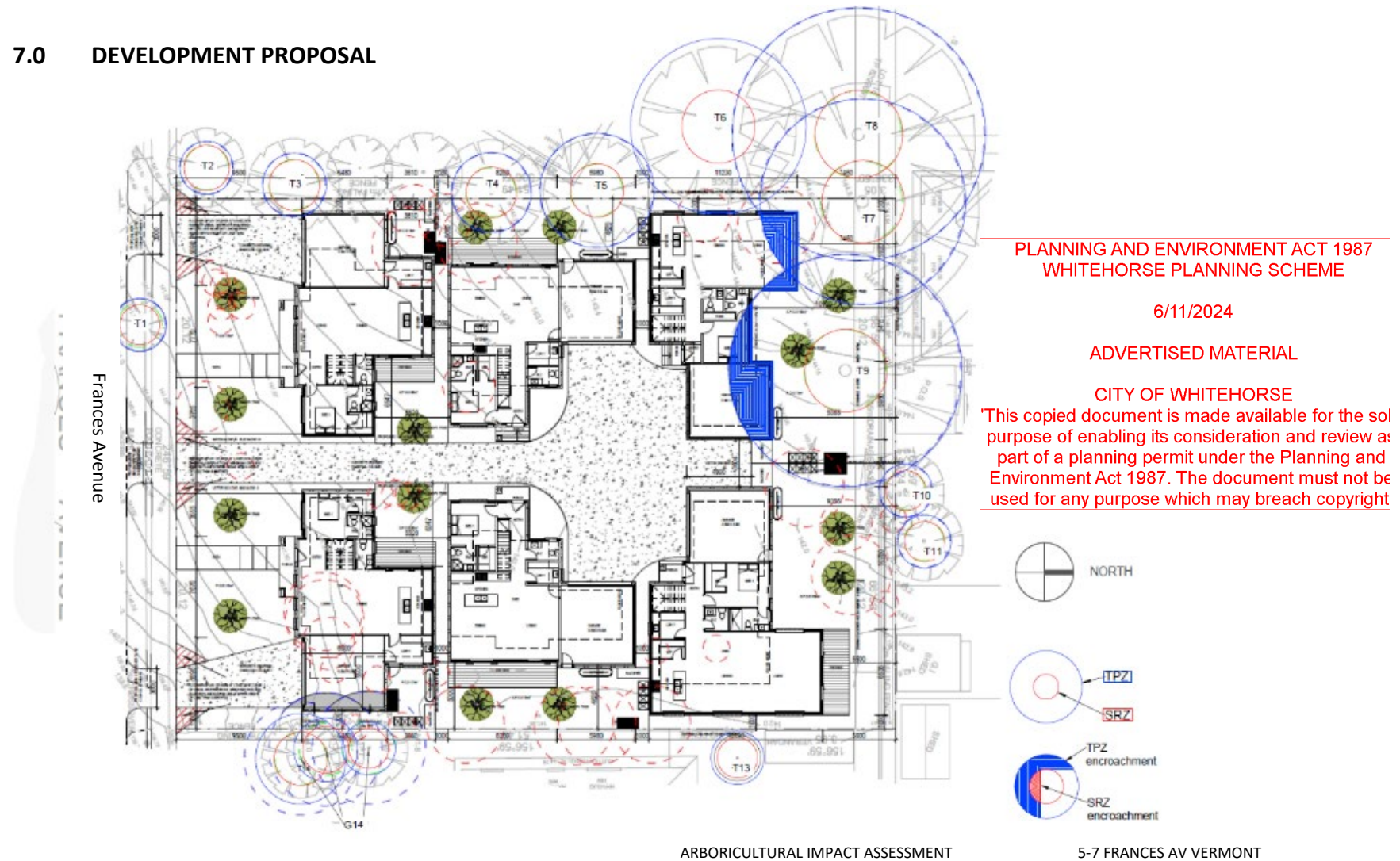
ARBOREAL WHITEHORSE ASSESSMENT

5-7 FRANCES AV VERMONT

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7.0 DEVELOPMENT PROPOSAL



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8.0 IMPACT ASSESSMENT

8.1.1 The following documents have been reviewed and referenced in the preparation of this report.

- Feature & Level Survey prepared by Geomatics Engineers Melbourne Pty Ltd 26/03/2024
- TP1.3 Proposed Ground Floor Plan prepared by ARKEY Construction Pty Ltd 26/04/2024
- TP1.4 Proposed First Floor Plan prepared by ARKEY Construction Pty Ltd 26/04/2024
- TP1.5 Garden Area prepared by ARKEY Construction Pty Ltd 26/04/2024
- TP07 Shadow/Garden Area Plans prepared by Arch Atelier (Architect) 12/07/2023
- TP2.1/2.2/2.3 Elevations prepared by ARKEY Construction Pty Ltd 26/04/2024
-

8.1.2 A complete demolition of the existing dwelling, construction of 6 x 2-level dwellings serviced by three crossovers is proposed. This includes reconstructing the existing crossover plus two new crossovers. With the exception of Trees 7 and 9, the proposal requires the removal of all vegetation within the site boundaries.

8.1.3 **SLO8**

8.1.4 **Building works**

8.1.5 Construction of the Dwelling 5 garage is within 4.0m of Tree 3. In accordance with the SLO8, a permit will be required.

8.1.6 It must be noted that the proposal does not encroach the TPZ of this tree.

8.1.7 **Tree removals – Tree 12 & Group 15**

8.1.8 In accordance with the SLO8 a permit will be required for the removal of Tree 12. It must be noted that the removal of Tree 12 is a "No" value self-seeded environmental weed species.

8.1.9 **Minor TPZ encroachment**

8.1.10 **Tree 1**

8.1.11 An encroachment of 0.5m² (0.4%), 9.7m² () and 4.3m² () upon the TPZ of Trees 6, 7 and 8 has been noted by the proposed Dwelling 4 footprint but, with no SRZ encroachment. With reference to AS4970-2009 Protection of trees on development sites, an encroachment less than 10% is considered minor and provided the recommendations are enforced, it is anticipated that Tree 1 will not be adversely impacted.

8.1.12 **Tree 9**

8.1.13 An encroachment of 24.5m² (10.3%) upon the TPZ of Tree 9 has been noted by the proposed Dwelling 4 dwelling and garage footprints. There is no SRZ encroachment. With reference to AS4970-2009 Protection of trees on development sites, an encroachment greater than 10% is considered major and has the potential to undermine the affected trees' health and viability. However, given the expanse of open ground to be retained within the site and contiguous to Tree 9's TPZ, the 0.3% encroachment over and above the 10% threshold will be more than offset and combined with the tree's general good

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health and condition, provided the recommendations are enforced, it is anticipated that Tree 9 will not be adversely impacted.

9.0 RECOMMENDATIONS

- 9.1.1 **Tree 12 and Group 15** are removed prior to commencement of construction.
- 9.1.2 In accordance with the SLO8, apply for a permit to undertake works within 4.0m of Tree 3.
- 9.1.3 Trees 1 – 11, 13 and Group 14 are shown on all Site Plans as 'To be Retained & Protected' with TPZs and SRZs depicted to scale.
- 9.1.4 Where within the TPZ of Trees 3, 7, 8 and 9, the NGL (natural ground level) is maintained throughout unimpacted areas of the TPZ.
- 9.1.5 Any excavation for the installation of utilities is redirected around the TPZ of retained trees. Alternatively, utilities may be installed via non-destructive digging (e.g. manual, hydro) conducted under the direct supervision by a suitably qualified arborist (minimum AQF Level 5), or via boring to a minimum depth of 800mm (top of bore).

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10.0 TREE ASSESSMENT DATA

Tree	Taxon	Common Name	Origin	DBH (cm)	TPZ (m)	DAB (cm)	SRZ (m)	Height (m)	Canopy (m)	Age	ULE	Health	Structure	Form	Arboricultural Value	SLO9 Permit	Notes
1	<i>Prunus x domestica</i>	European Plum	Exotic	16	2	19	1.7	3.5	3	Over-mature	1-5 years	Fair-poor	Fair	Symmetrical	Low	YES - Offsite	Small specimen
2	<i>Liquidambar styraciflua</i>	Liquidambar	Exotic	14	2	18	1.7	9	5	Semi-mature	20+years	Fair-good	Fair	Asymmetrical	Low	NO - Offsite	2.7m from boundary Covered by English Ivy
3	<i>Lagerstroemia spc.</i>	Crepe Myrtle	Exotic	20*	2.4	25*	1.9	9	7	Mature	20+years	Good	Fair-good	Symmetrical	Medium	YES - Offsite	Positioned Approximately 0.5m from boundary
4	<i>Cotoneaster glaucophyllus</i>	Cotoneaster	Exotic	25*	3	25*	1.9	6	8	Over-mature	0	Fair-good	Fair	Symmetrical	None	YES - Offsite	Exempt from SLO9 Positioned on boundary
5	<i>Ligustrum lucidum</i>	Shining Privet	Exotic	10, 20, 28	4.3	30	2	6	6	Mature	0	Fair-good	Fair-good	Symmetrical	None	YES - Offsite	Adjacent Brushbox is 5.5m from boundary with estimated 55cm DBH
6	<i>Lophostemon confertus</i>	Brushbox	Australian Native	55*	6.6	65*	2.75	12	7	Mature	20+years	Good	Good	Symmetrical	High	YES - Offsite	Robust tree 5.5m from boundary
7	<i>Eucalyptus saligna</i>	Flooded Gum	Australian Native	72	8.7	85	3.1	24	15	Mature	20+years	Good	Fair-good	Symmetrical	High	YES	Large prominent tree in corner of beside sheds
8	<i>Eucalyptus saligna</i>	Flooded Gum	Australian Native	80*	9.6	95*	3.3	25	15	Mature	20+years	Good	Fair-good	Symmetrical	Medium	YES - Offsite	4.4m from south boundary
9	<i>Corymbia maculata</i>	Spotted Gum	Victoria	73	8.8	83	3.1	25	20	Mature	20+years	Good	Fair-good	Symmetrical	High	YES	Positioned between 2 sheds Canopy initiates at 7m on western side
10	<i>Acacia elata</i>	Cedar Wattle	Australian Native	15*	2	15*	1.5	5.5	3.5	Semi-mature	6-10 years	Fair-good	Fair	Symmetrical	Low	NO - Offsite	Crack in stem
11	<i>Eriobotrya japonica</i>	Loquat	Exotic	10,10*	2	15*	1.5	4.5	5	Semi-mature	20+years	Good	Fair-good	Symmetrical	Low	NO - Offsite	2m from boundary
12	<i>Pittosporum undulatum</i>	Sweet Pittosporum	Victorian Native weed	19,20	3.4	31	2.1	6	5	Mature	0	Fair-good	Fair-good	Symmetrical	None	YES	Beside Coprosma and dead Prunus
13	<i>Lagerstroemia indica</i>	Crepe Myrtle	Exotic	5, 10 & 10*	2	15	1.5	3	4	Semi-mature	20+years	Good	Fair-good	Symmetrical	Low	YES - Offsite	Positioned 2.0m from the common boundary
G14	<i>Ligustrum lucidum</i>	Shining Privet x 3	Exotic	10, 20, 28	2.0, 2.4 & 3.4	30	2	6	6	Mature	0	Fair-good	Fair-good	Symmetrical	None	YES for 1 specimen of 3 – All offsite	Environmental weed Positioned on the common boundary
G15	<i>Yucca elephantipes</i>	Spanish Dagger x 2	Exotic	33	2.0	n/a	n/a	3	1.5	Mature	20+years	Good	Good	Symmetrical	Low	NO	Monocot

*DBH and DAB measurements estimated to the nearest 5cm

** Species identification to be confirmed.

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11.0 DESCRIPTORS

Tree Protection Zone (TPZ)	The principal means of protecting trees on development sites. The TPZ is a combination of the root area and crown area requiring protection. It is an area isolated from construction disturbance, so that the tree remains viable.
Structural Root Zone (SRZ)	The area required for tree stability. The SRZ is typically calculated when a major encroachment into a TPZ is proposed.
Taxon:	Botanical name of tree.
Common Name:	Accepted common name of taxon Sources for Taxon and Common Names: Flora of Victoria online (https://vicflora.rbg.vic.gov.au/) <i>Horticultural Flora of South-Eastern Australia</i> (Vols. 1-5)
Origin:	
Indigenous	Naturally occurring taxon within locale. Considered Native under planning scheme provisions
Victoria	Naturally occurring taxon within Victoria. Considered Native under planning scheme provisions
Australia	Australian native. Occurs naturally within Australia, but outside Victoria.
Exotic.	Introduced taxon to Australia.
DBH:	Diameter at breast height (1.4m), in centimetres.
DAB:	Diameter of trunk immediately above root buttress, in centimetres.
Height:	Estimated height of tree, in metres.
Width:	Estimated width of tree, in metres.
TPZ:	Tree Protection Zone calculated in accordance with AS4970-2009 <i>Protection of Trees on Development Sites</i> .
SRZ:	Structural Root Zone calculated in accordance with AS4970-2009 <i>Protection of Trees on Development Sites</i> .
Form	Shape of tree crown
Age	
Juvenile:	Young, recently planted tree.
Semi-mature:	Tree is developing and established.
Mature:	Specimen has reached expected size in current situation, limited extension growth.
Over-mature:	Specimen entering stage of decline, declining health.
Senescent	Tree is in advancing decline.
Health	
Good:	Optimal vigour for this taxon. Crown full with good density, foliage entire, with good colour, minimal or no pathogen damage. Good growth indicators, e.g. extension growth. No or minimal canopy dieback. Good wound-wood and callus formation.
Fair:	Tree is exhibiting one or more of the following: Tree has <30% deadwood. Or can have minor canopy dieback. Foliage generally with good colour, some

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	discolouration may be present, minor pathogen damage present. Typical growth indicators, e.g. extension growth, leaf size, canopy density for species in location may be slightly abnormal.
Poor:	Tree has >30% deadwood. Canopy dieback present. Discoloured or distorted leaves and/or excessive epicormic re-growth. Pathogen is present and/or stress symptoms that could lead to or are consistent with tree death.
Dead:	Tree is dead.
Structure	
Good:	Optimal structure for this taxon. Sound branch attachment and/or branches sound or only minor damage. Good trunk and scaffold branch taper. No branch over extension. No damage to structural roots, good buttressing present. No obvious root pests or diseases.
Fair:	Some minor structural defects and/or minimal damage to trunk. Bark missing. Cavities could be present. Minimal or no damage to structural roots. Typical structure for species.
Poor:	Major structural defects and/or trunk damaged and/or missing bark. Large cavities and/or girdling or damaged roots that are problematic.

Useful Life Expectancy (ULE)

The length of time a tree can be maintained as a useful amenity specimen. Contingent on a number of factors including expected life-span of the taxon, health and structure, pest, and diseases, weed status.

Arboricultural Value

None	Tree with severe health and/or structural defects that cannot be rectified through reasonably practicable Arboricultural works; Tree may be inter dependent with surrounding trees and will be unable to be retained once adjacent shelter trees are removed; The tree is classed as a noxious or environmental weed species and is detrimental to the environment.
Low	A tree that offers little in terms of contributing to the of the future landscape for reasons of poor health, structural condition, and/or species suitability, including propensity to weediness; A tree that is not significant due to its size and/or age and can be easily replaced; Tree with a ULE of under 10 years; Trees classed as having a low retention value may be able to be retained in the mid to short term if they do not require a disproportionate expenditure of resources (i.e. design modification).
Medium	A tree with some attributes that may benefit the site in relation to botanical, horticultural, historical, or local significance but may be limited to some degree by their current health condition or future growth in relation to existing or future site conditions and/or immediate/future maintenance requirements. The tree is likely to tolerate changes in its environment and will respond to arboricultural treatments. Trees classed as having a moderate retention value should be considered for retention if reasonably practicable. Arboricultural works may be required but should remain within reasonable limits. Tree may have a ULE of over 10 years if managed appropriately.
High	A tree in good overall condition that has the potential to positively contribute to the landscape in the long-term if appropriately managed. Species is suited to its existing site conditions and can tolerate certain changes in its environment. Ideally, trees with a high retention value should be retained and incorporated into any development plans. The tree is worthy of retention wherever possible.

*Note irrespective of the assigned Arboricultural Value, off-site trees require retention and protection unless their removal is negotiated with the tree's owner.

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12.0 PHOTOGRAPHS



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**10.6 Brentford Square Special Charge Schemes renewal
2026-2030 - Consideration of Submissions and
Objections**

Attachment 1 Submissions -Brentford Square Special Charges
renewal- August Council Meeting

**10.6 – ATTACHMENT 1. Submissions -Brentford Square Special Charges renewal-
August Council Meeting**

[REDACTED]

[REDACTED]



[REDACTED]

Date: 18/06/2025

Re: Objection to Proposed Renewal of Special Charge Schemes – Brentford Square Shopping Centre

Dear Mr. McMillan,

I am writing to formally object to the proposed renewal of the Special Charge Schemes for the Brentford Square Shopping Centre, as outlined in your letter dated 17 June 2025.

While we appreciate the Council's ongoing efforts to support local businesses, we strongly believe that the current state of the shopping centre's infrastructure renders any significant investment in marketing and promotion premature and ineffective. The shops and facilities at Brentford Square are in a visibly rundown condition. Without immediate and meaningful upgrades to basic infrastructure—including catering spaces, façade improvements, modern amenities, and general renovations—further promotional activities will have little to no lasting impact on foot traffic or business growth.

Allocating over \$1,000 toward marketing, when only \$282 is proposed for infrastructure, is not only disproportionate but misguided. Priority must be given to essential improvements that enhance the customer experience and restore the centre's appeal before spending on "marketing gimmicks" that fail to address the underlying issues.

We therefore request that the Council reconsider the structure and purpose of the proposed charge. A more balanced or even infrastructure-heavy allocation is necessary before any renewal of these Schemes is considered appropriate.

We trust that our objection will be carefully considered in the upcoming review and that the concerns of tenants and property owners will be reflected in the final decision.

Yours sincerely,

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

**10.6 – ATTACHMENT 1. Submissions -Brentford Square Special Charges renewal-
August Council Meeting**

Whitehorse City Council
Locked Bag 2
Nunawading VIC 3131

27 June 2025



Dear Mr McMillan

RE: Special Charge Schemes – Brentford Square Shopping Centre

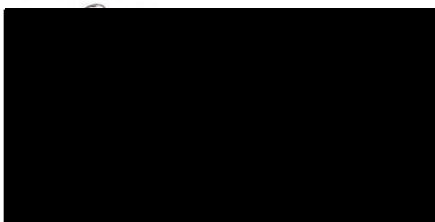
Thank you for the notice to extend the Special Charge Scheme at Brentford Square Shopping Centre. While we appreciate the efforts to improve the Centre, it is crucial to consider the already challenging financial burden carried by the property owners and tenants.

Council rates have continued to increase along with all other outgoings without a commensurate increase in returns. For many, we are nearing a tipping point. The additional costs imposed by the Special Charge Scheme could exacerbate the financial strain on businesses that are already struggling to stay afloat.

We implore you to consider covering the cost of the scheme through broader council funds, given the benefit for the whole community, not just the traders. The improvements to the shopping centre will undoubtedly enhance the overall appeal and functionality of the area. Therefore, it is only fair that the financial responsibility is shared by the entire community, rather than continuing to place undue burden on a few.

Thank you for your understanding and consideration.

Regards



**10.6 – ATTACHMENT 1. Submissions -Brentford Square Special Charges renewal-
August Council Meeting**

March 2025

Brentford Square Traders Association

Subject: Support for the Continuation of the Special Rate Scheme

Dear Brentford Square Traders Association,

I am writing to express [REDACTED] Brentford Square's strong support for the continuation of the Special Rate Scheme, which plays a vital role in the promotion and activation of our shopping centre.

The Special Rate Scheme has significantly contributed to enhancing Brentford Square's visibility and attracting customers through marketing initiatives, events, and activations.

These activities supported by the scheme create a vibrant atmosphere that encourages repeat visitation, benefiting all traders, including both small businesses and larger retailers like [REDACTED]. A thriving shopping centre benefits the entire community, strengthening local businesses and providing customers with a dynamic and engaging retail experience.

We appreciate the hard work of the Brentford Square Traders Association in managing these initiatives, and we strongly support the continuation of this scheme to sustain and grow the success of our precinct.

Please do not hesitate to reach out if we can assist further in advocating for this important initiative.

Sincerely,

[REDACTED]

**10.6 – ATTACHMENT 1. Submissions -Brentford Square Special Charges renewal-
August Council Meeting**

[REDACTED]
[REDACTED]
15/03/2025

Brentford Square Traders Association

Subject: Support for the Special Rate Scheme

Dear Brentford Square Traders Association,

I am writing on behalf of [REDACTED] Brentford Square to express our strong support for the continuation of the Special Rate Scheme. This initiative has been invaluable in driving foot traffic to the centre and creating a lively, welcoming atmosphere for shoppers.

The marketing and activations funded by the scheme help all businesses by increasing visibility and encouraging community engagement. In a competitive retail landscape, these efforts ensure Brentford Square remains a preferred destination for local customers.

We appreciate the work of the Traders Association in delivering these benefits and fully support the ongoing investment in the precinct's success.

Sincerely,

[REDACTED]
[REDACTED]
[REDACTED]

**10.6 – ATTACHMENT 1. Submissions -Brentford Square Special Charges renewal-
August Council Meeting****Subject: Support for the Special Rate Scheme**

Dear Brentford Square Traders Association,

I am writing on behalf of [REDACTED] Brentford Square to express our strong support for the continuation of the Special Rate Scheme. This initiative has been essential in promoting the centre and driving customer engagement, benefiting all businesses within the precinct.

The marketing and activations funded by the scheme help attract new and returning visitors, ensuring Brentford Square remains a vibrant and thriving shopping destination. These efforts create a stronger sense of community and support economic growth for all traders.

We appreciate the work of the Traders Association in delivering these benefits and fully support the continuation of this important initiative.

Sincerely,

[REDACTED]

**10.6 – ATTACHMENT 1. Submissions -Brentford Square Special Charges renewal-
August Council Meeting**

[REDACTED]
[REDACTED]
[REDACTED]

23/07/2025

City of Whitehorse
379-397 Whitehorse Road
Nunawading VIC 3131

To whom it may concern,

RE: Support for Brentford Square Shopping Centre Special Rate Renewal

We are writing as business owners at [REDACTED], a long-standing local business within Brentford Square, to express our full support for the renewal of the Special Rate Scheme.

The Special Rate has enabled the Brentford Square Traders Association to deliver impactful and consistent marketing, events, and advocacy that benefit not just our business, but the entire precinct. From community activations like the Easter, our very own Scare in the Square and Christmas events to online promotions, we've seen firsthand how the Special Rate helps drive foot traffic, visibility, and a stronger sense of place.

In an increasingly competitive retail environment, it is vital that we continue to invest in collective marketing and support that ensures Brentford Square remains a vibrant, thriving local centre. The Special Rate facilitates this shared investment, and its renewal is essential to maintaining and building upon the momentum we've achieved.

We are proud to be part of a centre that works together and believe that continuing the Special Rate is the best way forward for the future prosperity of Brentford Square.

Thank you for the opportunity to provide our support.

Yours sincerely,

[REDACTED]
[REDACTED]
[REDACTED]

10.7

**Charles Rooks - Dagola Reserve Landscape
Concept Plan Endorsement**

Attachment 1

Charles Rooks and Dagola Reserve - Final Draft
Landscape Concept Plan Report

10.7 – ATTACHMENT 1. Charles Rooks and Dagola Reserve - Final Draft Landscape Concept Plan Report



DRAFT

CHARLES ROOKS & DAGOLA RESERVE

FINAL DRAFT LANDSCAPE CONCEPT PLAN REPORT

Report prepared by:
Taylor Cullity Lethlean (TCL)

Client:
Whitehorse City Council

Date:
28 April 2025

Rev	Date	Purpose
05	28.04.25	Final Draft Landscape Concept Plan
04	26.09.24	Draft Landscape Concept Plan
03	19.08.24	Draft Landscape Concept Plan
02	05.07.24	Draft Landscape Concept Plan
01	17.06.24	Draft Landscape Concept Plan for review



10.7 – ATTACHMENT 1. Charles Rooks and Dagola Reserve - Final Draft Landscape Concept Plan Report



FINAL DRAFT CONCEPT PLAN

CHARLES ROOKS
& DAGOLA RESERVE

3

CONTENTS

Introduction

TCL were engaged in 2024 to undertake a landscape concept plan process for Charles Rooks and Dagola Reserve. The project methodology outlined a rigorous community and stakeholder consultation process to understand the community’s ambitions for the park. The project also included an in-depth site analysis and issues and opportunities phases that unpacked the site and communicated possibilities for the park. The Draft Landscape Concept Plan articulates the key projects and implementation plan to achieve the vision for the park through incremental improvements over the next 15 years.



Photo: Dagola Reserve

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EXECUTIVE SUMMARY

Overview

The Charles Rooks and Dagola Reserve Draft Landscape Concept Plan sets out a strategy to incrementally improve the amenities and infrastructure in Charles Rooks and Dagola Reserve into a diverse, sustainable, and ecologically inclusive park by 2040. The concept plan outlines Council’s vision, goals, and strategic objectives to guide the development of Charles Rooks and Dagola Reserve over the next 15 years through a series of key projects. The landscape concept plan is the result of extensive community and stakeholder engagement, in-depth analysis, issues and opportunities assessment, and a draft landscape concept plan process.

Vision Statement

The vision for Charles Rooks & Dagola Reserve is to establish a dynamic and diverse park that enhances and maintains its unique identity and ecological value. The park will offer a varied, safe, ecologically rich experience

Principles

- 1. Develop a landscape concept plan for the 15-year project implementation.
- 2. Enhance and preserve the natural environment.
- 3. Promote diverse recreational opportunities for physical and mental well-being.
- 4. Connect communities to existing rich habitat and sustainable water practice.
- 5. Connect communities through varied activities and interactions.

Key Projects

The Draft Landscape Concept Plan outlines a series of key projects intended to achieve the Council’s strategic objectives. These projects focus on enhancing access and movement, improving open space and landscape character, and upgrading recreational facilities and amenities within the park.

15 Years Capital Works Program

The implementation plan outlines the concept plan key projects, recommendations, priority of delivery, and a high level opinion of probable cost (OPC) to achieve the concept plan objectives. It is recommended to review the 15 year capital works Program and continued delivery of the concept plan every 5 years”

Conclusion

The Charles Rooks and Dagola Reserve Landscape Concept Plan will serve as a guide for the next 15 years. Through collective efforts, the goal is to develop a vibrant, sustainable, and inclusive community that meets the needs of both current and future generations. All community members and stakeholders are encouraged to contribute to realising the vision for Charles Rooks and Dagola Reserves 2040.



Charles Rooks Reserve



Dagola Reserve

Right: Render views show potential improvements to Charles Rooks and Dagola Reserve over the next 15 years.

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CHARLES ROOKS
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6. LANDSCAPE CONCEPT PLAN
DIRECTION

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1. DRAFT LANDSCAPE CONCEPT PLAN

The Landscape Concept Plan Charles Rooks and Dagola Reserve aims to enhance Access and Movement, improve Open Space and Landscape Character and upgrade Recreation facilities and amenities for local and broader communities.

6.4 Key Projects

Access and Movement

- 01

02
- 03

04
- A connected path network**
Establish a connected path network through Charles Rooks and Dagola Reserve with existing and new paths.

Open Space and Landscape Character

- 05
- Improve reserve safety, sightlines and passive surveillance**
Implement maintenance strategies to facilitate plant growth while ensuring improved sightlines
- 06
- A strategy for the replacement of pine trees**
Develop a tree replacement strategy for the aging pine tree population.
- 07

08
- Incorporate the existing understorey planting**
Enhance existing understorey planting and protect remnant vegetation and expand Conservation areas.
- 09

10
- Establish new garden beds**
Planting additional garden beds and increase garden bed planting along road edges.
- 11
- Ecologically sensitive lighting**
Consider light fittings with motion activation, time restriction and fauna-sensitive lights to decrease impacts on the habitat.

Recreation Facilities and Amenities

- 12

13
- Upgrade playground facilities**
Upgrade and consolidate the playground facilities at Charles Rooks Reserve to offer a diverse range of play opportunities for all age groups. Create a multi-use area including shelter, BBQ facilities, tables and benches, waste bins, and water point at the southwest of the Charles Rooks Reserve.
- 14

15
- Enhance park amenities**
Restore the existing play space to natural landscape, add seating and picnic setting opportunities that would better fit the natural environment throughout Dagola Reserve.

Provide additional seating areas throughout the reserve.





FINAL DRAFT CONCEPT PLAN

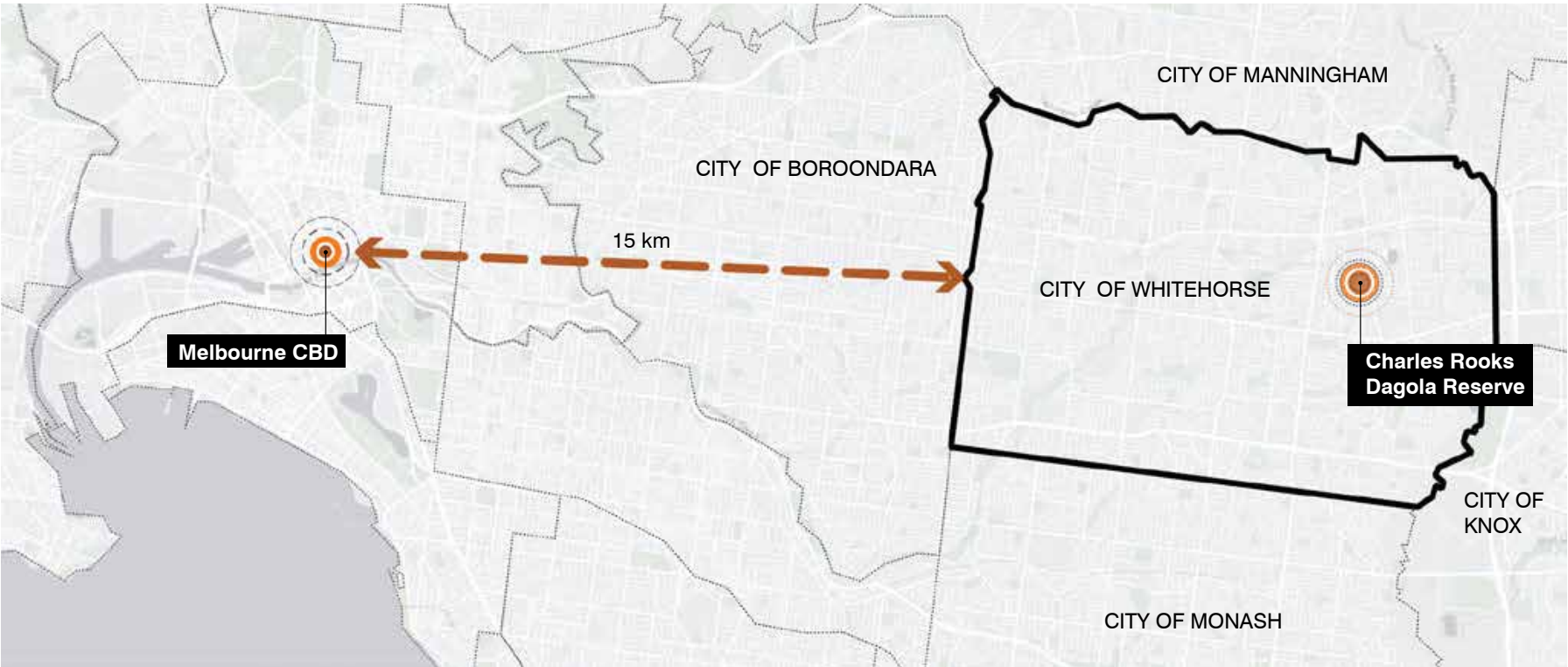
CHARLES ROOKS
& DAGOLA RESERVE

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2. SITE CONTEXT

The City of Whitehorse is situated 15 kilometers east of Melbourne, spanning across an area of 64 square kilometers. It is bordered by the City of Manningham to the north, the Cities of Maroondah and Knox to the east, the City of Monash to the south, and the City of Boroondara to the west.

Charles Rooks and Dagola Reserve is located to the northeast of the Municipality.



The City of Whitehorse is divided into 11 wards. Charles Rooks and Dagola Reserve is situated to the northeast in the Walker ward.



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2. SITE CONTEXT

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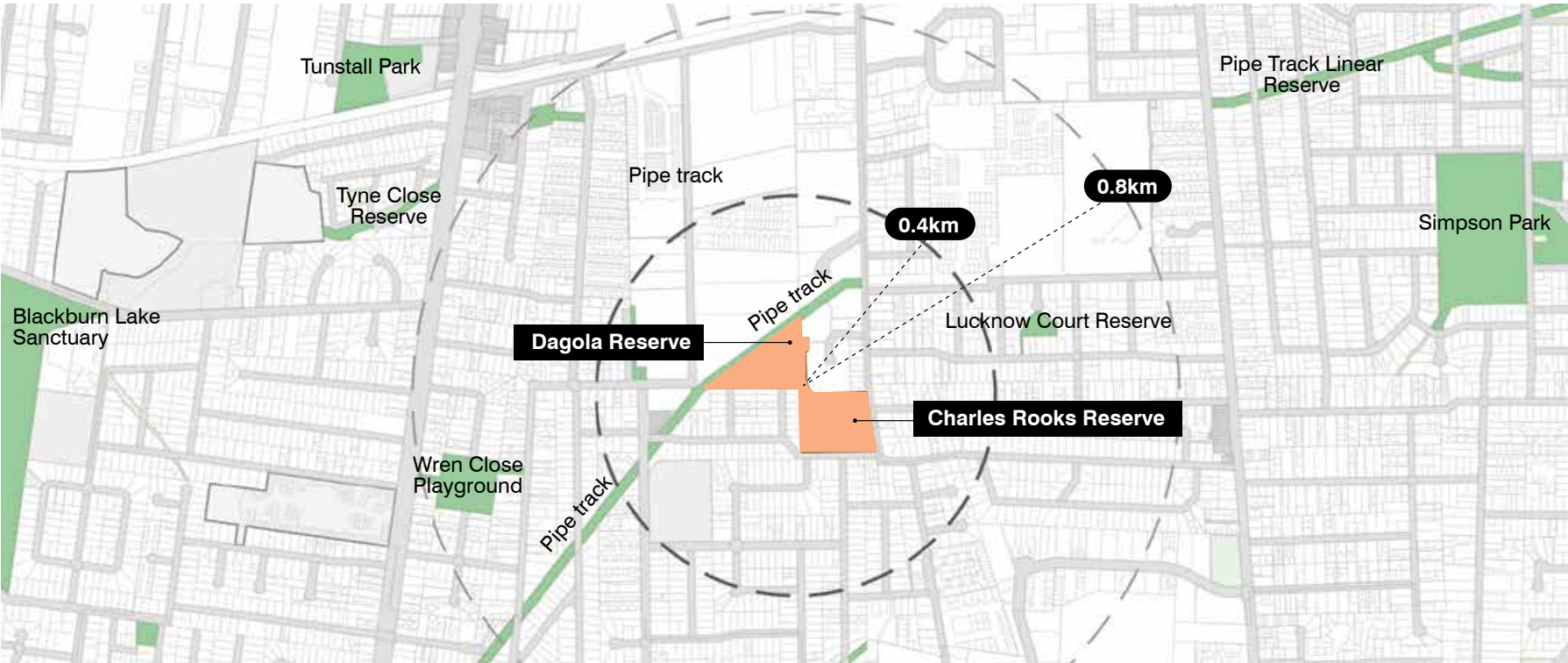
SCALE: 1 in 16000

Green Space

The diagram illustrates a walking catchment area with a radius of 800-meter, encompassing adjacent open green spaces. Charles Rooks and Dagola Reserve serve as the primary open space destinations for the local neighborhood. Dagola Reserve is connected by the Melbourne Water Pipe Track, which is an off-road bike route/shared path.

Legend

- Site
- Green Space
- Walking Radius



Existing Site Aerial and Photos

Charles Rooks Reserve, spanning approximately 1.9 hectares, is bounded by Rooks Road to the west and Lorikeet Street to the south, with residential areas to the north and west. The site spans approximately 120 meters in length and 160 meters in width.

Dagola Reserve, covering approximately 1.6 hectares, is situated to the north of Charles Rooks Reserve and is connected by a pathway. It is bounded by residential areas to the south and east, with a pipe track to the north adjacent to an industrial zone.

Both reserves are characterised as a natural landscape with areas of valued remnant vegetation. Additionally, each site features a playground to serve the local community.



NOT IN SCALE



Charles Rooks Reserve



Charles Rooks Reserve



Dagola Reserve



Dagola Reserve

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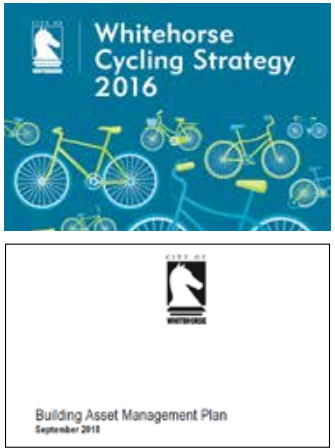
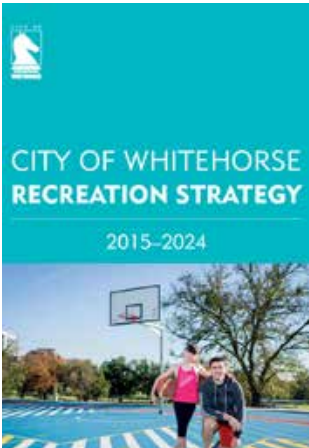
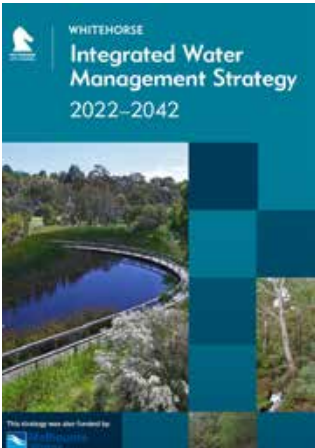
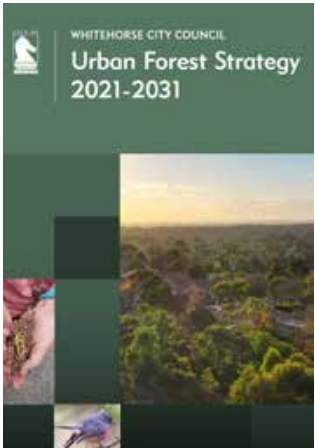
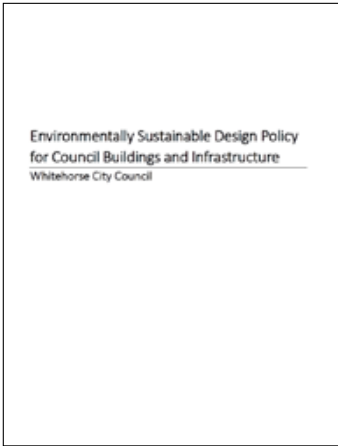
8

3. STRATEGIC CONTEXT

3.1 Council Strategic Documents

19 strategic documents listed below were reviewed to align the ambitions of the Concept Plan with the strategic objectives of Council. For the key documents, a high level summary has been provided.

- Council Plan 2021-2025
- Whitehorse 2040 Community Vision
- Whitehorse Open Space Strategy 2024 (Currently in development)
- Whitehorse Environmentally Sustainable Design (ESD) Policy for Council Buildings and Infrastructure
- Urban Forest Strategy 2021-2031
- Urban Forest Strategy Action Plan 2021-2031
- Interim Urban Forest Policy and Tree Management Plan Asset Plan
- Whitehorse Health and Wellbeing Plan 2021-2025
- Whitehorse Asset Plan 2022-2032
- Whitehorse Climate Response Strategy 2023-2030
- Integrated Water Management Strategy
- City of Whitehorse Recreation Strategy 2015-2024
- Whitehorse Play Strategy 2011 / Whitehorse Play and Social Recreation Action Plan (Currently in development)
- Whitehorse Cycling Strategy 2016
- Building Asset Management Plan 2018
- Pavilion Development Policy
- Melbourne East Regional Sport And Recreation Strategy
- Open Space Asset Management Plan 2019



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FINAL DRAFT CONCEPT PLAN

CHARLES ROOKS
& DAGOLA RESERVE

3. STRATEGIC CONTEXT

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3.2 Strategic Priorities

The Charles Rooks and Dagola Reserve Landscape Concept Plan was developed based on extensive research and various planning considerations. This section summarises the key contextual and planning factors that were evaluated and incorporated during the creation of the Landscape Concept Plan.

- **Whitehorse City Council, seeks to create a sustainable, vibrant, and inclusive community with a strong focus on environmental stewardship and social cohesion.**
(Whitehorse 2040 Community Vision)
- The Landscape Concept Plan will encourage sustainable building practices to reduce environmental impact and promote energy efficiency.
Whitehorse Environmentally Sustainable Design (ESD) Policy for Council Buildings and Infrastructure
- Plan to enhance and expand open spaces to meet community needs, improve biodiversity, and promote recreational opportunities.
Whitehorse Open Space Strategy 2024 (Currently in development)
- **Provide a diverse linked network of open space with people of all ages recreating, socialising and enjoying the outdoor space, and bushland reserves brimming with indigenous flora and fauna.**
Whitehorse Open Space Strategy 2024 (Currently in development)
- The Landscape Concept Plan seeks to increase urban tree canopy cover, improve biodiversity, and enhance the ecological health of urban areas.
(Urban Forest Strategy 2021-2031)
- Prioritises initiatives to improve physical and mental health, enhance community well-being, and promote active lifestyles.
(Whitehorse Health and Wellbeing Plan 2021-2025)
- The Landscape Concept Plan will align with the actions to mitigate and adapt to climate change, focusing on reducing greenhouse gas emissions and enhancing resilience.
(Whitehorse Climate Response Strategy 2023-2030)
- The Landscape Concept Plan will aim to manage water resources sustainably, improve water quality, and promote efficient water use throughout the precinct and align with the Integrated Water Management Strategy.
- **Minor upgrade to include a picnic facility and additional unstructured recreation facilities.**
Whitehorse Open Space Strategy 2024 (Currently in development)
- **Provide a variety of creative, high quality, socially inclusive recreation spaces that offer people of all ages opportunities to be active and recreate together.**
(Whitehorse Play Strategy 2011 / Whitehorse Play and Social Recreation Action Plan) (Currently in development)

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CHARLES ROOKS
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4. COMMUNITY CONSULTATION SUMMARY

Community engagement for Charles Rooks and Dagola Reserve took place from January to February 2024, involving several activities to gather feedback.

Letters were sent to residents encouraging participation in the Whitehorse Your Say survey. The survey, held from January 22 to February 18, received responses from 220 participants.

Friends of Charles Rooks and Dagola Reserve were engaged to gather further feedback.

The Draft Landscape Concept Plan will proceed to Community Consultation Round 2 to gather community feedback. Following the second round of community consultation the concept plan will proceed to Council endorsement with required amendments.

Photo: Round 1 Community Pop-up Session



Summary of Round 1 engagement activities

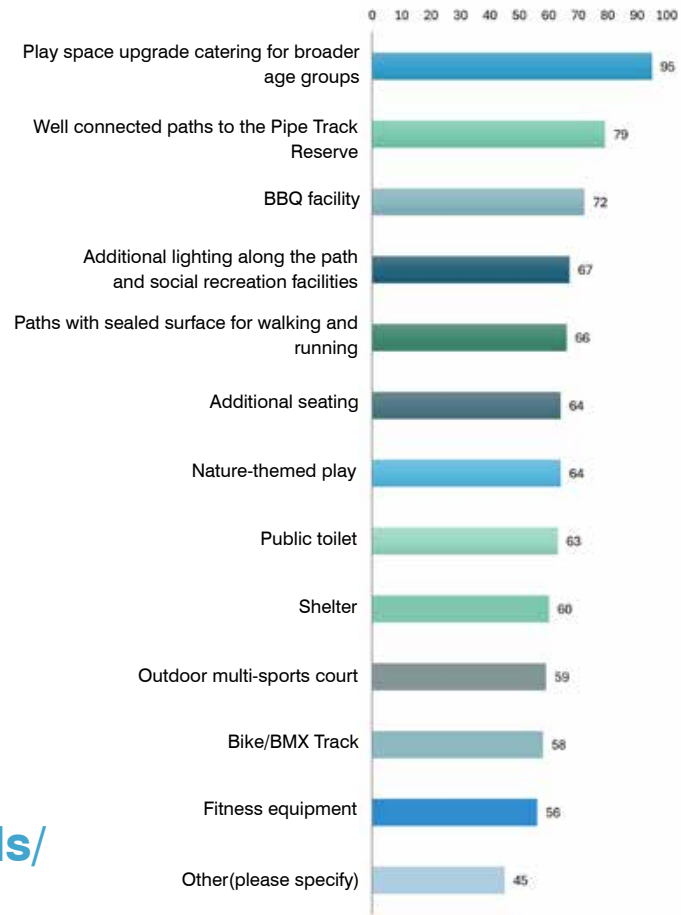
1. Letters to Residents:
- Sent letters informing residents about the project and encouraging participation in the Whitehorse Your Say survey.
 - Total of 943 letters sent to residents within a 500m catchment area.
2. Your Say Survey:
- Conducted from January 15, 2024- February 18, 2024.
 - A total of 683 people were aware through Your say platform of which 220 completed the survey.
3. Community Pop-up Session:
- Held on January 20, 2024, from 10:00 am to 12:00 pm.
 - Approximately 50 attendees, they were urged to complete paper or online surveys.
4. Engagement with Mount Pleasant Road Primary School Students:
- February 15, 2024; 9 students attended.
5. Engagement with Friends of Charles Rooks and Dagola Reserve:
- February 29, 2024; 3 members attended.

Top five park facilities include walking, enjoying nature and green open space, playground, dog walking and meeting friends/families.

96% of survey respondents are from local, Nunawading.

65% of the survey respondents visit Charles Rooks and Dagola Reserve daily or a few times a week.

What improvements would encourage you to visit Charles Rooks and Dagola Reserve more often? Please choose your top five.



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CHARLES ROOKS
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4.2 Round 2 Community Consultation Summary

Community engagement for Charles Rooks & Dagola Reserve took place from January to March 2025, involving several activities to gather feedback.

Letters were sent to residents encouraging participation in the Whitehorse Your Say survey. The survey, held from March 3 to March 17 and received responses from 201 participants.

Due to the overwhelming support for the master plan, minimal changes have been adopted. A detailed review of the no mow areas was undertaken to align with the received feedback. These changes are now reflected throughout this document.

Photo: Round 2 Community Pop-up Session



Summary of Round 2 engagement activities

1. Letters to Residents:

- Sent letters informing residents about the project and encouraging participation in the Whitehorse Your Say survey.
- Total of 943 letters sent to residents within a 500m catchment area.

2. Your Say Survey:

- A total of 900 people were aware through Your say platform of which 203 completed the survey.

3. Community Pop-up Session:

- Held on March 1, 2025, from 10:30 am to 12:30 pm, with over 50 residents participating during this time.

Key findings

1. **73%** of the survey respondents support or strongly support the Charles Rooks & Dagola Reserve.
2. **73%** of the survey respondents supported or strongly supported the proposed additional pathways to improve accessibility within the park.
3. **74%** of the survey respondents supported or strongly supported the proposed combination of the playground with basketball/netball half-court, upgrade to better accommodate a broader range of age groups.
4. **74%** of the survey respondents supported or strongly supported the proposed new larger play space, shelter, BBQ, picnic table and seating, bins.
5. **82%** of the survey respondents supported or strongly supported the proposed landscape and ecological enhancements at Dagola Reserve to protect existing flora and fauna while improving biodiversity and educational opportunities.

Additional comments

Due to the existing conditions of the reserve diverse views and some conflicting comments were received. The survey received 126 additional comments that can be summarised at a high level by key areas:

Tree Management and Safety:

Protecting healthy pine trees as they add character and history to the park.

Ensuring a good and balanced variety of tree species for replacement after removing dangerous pine trees.

Lighting and Safety:

Providing sufficient lighting in Dagola Reserve and along Charles Rooks path to improve safety at night and encourage walking.

Using wildlife-sensitive lighting to avoid disturbing birds and animals.

Playground and Accessibility:

Incorporating activities in Dagola Reserve into the new upgraded playground at Charles Rooks.

Ensuring paths are wheelchair-friendly and including a wheelchair swing.

Adding more play equipment suitable for older children and considering a water feature.

Providing shaded areas in the playground to make it usable on hot days.

Parking and Traffic Management:

Addressing traffic management and parking restrictions around local streets to ensure a smooth and safe experience for both visitors and residents.

Basketball Courts:

Adding two or more basketball courts to prevent overcrowding and using stainless nets to prevent damage.

Separating the courts from roads to avoid balls going onto the road.

Fitness and Recreation:

Installing outdoor fitness equipment like single bars and parallel bars.

Providing adult equipment near courts to encourage family activities.

Considering a BMX pump track or similar for kids.

Conservation and Vegetation:

Addressing the lack of understory planting to improve habitat for smaller birds and prevent dieback problems.

Preserving existing remnant vegetation and avoiding widening paths at the expense of orchid populations.

Ensuring new tree species planted after pine tree removal are indigenous to the area.

Facilities and Amenities:

Installing toilet facilities to accommodate longer stays at the park.

Providing a natural splash park for kids to play in over summer.

Considering a fenced off-lead dog area.

Community and Feedback:

Ensuring future surveys have expandable comment fields for better user feedback.

Adding a water fountain with a dog bowl that can be emptied.

Providing more seating in the park, especially in the morning.

Additional Considerations:

Carefully selecting pavement materials to maintain the natural character of the reserve.

Ensuring the play space upgrade provides interesting activities for kids.

Considering the impact of proposed park improvements on rare plant communities and native vegetation.

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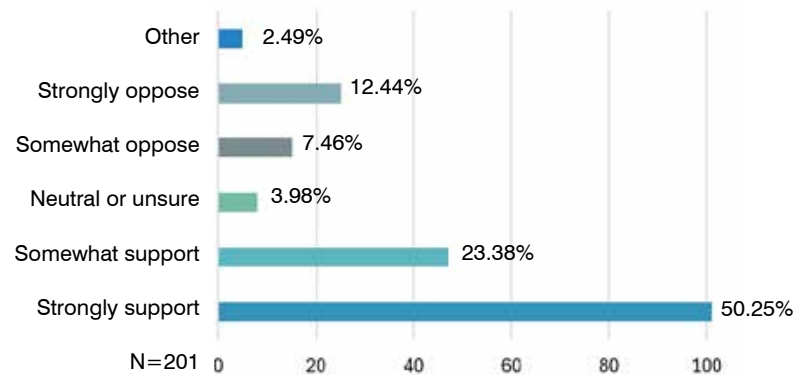


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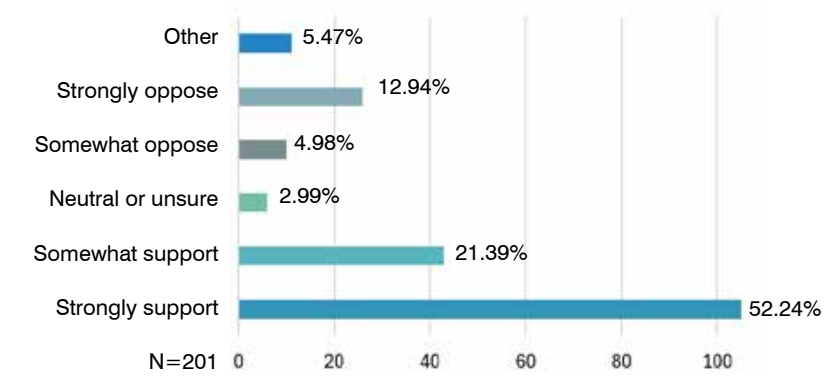
CHARLES ROOKS
& DAGOLA RESERVE

4.2 Round 2 Community Consultation Summary

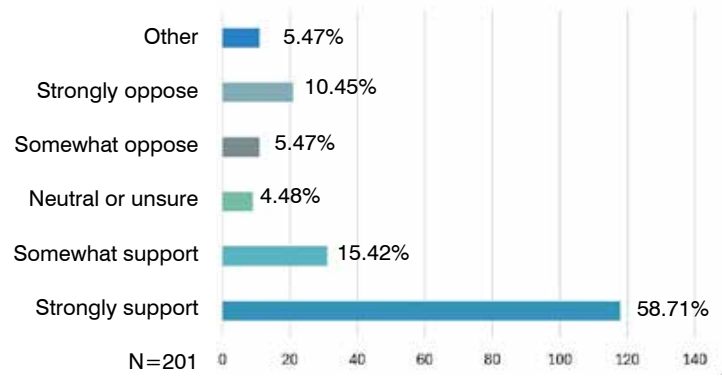
Q1. How do you feel overall about the Charles Rooks and Dagola Reserve Draft Landscape Concept Plan?



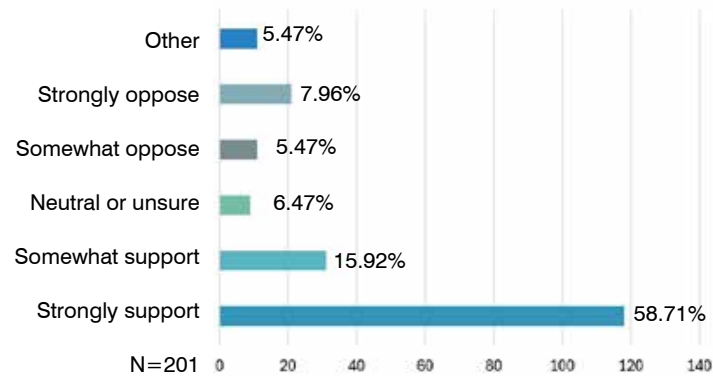
Q2. Do you support proposed additional pathways to enhance accessibility within the reserves?



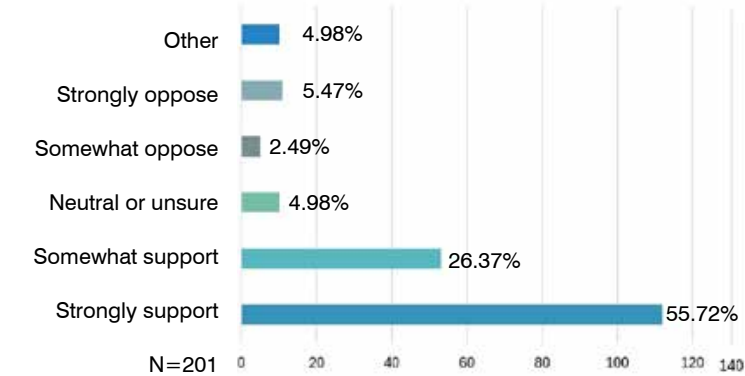
Q3. Do you support the proposed changes to combine two play spaces into an upgraded play space at Charles Rooks Reserve, featuring a co-located social recreation area with a basketball/netball half-court and outdoor fitness equipment?



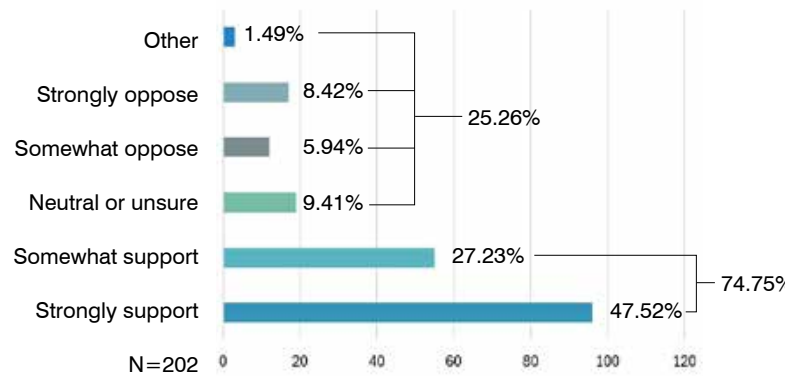
Q4. Do you support proposed improvements to reserve's features and recreational facilities including a new larger play space, shelter, BBQ, picnic table and seating, bins, and more?



Q5. Do you support the proposed landscape and ecological enhancements at Dagola Reserve to protect existing flora and fauna while improving biodiversity and educational opportunities?



Q6. Do you support proposed ecologically sensitive lighting?





5. ISSUES AND OPPORTUNITIES

An issues and opportunities diagram was undertaken following the site analysis phase. This provided a framework for the development of the Draft Landscape Concept Plan.

The issues and opportunities can be characterised into three main groups these include: Access and Movement, Open space and Landscape Character and Recreation facilities and amenities.

Access and Movement

01 Path Network

Issues

The reserve features a diverse network of paths with varying surface finishes.

The site has accessibility issues due to narrowed and unsealed pathways, along with dense vegetation.

Some sections of the path have experienced erosion, while parts of the network are aging and lifting, posing potential trip hazards.

There is unclear direction of travel and non-conforming path in parts.

Opportunities

Improve the path network and upgrade existing paths to enhance accessibility throughout the reserve. Increased connection and access into the reserve, and potential activation with Pipe Track Reserve.

02 Reserve Entries and View Lines

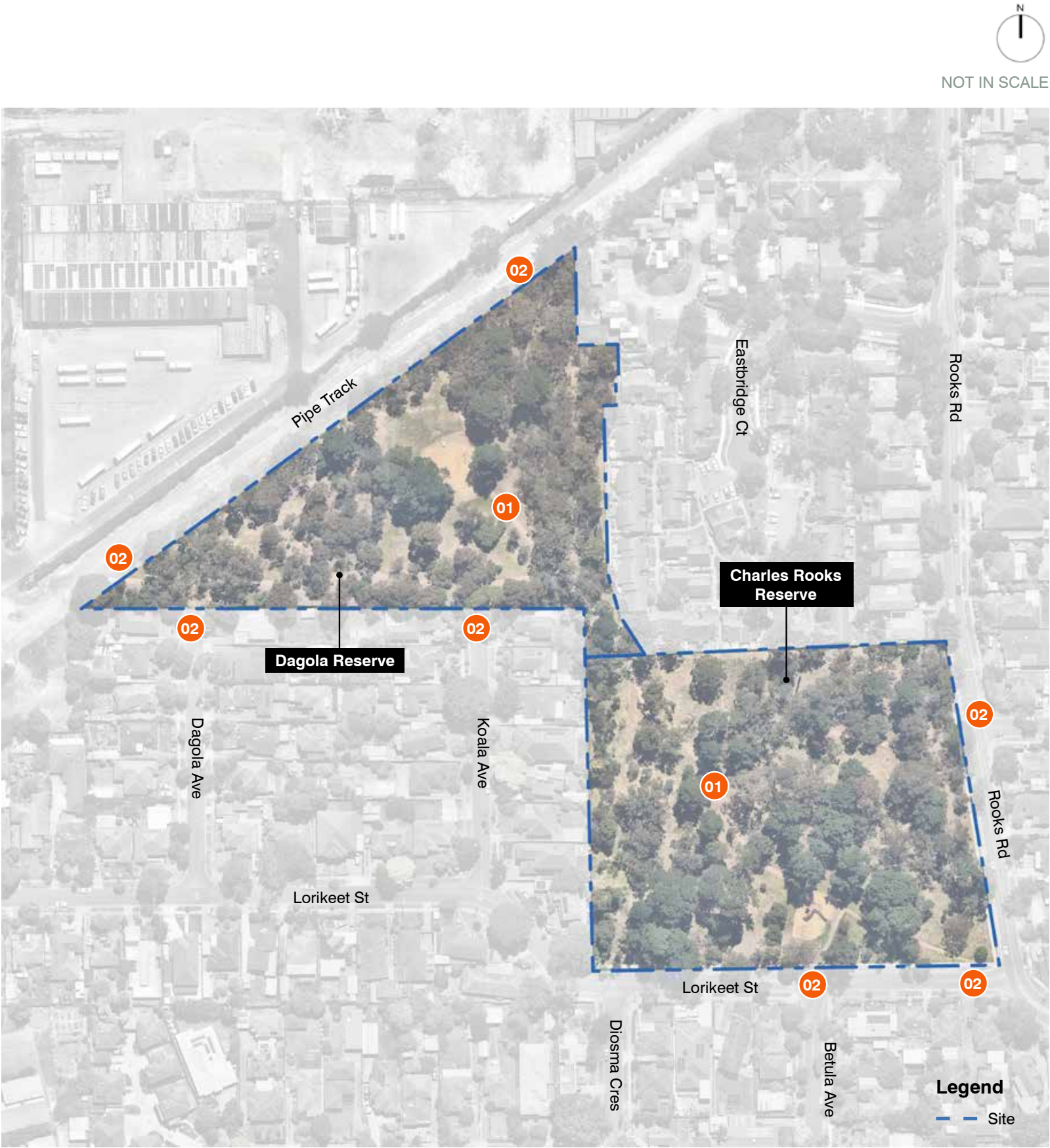
Issues

The reserve has multiple entries and some are undefined.

The park view lines are obstructed and can decrease visibility.

Opportunities

Enhance the entry points, signage and park view lines. Clarify view lines and ensure the park meets Crime Prevention Through Environmental Design (CPTED) principles.



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FINAL DRAFT CONCEPT PLAN

CHARLES ROOKS
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5. ISSUES AND OPPORTUNITIES

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Open Space and Landscape Character

03 Safety

Issues

The site has prevalent safety concerns, particularly in Dagola reserve, attributed to lack of passive surveillance and sightlines and narrowed access from Charles Rooks Reserve.

Opportunities

Enhance sight lines, install motion-activated lighting with environmentally friendly lighting for nocturnal animals.

Improve accessibility and legibility.

Where appropriate, increase view lines where appropriate to enhance view and decrease safety concerns.

04

Vegetation

Issues

The park has a large number of aging pine trees.

Opportunities

Prepare a tree replacement strategy for the aging pine tree population.



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FINAL DRAFT CONCEPT PLAN

CHARLES ROOKS
& DAGOLA RESERVE

5. ISSUES AND OPPORTUNITIES

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Recreational facilities and amenities

05 Lighting

Issues

The park lacks adequate lighting that increases fears of encountering wildlife and criminal activities, especially at night.

Reduce use at twilight hours due to lack of lighting.

Opportunities

Review lighting solutions and evaluate carefully the impact on the wildlife. Assess areas where lighting can be introduced to enhance safety.

06 Playground

Issues

The playground located in Charles Rooks Reserve poses safety risks due to its proximity to the road. High-speed traffic compounds these concerns, potentially requiring traffic calming measures.

The playground in Dagola Reserve has limited play opportunities and lacks unstructured play components.

Opportunities

Consolidate and centralise play space to cater for diverse age groups. Review and consolidate the playground infrastructure.

07 Park Amenities

Issues

No shade / shelter, no BBQ facilities, limited seating and rubbish bins, under utilised signage, way-finding and graphic.

Limited access to water points and limited rubbish bins.

Opportunities

Integrate social recreational facilities such as BBQ, shelter. Introduce interpretation and educational opportunities within landscapes along with nature play nodes throughout the park. Review park assets and determine if acceptable for future allocation to address rubbish and water items.





FINAL DRAFT CONCEPT PLAN

CHARLES ROOKS
& DAGOLA RESERVE

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6. LANDSCAPE CONCEPT PLAN DIRECTION

6.1 Vision

The vision for Charles Rooks & Dagola Reserve is to establish a dynamic and diverse park that enhances and maintains its unique identity and ecological value. The park will offer a varied, safe, ecologically rich experience

Charles Rooks and Dagola Reserve Perspective

The views showcase Charles Rooks and Dagola Reserve, highlighting its diverse features. A rain garden, playspace, native trees, understorey planting, open lawn, nature play node, and Conservation zone are seamlessly integrated into the landscape. A continuous path winds through the reserve, connecting these elements and providing access for visitors to explore and enjoy the natural surroundings.

The 3D artist impression is for illustrative purposes only. It is intended to provide a visual representation and may not precisely depict the final design.



Charles Rooks Reserve



Dagola Reserve

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FINAL DRAFT CONCEPT PLAN

CHARLES ROOKS
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6. LANDSCAPE CONCEPT PLAN
DIRECTION

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6.2 Principles

The landscape Concept Plan for Charles Rooks and Dagola Reserve is guided by five core principles. These principles help establish a long-term strategic vision and serve specific purposes in shaping the reserve's development.



01

Develop a landscape concept plan for the 15-year project implementation.



02

Enhance and preserve the natural environment.



03

Promote diverse recreational opportunities for physical and mental well-being.



04

Connect communities to existing rich habitat and sustainable water practice.



05

Connect communities through varied activities and interactions.

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CHARLES ROOKS
& DAGOLA RESERVE

6. LANDSCAPE CONCEPT PLAN
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6.3 Charles Rooks and Dagola Reserve
Draft Landscape Concept Plan

The Landscape Concept Plan Charles Rooks and Dagola Reserve aims to enhance Access and Movement, improve Open Space and Landscape Character and upgrade Recreation facilities and amenities for local and broader communities.

6.4 Key Projects

Access and Movement

- 01 02
- 03 04
- A connected path network**
Establish a connected path network through Charles Rooks and Dagola Reserve with existing and new paths.

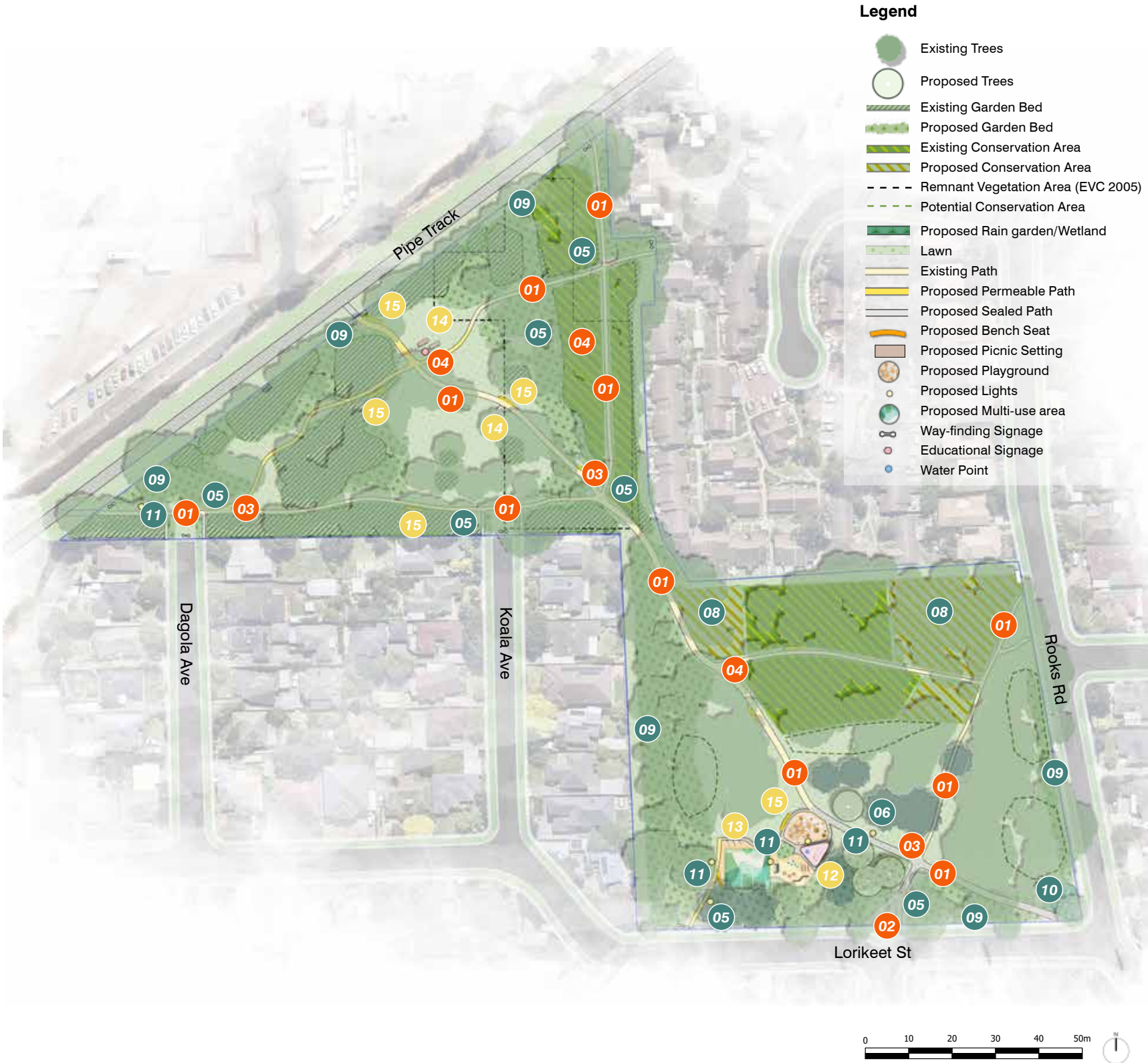
Open Space and Landscape Character

- 05
- 06
- Improve reserve safety, sightlines and passive surveillance**
Implement maintenance strategies to facilitate plant growth while ensuring improved sightlines
- A strategy for the replacement of pine trees**
Develop a tree replacement strategy for the aging pine tree population.
- 07 08
- Incorporate the existing understorey planting**
Enhance existing understorey planting and protect remnant vegetation and expand Conservation areas.
- 09 10
- Establish new garden beds**
Planting additional garden beds and increase garden bed planting along road edges.
- 11
- Ecologically sensitive lighting**
Consider light fittings with motion activation, time restriction and fauna-sensitive lights to decrease impacts on the habitat.

Recreation Facilities and Amenities

- 12 13
- Upgrade playground facilities**
Upgrade and consolidate the playground facilities at Charles Rooks Reserve to offer a diverse range of play opportunities for all age groups. Create a multi-use area including shelter, BBQ facilities, tables and benches, waste bins, and water point at the southwest of the Charles Rooks Reserve.
- 14 15
- Enhance park amenities**
Restore the existing play space to natural landscape, add seating and picnic setting opportunities that would better fit the natural environment throughout Dagola Reserve.

Provide additional seating areas throughout the reserve.



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CHARLES ROOKS
& DAGOLA RESERVE

6. LANDSCAPE CONCEPT PLAN
DIRECTION

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6.5 Concept Landscape Plan Elements

The Concept Landscape Plan can be described by the following elements. The Concept Landscape Plan aims to enhance and protect existing infrastructure and guide the development of the reserve for the next 15 years.

 Existing Trees Retain existing trees throughout the reserve in alignment with the proposed concept plan.	 Proposed Trees Develop a tree replacement strategy that gradually removes aged pine trees when appropriate and replaces them with a diverse selection of new tree species.	 Existing Garden Bed Retain and enhance existing understorey planting. Review remnant vegetation locations with planting strategy and protection in the east of Dagola Reserve.	 Proposed Garden Bed Enhance the understorey planting at Dagola Reserve with additional garden beds, especially to the east next to Conservation areas, and plant the north edge interface with the pipe track. At Charles Rooks Reserve, plant road edges, and increase garden bed planting on the west.
 Existing Conservation Area Retain the existing Conservation area to further encourage endemic flora and fauna.	 Proposed Conservation Area Expand Conservation areas in the northern area of Charles Rooks Reserve.	 Proposed Rain Garden/Wetland Investigate opportunities to create rain garden/ wetland at the southeast entrance to provide diverse habitats for local fauna and enhance the landscape experience for park users.	 Lawn Retain the lawn area in the center of the Charles Rooks and Dagola Reserve, and consider using native grass species to support local ecology and habitat.
 Proposed Lights Propose lighting along the main path network to improve public safety and night visibility. Review proposed light fittings with motion activation and fauna-sensitive lights to decrease impacts on the habitat.	 Existing Path Upgrade retained existing paths to improve accessibility throughout the reserve.	 Proposed Permeable Path Provide a 2.5m wide continuous loop path throughout the reserve to enhance accessibility and improve the reserve experience, ensuring the alignment of the path retains existing trees.	 Proposed Impermeable Path Provide a 2.5m wide continuous loop path throughout the reserve to enhance accessibility and improve the reserve experience, ensuring the alignment of the path retains existing trees.
 Way-finding Signage Provide Way-finding signage at main entries of the reserve to provide navigation and information to enhance visitor experience, safety and accessibility.	 Educational Signage Introduce Educational signage and integrate interpretation and opportunities within landscapes throughout the reserve. Key areas to include Conservation and habitat zones.	 Proposed Bench Seat Provide additional seats throughout the reserve.	 Proposed Multi-use Area Create a multi-use area including shelter, BBQ facilities, tables and benches, waste bins, and water point at the southwest of the Charles Rooks Reserve.
 Proposed Playground Upgrade and consolidate the playground facilities at Charles Rook Reserve to offer a diverse range of play opportunities for all age groups.	 Water Point Provide water point at the southwest of the Charles Rooks Reserve next to the playground.		

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6.6 Tree Canopy Coverage

The Charles Rook and Dagola Reserve Concept Plan seeks to align with the City of Whitehorse’s Environmentally Sustainable Design Policy by targeting 30% canopy cover, primarily through the preservation of existing trees and the planting of new ones.

Currently, the existing tree canopy coverage at Charles Rook and Dagola Reserve is 54%, and the proposed additional coverage is 2% as outlined in the Concept Plan, bringing the total canopy coverage to 56%.

This calculation does not account for expected canopy growth; it assumes a conservative estimate of a 5m canopy diameter per proposed tree.

Site photo: Existing pine trees



Precedent: a variety of native trees with understory planting.



- Legend**
- Existing trees to be retained
 - Proposed trees
 - Potential tree removal to be investigated



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FINAL DRAFT CONCEPT PLAN

CHARLES ROOKS
& DAGOLA RESERVE

6. LANDSCAPE CONCEPT PLAN
DIRECTION

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6.7 Path Network

The existing network of pedestrian paths at Charles Rooks and Dagola Reserve has limited connections.

The Landscape Concept Plan proposes continuous loop paths throughout the reserve, formalised by a 2.5m wide main path connecting Charles Rooks and Dagoala Reserve and a series of 1.8m wide secondary paths. These paths will connect the main site entrances, enhancing accessibility and improving the overall reserve experience.

The plan also proposes path connections to the adjacent Pipe Track Reserve.

Site photo: Existing gravel path



Precedent: A continuous path network.



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CHARLES ROOKS
& DAGOLA RESERVE

6. LANDSCAPE CONCEPT PLAN
DIRECTION

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6.8 Lighting

The Charles Rooks and Dagola Reserve Concept Landscape Plan proposes lights at the Dagola Ave entry to encourage usage and at the multi-use area to enhance public safety and accessibility during nighttime.

Given the reserve's distinctive natural landscape character, it's important to consider wildlife-sensitive lighting options to minimise impacts on the reserve habitat.

The lighting placement is indicative only, the final arrangement will be subject to detailed design

Site photo: Currently no lighting in the reserve



Precedent: Night-sensitive lighting



- Legend**
- Existing street lighting
 - Proposed path lighting



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6. LANDSCAPE CONCEPT PLAN
DIRECTION

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6.9 Precedents

Images demonstrate potential improvements for Charles Rooks and Dagola Reserve.

Please note that all precedent images provided are intended solely for reference. They are meant to serve as visual examples or inspiration and should not be interpreted as final designs or exact representations of the proposed outcomes



Open space



A continuous path network



Native trees



Diverse understory planting



Conservation grassland



Nature play



Explore the nature



Education signage



Park bench seat



BBQ facilities



Rain garden/wetland



Multi-use area

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CHARLES ROOKS
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7. 15 YEARS CAPITAL WORKS PROGRAM

The key projects outlined in the Landscape Concept Plan have been prioritised below according to perceived need and ability for Council to implement through current/future resourcing and funding opportunities. It is important to note that the inclusion of these projects does not directly commit Whitehorse City Council, user groups or any other organisation to a responsibility for funding and implementing these projects.

Opinion of probable costs have been allocated to each recommendation, and where appropriate. The costs include assumed design fees, statutory fees, or other costs associated with developing the Master Plan recommendations to implementation stage. Costs are based on current rates and will be subject to escalation.

Priorities assume the following time frames:

High Priority Actions: now - 5 years - (FY25/26-FY29/30)
Medium Priority Actions: 6 - 10 years - (FY30/31- FY34/35)
Low Priority Actions: 11 - 15 years - (FY35/36- FY39/40)

Version6
16/04/2025

Key Projects	Project	Recommendation	Priority/ Time	OPC
Access and Movement				
A connected Path Network	1	Upgrade the existing path starting from centre of Lorrikeet street footpath extending along the main central path upto play space to a 2.5m sealed path. Upgrade remaining central path to a width of 2.5m, extending it to Dagola Reserve and connecting with Pipe Track Reserve. Upgrade other existing paths at Charles Rooks Reserve and Dagola Reserve to a 1.8m width. Consider sustainable and suitable materials that meet the Council's maintenance requirements, ensuring a durable and trafficable surface for all paths. Alignment of the path to ensure retention of all trees. <i>(To be delivered in conjunction with item 2)</i>	High	\$121,160
	2	Provide a 1.8m path connecting the east and south paths in Dagola Reserve. Provide a sealed 1.8m wide path connecting central path and path in the west enrcling play space and social recreation area and linking to Lorikeet Street. Consider sustainable and suitable materials that meet the Council's maintenance requirements, ensuring a durable and trafficable surface for all paths. <i>(To be delivered in conjunction with item 1)</i>	High	\$31,200
	3	Provide integrated way-finding signage at the park entrances to improve navigation and visitor experience.	Medium	\$6,600
	4	Provide educational signages within landscapes throughout the park. Key areas to include Conservation and habitat zones.	Medium	\$8,800

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FINAL DRAFT CONCEPT PLAN

CHARLES ROOKS
& DAGOLA RESERVE

7. IMPLEMENTATION PLAN

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2.0 Open Space and Landscape Character	Project	Recommendation	Priority	OPC
Improve reserve safety, sightlines and passive surveillance	5	Develop a site wide planting management plan that includes the addition of native tree species, review of remnant vegetation location, replacement of ageing pine trees and a sight line assessment. Implement maintenance strategies to facilitate plant growth while ensuring improved sightline aligning with Crime Prevention Through Environmental Design (CPTED) principles and design outcomes.	Medium	\$30,000.00
A strategy for the replacement of pine trees	6	Plant additional trees throughout the reserve where existing trees are not present and after aged pine trees are removed. Investigate suitable native species to ensure maximum growth and climate resilience.	Medium	\$33,000.00
Incorporate the existing understorey planting and establish new garden beds	7	At Dagola Reserve, enhance existing understorey planting to the east next to the Conservation areas.	Medium	\$30,525.00
	8	Expand Conservation zones in the north east of Charles Rooks Reserve. Investigate opportunities to maintain other higher quality intact areas for their ecological value that is presently within mown area.	Medium	\$30,000.00
	9	Plant additional garden beds. Plant the road edges on the East and South side of Charles Rooks Reserve. Increase garden bed planting on the West with offset to property for fire protection. Plant the north edge interface with the pipe track.	Medium	\$41,250.00
	10	Explore opportunities to create wetlands/rain gardens at the southeast entrance to provide diverse habitats for local fauna and enhance the landscape experience for park users.	Medium	\$13,200.00
Ecologically sensitive lighting	11	Provide ecologically sensitive solar lighting around the play and social recreation area and along southern path near Dagola Avenue. Consider light fittings with motion activation, time restriction and fauna-sensitive lights to decrease impacts on the habitat.	High	\$54,600.00

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CHARLES ROOKS
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7. IMPLEMENTATION PLAN

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3.0 Recreational Facilities and Amenities	Project	Recommendation	Priority	OPC
Upgrade playground facilities	12	Upgrade existitng playspace at Charles Rooks Reserve to offer a diverse range of play opportunities for all age groups including picnic settings with shelter, BBQ, tables and benches, and water point. <i>(To be delivered in conjunction with project 13)</i>	High	\$350,000.00
	13	Provide a half court and outdoor exercise equipment to cater all ages. <i>(To be delivered in conjunction with project 12)</i>	High	\$250,000.00
	14	Restore the existing play space to natural landscape, add seating and picnic setting opportunities that would better fit the natural environment throughout Dagola Reserve.	High	\$11,000.00
Improve park amenities	15	Provide additional seating areas throughout the reserve.	High	\$13,200.00

Sub Total* \$1,024,535.00

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Appendix

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FINAL DRAFT CONCEPT PLAN

CHARLES ROOKS
& DAGOLA RESERVE

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A. COMMUNITY CONSULTATION SUMMARY



Charles Rooks - Dagola Reserve Landscape Master Plan

Feedback closed on 18 February

Thank you to everyone who shared their thoughts on Charles Rooks - Dagola Reserve. We are currently considering your feedback. To stay updated on the progress of this project please subscribe on the 'Follow Project' box on this page.

Background Information

In May 2021 we invited local residents to share their thoughts about the playgrounds at Charles Rooks and Dagola Reserve in Nunawading. We heard a variety of opinions and suggestions from community members who use these two Reserve.

In 2024, we asked for feedback to help us prepare a Landscape Master Plan for Charles Rooks and Dagola Reserve in Nunawading. The Landscape Master Plan will provide a clear direction for the future development of both Reserve as places for the local community to enjoy, and for the preservation and regeneration of indigenous vegetation.

Located in Nunawading, Charles Rooks and Dagola Reserve are small, connected Reserve totalling 3.4 hectares in size. The two Reserve are linked by a narrow neck of open space between two housing developments. These are open parkland with indigenous tree species and native vegetation and are used by the community for a variety of passive recreational purposes. there are currently two small playgrounds - one located in each reserve. The Pipe Track Reserve is located immediately North-West of Dagola Reserve and is owned by Melbourne Water.

Project Timeline

- Community pop-up session**
Learn more and share your ideas for Charles Rooks and Dagola Reserve at our pop-up session. Chat to us over a free coffee. there will also be free treats for the kids.
Date and Time: Saturday, 20 January 2024, 10:00am-12:00pm.
Location: Charles Rooks Reserve, Lorikeet Street
- Community Engagement Round #1**
15 January 2024 - 18 february 2024
- Draft Charles Rooks and Dagola Reserve Landscape Master Plan**
Mid 2024
- Community Engagement Round #2**
This is an upcoming stage for Charles Rooks and Dagola Reserve Master Plan
Details TBC

FAQs

- ? What is a Landscape Master Plan and why is it needed?
- ? Who can share their ideas for Charles Rooks and Dagola Reserve Landscape Master Plan?
- ? What will you do with the community's ideas?
- ? When will the draft Landscape Master Plan be ready?
- ? Will there be an opportunity to give feedback on the draft Landscape Master Plan?



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FINAL DRAFT CONCEPT PLAN

CHARLES ROOKS
& DAGOLA RESERVE

A. COMMUNITY
CONSULTATION SUMMARY

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Summary of the Engagement Activities

Charles Rooks and Dagola Reserve community engagement round one has been launched, involving several activities to gather feedback. Letters were sent to residents encouraging participation in the Your Say survey. The survey, held from January 22 to February 18, received responses from 220 participants.

Friends of Charles Rooks and Dagola Reserve were engaged to gather further feedback.

Summary of the engagement activities

1. Letters to Residents:

- Sent letters informing residents about the project and encouraging participation in the Your Say survey.
- Total of 943 letters sent to residents within a 500m catchment area.

2. Your Say Survey:

- Conducted from January 15, 2024- February 18, 2024.
- A total of 683 people were aware through Your say platform of which 220 completed the survey

3. Community Pop-up Session:

- Held on January 20, 2024, from 10:00 am to 12:00 pm.
- Approximately 50 attendees, urged to complete paper or online surveys.

4. Engagement with Mount Pleasant Road Primary School Students:

- February 15, 2024; 9 students attended.

5. Engagement with Friends of Charles Rooks and Dagola RESERVE:

- February 29, 2024; 3 members attended.

6. Key Findings

- Demographic
- Traveling method
- Park visitation and park use
- Park safety and improvements
- Other community comments

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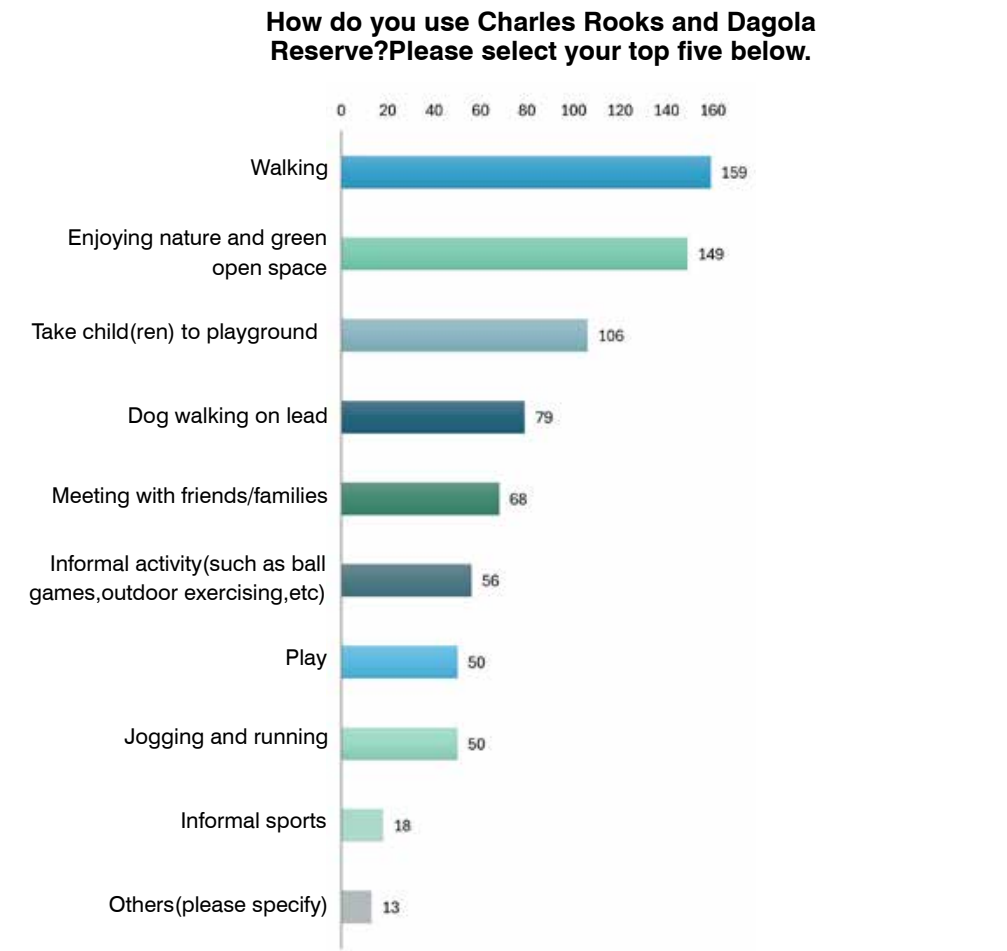
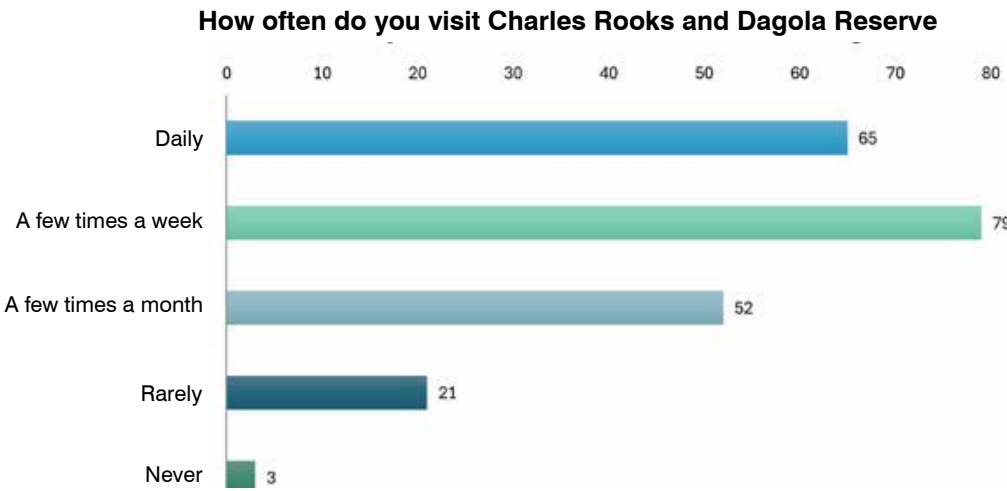


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CHARLES ROOKS
& DAGOLA RESERVE

A. COMMUNITY
CONSULTATION SUMMARY

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Charles Rooks and Dagola Reserve visitation and park use key findings

- More than 65% of the survey respondents visit Charles Rooks and Dagola Reserve daily or a few times a week.
- About 11% of respondents visit the park rarely or never visit the Charles Rooks and Dagola Reserve .
- Approximately half of the respondents typically stay at the park for an hour or two, while the other half of the respondents stay at the park for less than 30 minutes.
- The park has been used in a diverse range of ways, encompassing physical activity, leisure, and social interactions.
- Most of respondents engage in walking in the Charles Rooks and Dagola Reserve. The top five park use activities identified are:
 - Walking (159 respondents)
 - Enjoying nature and green open space (149 respondents)
 - Taking child(ren) to playground (106 respondents)
 - Dog walking on lead (79 respondents)
 - Meeting with friends/families (68 respondents)

96% of survey respondents are from local, Nunawading and Mitcham

65% of the survey respondents visit Charles Rooks and Dagola Reserve daily or a few times a week

Top five park facilities include walking, enjoying nature and green open space, playground, dog walking and meeting friends and family openness

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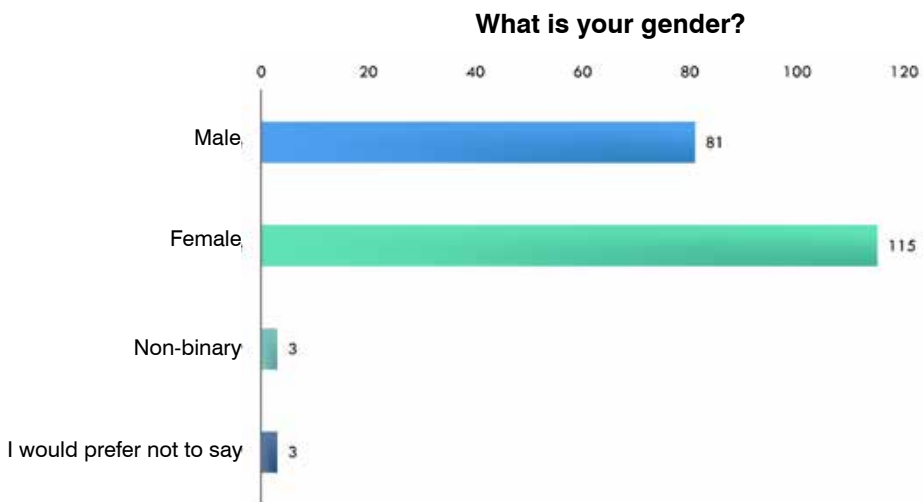
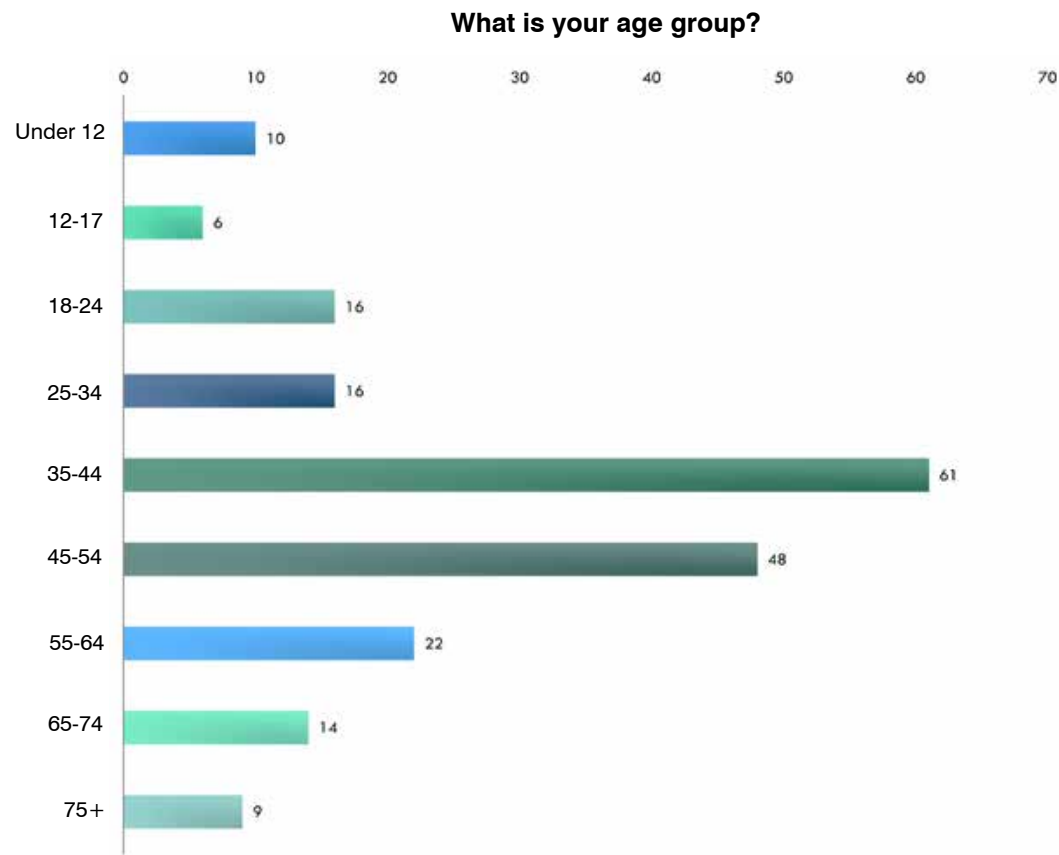


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CHARLES ROOKS
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A. COMMUNITY
CONSULTATION SUMMARY

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Demographic key findings

- All age groups were quite well represented in the survey responses.
- 76% of the survey respondents fall within the age group of 35 to 75. Respondents aged 12 to 34 comprise 24% of the total.
- The female users of Charles Rooks and Dagola Reserve outnumber the male users. Specifically, 57% of the respondents are female, while 40% are male. Additionally, 1.5% of respondents identify as non-binary, and 1.5% would prefer not to say
- About half of the survey respondents are from local, Nunawading. The remaining respondents are distributed among 18 other suburbs. Within this distribution, 44% are from other suburbs within Whitehorse City Council, while 9% are from suburbs outside Whitehorse City Council.
- Out of the 66 survey respondents, 5 individuals reported having a disability or impairment, 3 identified as Aboriginal or Torres Strait Islander, and 26 stated they are from a non-English speaking background.
- The Reserve users represent a diverse range of backgrounds, with 72% (143 respondents) being born in Australia and 28% (57 respondents) originally from overseas.
- Most of the respondents report that English is their main language spoken at home. Approximately 16% of respondents do not speak English as their main language at home.

Traveling method key findings

- 79% of the survey respondents walk to Charles Rooks and Dagola Reserve, while 9% drive. Additionally, 12% of respondents choose cycling, jogging/running, or public transport as their mode of transportation to the park.
- For the respondents who walk to the Reserve, 89% of people walk to the park less than 1.2 km. 11% of people walk to the park between 1.2 to 5km.
- 75% of respondents drive less than 5km to the park. 15% of respondents need to drive more than 15km to get to the park from other suburbs.
- Four respondents travel to the park using public transport within a distance of no more than 15 km.
- 4% of the respondents select cycling as their mode of transportation to the park, with most respondents cycling less than 1.2 km.
- 5.6% of the respondents jog/run to the park.

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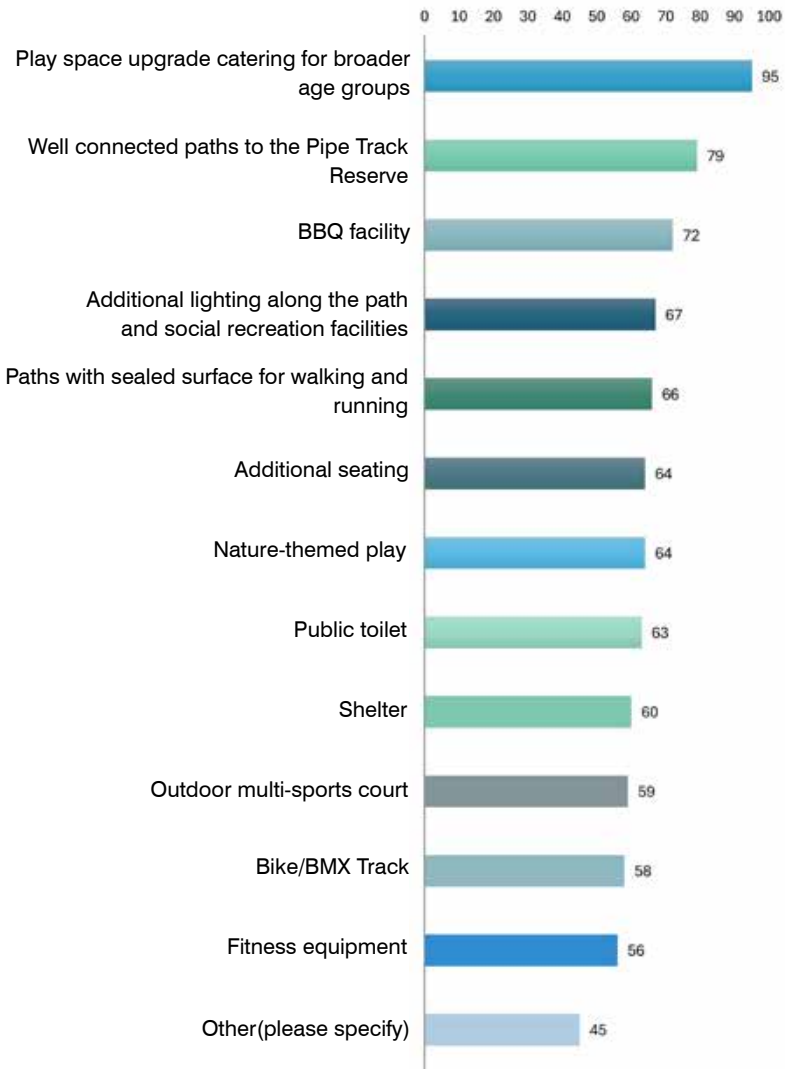
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CHARLES ROOKS
& DAGOLA RESERVE

A. COMMUNITY
CONSULTATION SUMMARY

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What improvements would encourage you to visit Charles Rooks and Dagola Reserve more often? Please choose your top five.



Park safety and improvements key findings

- 60% of the respondents feel safe in the park; however, 34% of the respondents feel somewhat safe, and 6% do not feel safe.
- Suggestion to improve the sense of safety in the park:
 - Lighting: Install additional lighting along pathways and in dark areas of the park to improve visibility, especially during early mornings and evenings. Consider ecologically sensitive lighting options, such as solar lights, to minimize environmental impact. (24 respondents)
 - Surveillance: Implement passive surveillance measures, such as security cameras, to deter antisocial behavior and enhance safety for park users. (14 respondents)
 - Pathway Improvement: Ensure pathways are well-maintained, sealed, and wide enough to accommodate all users safely, including those with wheelchairs or strollers. (8 respondents)
 - Visibility: Trim trees and shrubs in Dagola to improve visibility and reduce hiding places. (13 respondents)
 - Entrance/Exit Safety: Enhance safety at entry and exit points into side streets by maintaining clear vision and openness. Consider installing signage or safety barriers to alert drivers to pedestrian crossings. (6 respondents)
 - Fencing: Install appropriate fencing, particularly around playgrounds, to create a secure and defined space for children to play without the risk of intrusion. (6 respondents)
- The improvements that would encourage people to visit the park more often:
 - Play space upgrade catering for broader age groups (95 respondents)
 - Well connected paths to the Pipe Track Reserve (79 respondents)
 - BBQ facility (72 respondents)
 - Additional lighting along the path and social recreation facilities (67 respondents)
 - Paths with sealed surface for walking and running.Improved pathway network (66 respondents)
 - Additional seating (64 respondents)
 - Nature- themed play (64 respondents)
 - Public toilet (63 respondents)
 - Shelter (60 respondents)
 - Outdoor multi-sports court (59 respondents)
 - Bike/BMX track (58 respondents)
 - Fitness equipment (56 respondents)
 - Others below (45 respondents):
 - Increased native vegetation, expansion of bushland, and more middlestorey vegetation along roads to reduce the noise and help the reserve feel more immersive
 - More bins
 - Improve water run off on Lorikeet St
 - Additional shade over play areas
 - Off-leash dog area

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CHARLES ROOKS
& DAGOLA RESERVE

A. COMMUNITY
CONSULTATION SUMMARY

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Other comments

- **Playground Upgrades:** Many people mentioned the need for playground upgrades, including equipment suitable for a range of age groups, such as toddlers to older children. Suggestions included adding swings, slides, monkey bars, and adventure playground elements. (27 respondents)
- **Pathway and Accessibility:** Suggestions were made to improve pathways, make them wheelchair accessible, and install lighting for safety, especially during nighttime. (24 respondents)
- **Amenities and Facilities:** There were mixed opinions regarding additional amenities and facilities. Some suggested adding BBQ facilities, picnic areas, public toilets, and water fountains, while others expressed concerns about attracting undesirable behavior such as vandalism and crime. (20 respondents)
- **Social Recreation Facilities:** Requests were made for sporting facilities such as basketball courts, netball courts, tennis walls, and soccer pitches. However, concerns were raised about potential noise and disturbance to nearby residents. (17 respondents)
- **Dog-Friendly Features:** Some respondents requested a designated off-leash area for dogs, while others expressed concerns about dogs being off-leash and suggested maintaining on-leash rules. (9 respondents)
- **Nature Conservation:** Several respondents emphasised the importance of preserving and expanding the native bushland areas within the reserve. Suggestions included increasing indigenous plantings, creating habitat for wildlife, and protecting remnant vegetation. (7 respondents)

Q: Do you have any suggestion to improve the sense of safety in the park? (e.g. Passive Surveillance, additional lighting etc.)

“Surveillance and lighting.”

“Better footpaths.”

“Keeping trees and shrubs prune and grass cut so enhances visibility for people using the facilities. Ecological sensitive lighting is a great idea and passive surveillance to ensure that women and families with children feel safe to use facilities.”

“There is insufficient fencing between the park and road in some areas, as well as multiple instances of people bringing large dogs off lead into the park and playground. This can create an unsafe atmosphere for dog walkers who do the right thing and keep their dogs on leash, or parents taking their children to the playgrounds.”

“Lots of large tree and bushes and not many people seem to go there, if more people use the reserve, we are more likely to use it as well. The play equipment there is very old and there’s better playgrounds like Halliday to go to, but much further.”

Q: Do you have any other comments?

“There are a few tall trees in the reserve that are close to properties. One of the trees did fall in 2020, and there just feels like there is a good chance it’ll happen again with damage to private property next time. Some of the trees that are within falling distance to houses maybe could be reduced.”

“I love the vegetation and simplicity of the reserved. The playgrounds are both tired and in need of an upgrade, while my kids have used them for 8 years and wouldn’t want to change a thing.”

“Increased protection for the Conservation areas and potentially increasing the Conservation areas..”

“Bbq would be great and public toilets. It would also be great for it to be an inclusive space so people with a disability could use the pay equipment and move around the park also a path.”

“Al love this reserve, a tranquil respite hearing the birds and observing the trees no matter what time of the year. These Reserve are irreplaceable oasis’s in our area.”

“Outdoor gym equipment, such as those found in many other parks in Melbourne would be a great public health addition that are typically used by a wide range of ages including seniors.”

“It would be nice to see the remnant native vegetation protected and restored.”

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FINAL DRAFT CONCEPT PLAN

CHARLES ROOKS
& DAGOLA RESERVE

A. COMMUNITY
CONSULTATION SUMMARY

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Key Stakeholder Engagement

- A discussion session with representatives from Friends of Group at Charles Rooks- Dagola Reserve was conducted online on the 29th of February to understand their aspirations for the site.
- The discussion focused on the key stakeholders aspirations for the site.
- Transitional landscape strategies to replace large pine trees, lots of birds nesting hollows exist in trees and progressive tree replacement will be required.
- Need water points in the reserve.
- Charles Rooks reserve is more formal space
- Dagola reserve is less formal, and more grass vegetation and bushland character
- Currently many low to middle-level shrubs
- Consider using native vegetation to design the site
- Plants signage – interpretative signage for education purposes
- Consider replacing pines trees with native landscape
- Remnant vegetation a map of remnant vegetation areas within and beyond the Conservation zones was provided.
- Conservation zones are favourite areas and have great biodiversity
- Weed management needs to be considered
- A sense of discovery landscapeAmenities & Facilities
- Potential to build up a viewing platform for a community meeting place (Dagola Reserve)
- A focal point with shelter and family BBQ
- Rubbish bins and dog poop bags
- Toilets
- Playground
- Community currently use both playgrounds
- Dagola Playspace is good as there is no traffic
- A nature play space is desired to foster a connection between people and the site
- Safety
- About 20% of survey respondents feel unsafe in the reserve
- No passive surveillance
- The issue of the narrow space – feels unsafe
- Increase signage
- Charles Rooks Reserve is surrounded by roads – seek opportunities to implement sound barrier to help reduce noise, such as through mounding landscape design.
- Issue of the Pipe Track (MW)
- The water main renewal project has resulted in the pipe track being closed off for an extended period
- Once the track is open review the connection as bikes come through at high-speed



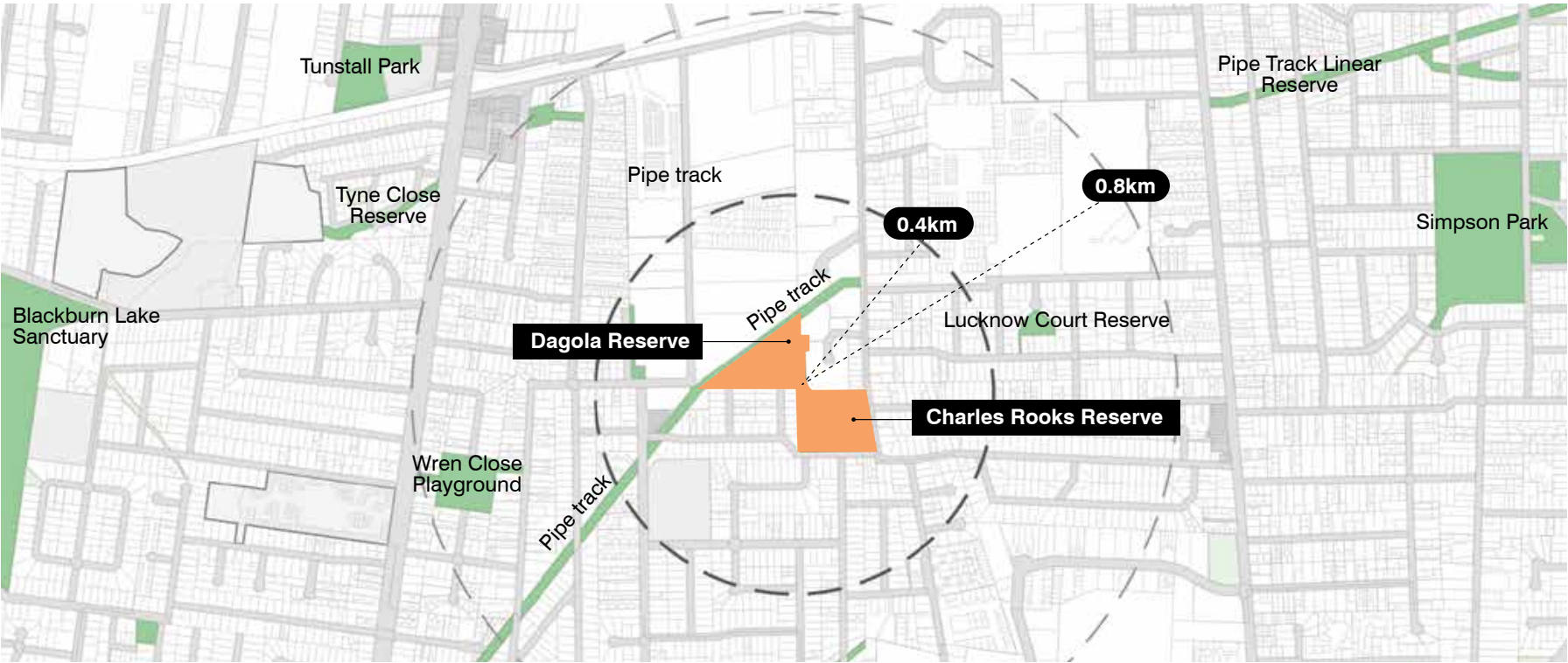
B. SITE ANALYSIS

Green Space

The diagram illustrates a walking catchment area with a radius of 0.8 kilometers, encompassing adjacent open green spaces. Charles Rooks and Dagola Reserve serve as the primary open space destinations for the local neighborhood. Dagola Reserve is connected by the Melbourne Water Pipe Track, which is an off-road bike route/shared path (currently under construction).

Legend

- Site
- Green Space
- Walking Distance

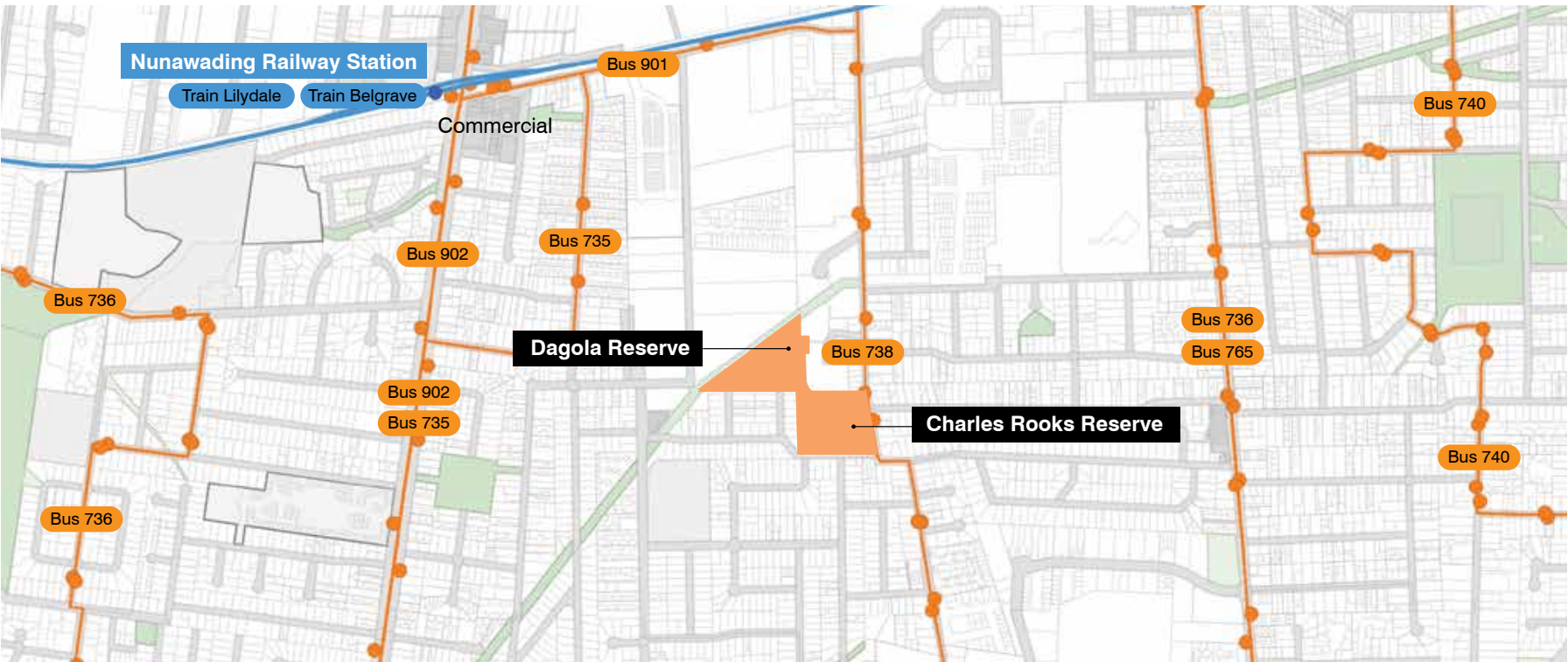


Public Transport

Charles Rooks Reserve is conveniently connected to the bus network and is also within 0.8 kilometers walking distance of the Nunawading railway station.

Legend

- Site
- Railway Station
- Bus Stop



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FINAL DRAFT CONCEPT PLAN

CHARLES ROOKS
& DAGOLA RESERVE

B SITE ANALYSIS

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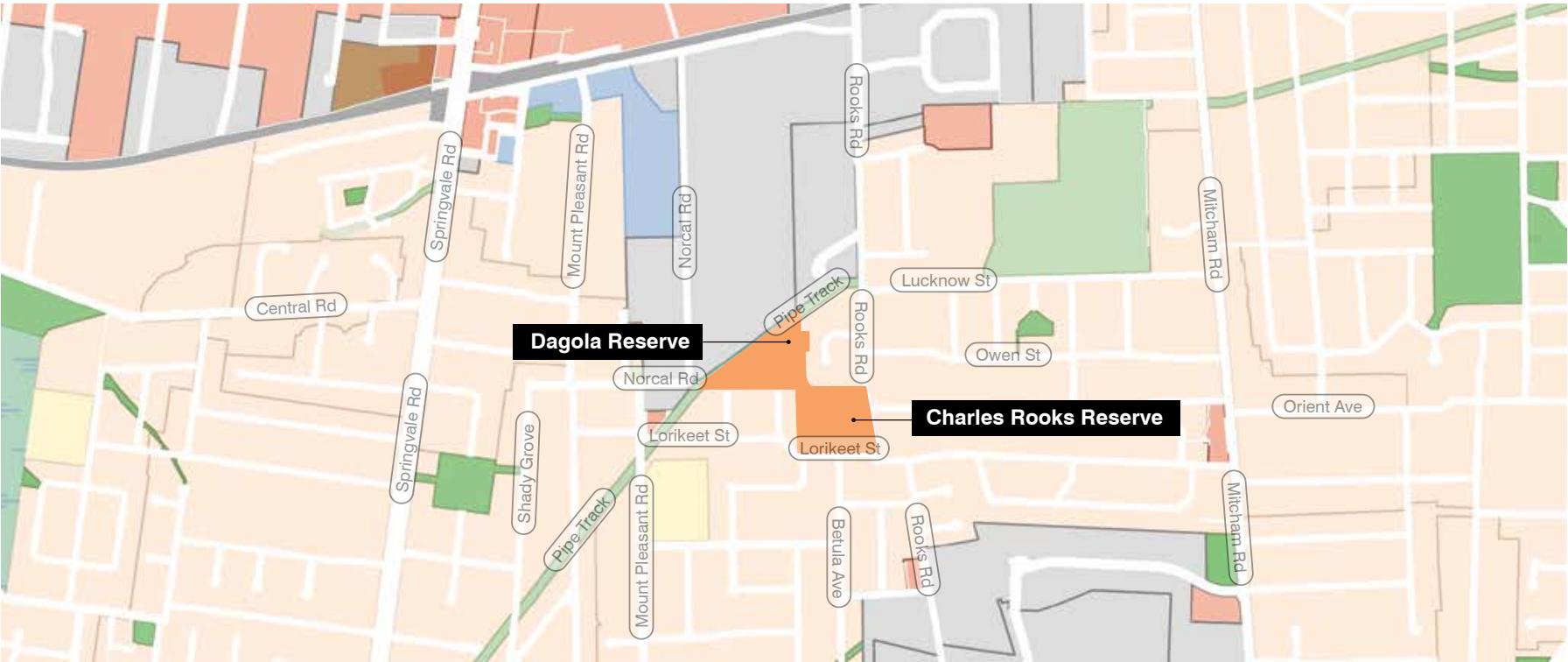
SCALE: 1 in 16000

Zoning

Charles Rooks and Dagola Reserve are situated adjacent to the Pipe track and an Industrial Zone to the north, while being surrounded by Residential zone to the west, east, and south.

Legend

- Site
- Commercial Zone
- Residential Zone
- Industrial Zone
- Public Conservation and Resource Zone
- Public Park and Recreation Zone
- Public Use Zone - Service and Utility
- Public Use Zone - Education
- Public Use Zone - Local Government
- Residential Growth Zone
- Transport Zone
- Health



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FINAL DRAFT CONCEPT PLAN

CHARLES ROOKS -
DAGOLA RESERVE

B SITE ANALYSIS

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Existing Site Aerial

Charles Rooks Reserve, spanning approximately 1.9 hectares, is bounded by Rooks Road to the west and Lorikeet Street to the south, with residential areas to the north and west. The site spans approximately 120 meters in length and 160 meters in width.

Dagola Reserve, covering approximately 1.6 hectares, is situated to the north of Charles Rooks Reserve and is connected by a pathway. It is bounded by residential areas to the south and east, with a pipe track to the north adjacent to an industrial zone.

Both Reserve characterise as a natural landscape with areas of valued remnant vegetation. Additionally, each site features a playground to serve the local community.

Legend

— Site



10.7 – ATTACHMENT 1. Charles Rooks and Dagola Reserve - Final Draft Landscape Concept Plan Report



FINAL DRAFT CONCEPT PLAN

CHARLES ROOKS
& DAGOLA RESERVE

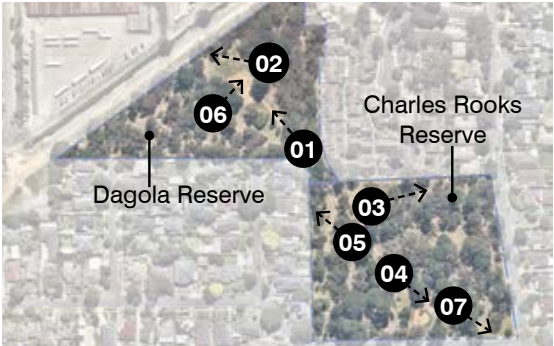
B SITE ANALYSIS

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Existing Site Photos

- 01 - The view from Charles Rooks Reserve walks towards the Dagola Reserve.
- 02 - A view from Dagola Reserve reveals a clear lawn surrounded by trees, with the Pipe track visible in the background. Currently, the Pipe track is fenced off for maintenance by Melbourne Water.
- 03 - The pathway meanders through the Conservation zone at Charles Roks Reserve.
- 04 - The pedestrian pathway at Charles Roks Reserve leads towards Lorikeet Street, with a playground situated nearby, close to the street.
- 05 - Significant pine trees are planted in the northwest area of Charles Rooks Reserve. The mound beneath these pine trees was also utilised as a BMX track by the neighborhood.
- 06 - The playground is situated in the center of Dagola Reserve, with benches placed alongside it
- 07 - A view towards the entry of the pathway on Lorikeet Street at Charles Rooks Reserve with a mix of native and exotic mature trees lining each side.



Key Plan



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Views

The site offers a variety of viewing experiences:



The view captures the richness of the landscape at Dagola Reserve, showcasing a mix of Eucalyptus trees towering over bushland underneath.



A clear view overlooks the playground space at Dagola Reserve, with a prominent Melaleuca armillaris tree situated to the east of the view.



A mix of native trees with a grassy understorey creates a diverse and natural landscape at Charles Roks Reserve.



The view captures the pathway as it meanders through the landscape, offering a clear sightline ahead.



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Topography

The Dagola Reserve exhibits a general elevation difference of 7 meters, ranging from the highest point at 147 meters in the northeast to the lowest point at 140 meters in the southwest.

Comparatively, Charles Rooks Reserve sits at a lower elevation than Dagola Reserve. The site descends from the highest point at 145 meters in the northwest to the lowest point at 136 meters in the southeast.

Legend

— Site



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Watershed / Drainage

The diagram illustrates the overall watershed of Charles Rooks and Dagola Reserve. At Dagola Reserve, surface runoff typically flows from the northeast of the site to the southwest, and some runoff flows southeast towards Charles Rooks Reserve. At Charles Rooks Reserve, surface runoff follows the natural contours, generally flowing from the northwest to the south towards Lorikeet Street.

Legend

- Site
- Watershed
- Underground stormwater drain



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Existing Trees

Trees at Charles Rooks and Dagola Reserve are extensively planted throughout the site, contributing to the overall landscape quality and ecological diversity. The tree species include a mix of native trees and numerous significant, well-established pine trees, particularly *Pinus radiata*.

While the majority of trees are assessed to be at low risk, a few are categorised as moderate risk. Notably, one tree has been identified as high-risk at Dagola Reserve.

Legend

- Site
- Existing Trees



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Environmental Vegetation Classes (EVC)

Charles Rooks and Dagola RESERVE are host to one Environmental Vegetation Class (EVC):

EVC 127 Valley Heathy Forest: Defined as an area of a low, open forest to 15 m tall with a sedgy/grassy understorey with a component of small ericoid shrubs and grass-trees. Soil and moisture factors are critical in delimiting the vegetation.

The EVC can serve as a guide for future planting design proposal, ensuring alignment with the objectives of the Whitehorse City Council.

Legend

Site

PRE - 1750

EVC 127: Valley Heathy Forest

2005

EVC 127: Valley Heathy Forest



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Spatial Zoning

Charles Rooks and Dagola RESERVE are comprised with simple functional zones:

- Charles Rooks Reserve features extensive canopies with a generally clear understorey, although there is a patch of grassy understorey in the north and east areas. Additionally, a playground is located in the southern part of the park, near Lorikeet Street.
- Dagola Reserve consists of many vegetation patches, tree canopies, and understorey shrubs, potentially affecting sightlines. A playground is situated at the center of the reserve. The site is isolated from the main streets and adjacent to the Pipe track to the north boundary.

Legend

— Site



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B SITE ANALYSIS

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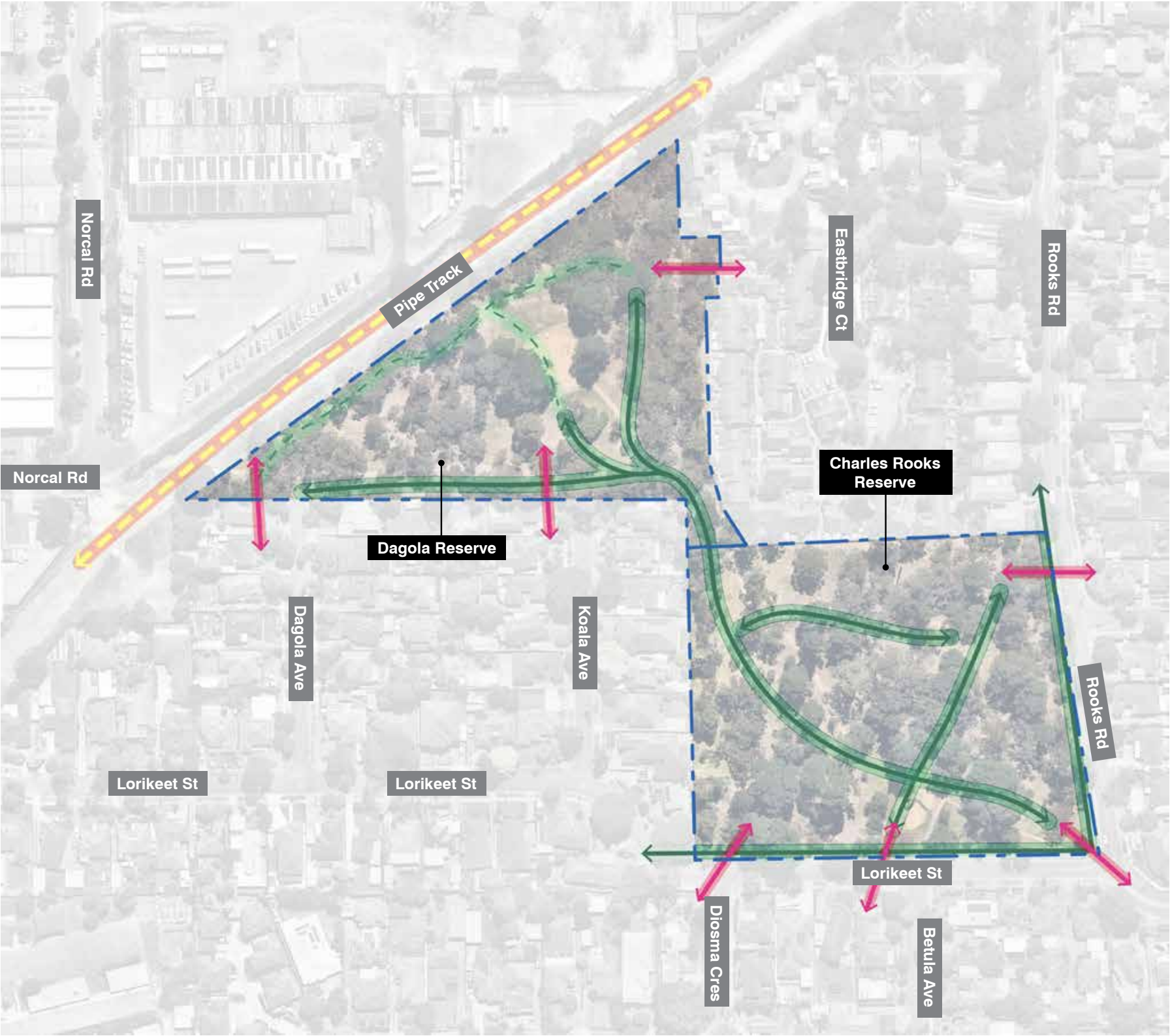


Access/ Circulation

There are four key access points to Charles Rooks Reserve: two from Lorikeet Street to the south, and two from Rooks Road to the east. The site offers pedestrian footpaths along the streets, and three pathways cross the site, linking to Dagola Reserve.

For Dagola Reserve, there are three key access points: one from Dagola Avenue, one from Koala Avenue, and another access point from the east residential area. The northern site boundary has been temporarily fenced off due to maintenance work on the Pipe Track. Additionally, the site lacks formal circulation pathways, although informal circulation patterns are observed on-site to meet the needs of park users.

- Legend**
- Site
 - Pedestrian Entry
 - Future Bicycle Path
 - Pedestrian Path (formalised)
 - Informal Path (observed)



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Edge Conditions

The diagram demonstrates the presence of both close and open edges on the sides of the Charles Rooks and Dagola Reserve. The Charles Rooks Reserve is characterised as open at the south and east, while close at north and west. Additionally, along Lorikeet Street, there is an area fenced off due to playground safety protection measures.

Dagola Reserve has relatively closed edges along the site boundaries, resulting in a small opening to the reserve. The northern site boundary has been temporarily closed due to maintenance work on the Pipe Track.

- Legend
- Site
 - Open
 - Close
 - Permeable (visibility)
 - Temporary Closed



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Materiality

The diagram illustrates the existing material palette of Charles Rooks and Dagola Reserve. The majority of the site is covered by soft landscape, while pedestrian pathways consist of a mix of gravel, asphalt, and concrete. Additionally, the playground is surfaced with mulch.

Legend

- Site
- Concrete
- Gravel
- Mulch
- Asphalt
- Furniture



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B SITE ANALYSIS

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Landscape Quality Summary

Dagola Reserve

The Dagola Reserve offers a distinctive and immersive natural landscape. The reserve features mature native trees, patches of remnant vegetation, shrubs, flowers, grass, and other species. Due to the reserve’s arrangement, it is hidden from the main roads but accessible by foot traffic. A clearance in the center of the site accommodates the playground, while an informal desire line has developed the path network. In some locations of the reserve, visibility is limited due to the understorey plants. Dagola Reserve is connected to Charles Rooks Reserve through a 12-meter narrow space with a pathway flanked by plantings on each side. However, sightlines along the walkway could be enhanced for better visibility and safety.

Charles Rooks Reserve

Charles Rooks Reserve is named after Charles Francis Rooks (b. 1902 - d. 1959), who served as the former mayor of Nunawading. The reserve features a blend of tree canopies, including both native and exotic species. Particularly noteworthy are the mature and well-established pine trees that contribute to the reserve’s distinctive character. The site offers a pleasant experience for visitors exploring the landscape, with a playground located in the southern part of the reserve catering to the local neighborhood.



Dagola Reserve



Dagola Reserve



Charles Rooks Reserve



Charles Rooks Reserve

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