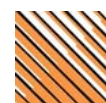


SHEET LIST		
No.	Sheet Name	Rev
A001	FRONT COVER	B
A002	EXISTING SITE LAYOUT/DEMOLITION PLAN	B
A003	NEIGHBOURHOOD & SITE DESCRIPTION	B
A004	NEIGHBOURHOOD CHARACTER STUDY	B
A005	NEIGHBOURHOOD DESIGN RESPONSE	B
A101	PROPOSED OVERALL SITE PLAN	B
A102	PROPOSED SITE PLAN	B
A103	PROPOSED FIRST FLOOR SITE PLAN	B
A104	PROPOSED GROUND FLOOR PLAN	B
A105	PROPOSED FIRST FLOOR PLAN	B
A110	PROPOSED ROOF PLAN	B
A120	GARDEN AREA	A
A201	PROPOSED SECTIONS	B
A301	PROPOSED ELEVATIONS	B
A302	PROPOSED ELEVATIONS	B
A303	PROPOSED ELEVATIONS - ADJOINING VIEW	B
A304	PROPOSED ELEVATIONS - ADJOINING VIEW	B
A401	SHADOW DIAGRAM - 9AM SEPTEMBER EQUINOX	B
A402	SHADOW DIAGRAM - 12PM SEPTEMBER EQUINOX	B
A403	SHADOW DIAGRAM - 3PM SEPTEMBER EQUINOX	B
A501	3D IMAGES 01	B
A502	3D IMAGES 02	B
A503	3D IMAGES 03	B



# PROPOSED RESIDENTIAL DEVELOPMENT 25 HOLLAND ROAD BLACKBURN SOUTH, VIC 3130

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ISSUE	DESCRIPTION	DATE
A	ISSUED FOR TOWN PLANNING	27.6.18
B	RPI RESPONSE	6.9.18

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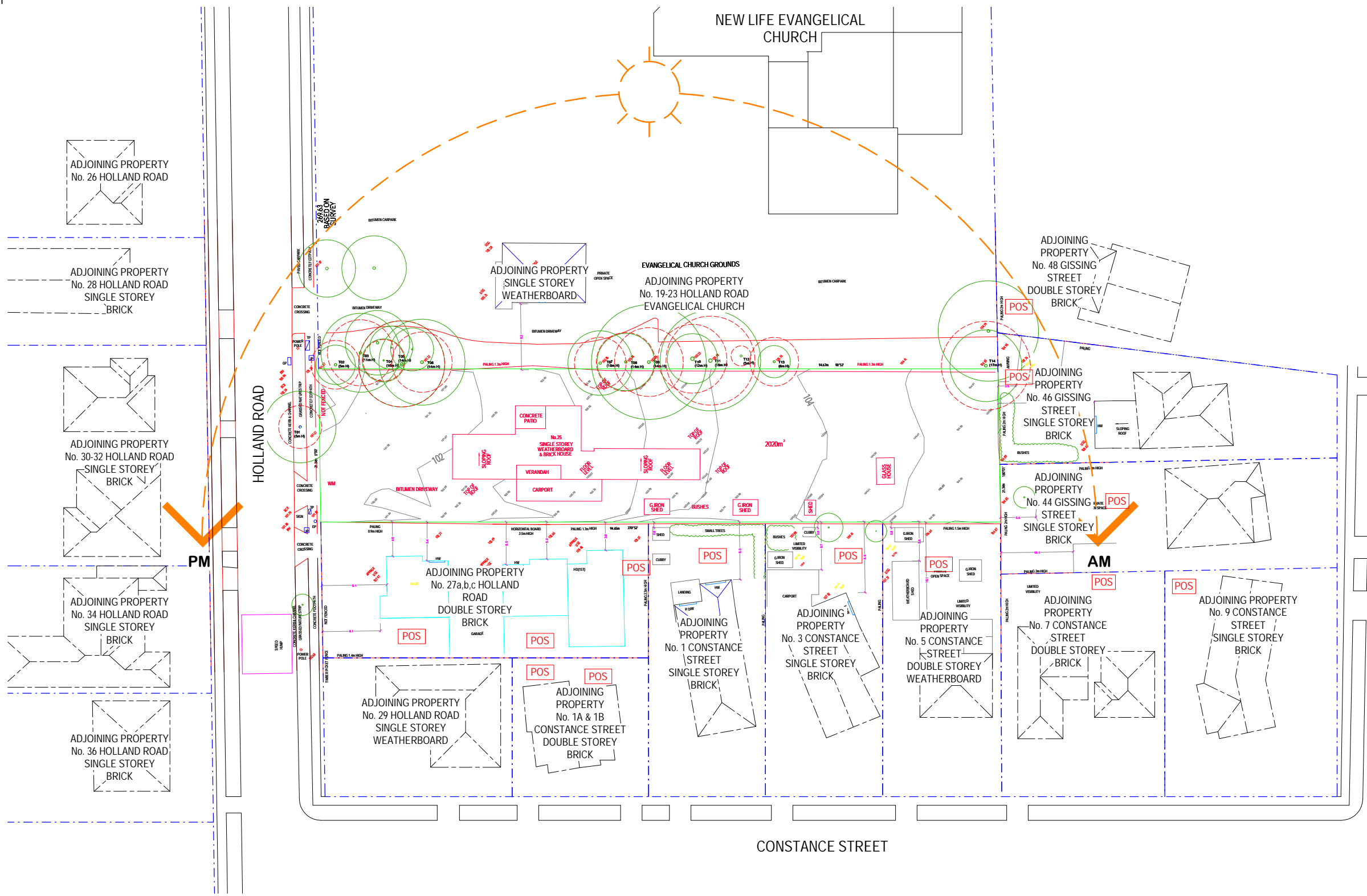
PROPOSED RESIDENTIAL DEVELOPMENT  
25 HOLLAND ROAD  
BLACKBURN SOUTH, VIC 3130  
FRONT COVER

Date: 27.06.18 Drawn: DL  
Job No. 2617 Scale@A11 : 400

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TP A001 B





28 HOLLAND RD (VIEW FROM SUBJECT SITE)



30-32 HOLLAND RD (VIEW FROM SUBJECT SITE)



30-32 HOLLAND RD (VIEW FROM SUBJECT SITE)



34 HOLLAND RD (VIEW FROM SUBJECT SITE)



19-23 HOLLAND RD



25 HOLLAND RD (SUBJECT SITE)



27 HOLLAND RD



29 HOLLAND RD



29 HOLLAND RD (FROM CONSTANCE STREET)



1A & 1B CONSTANCE STREET

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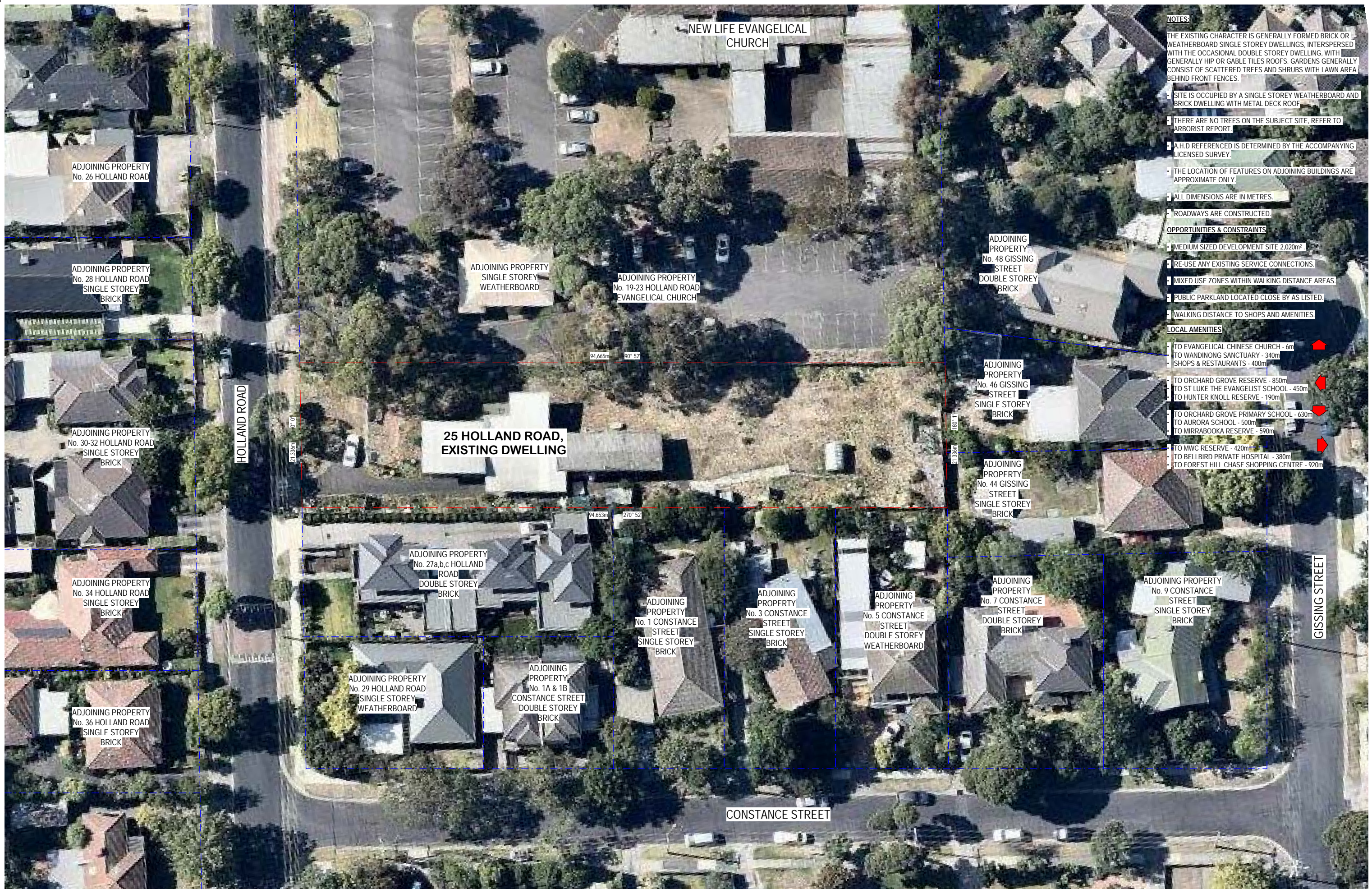


PROPOSED RESIDENTIAL DEVELOPMENT  
 25 HOLLAND ROAD  
 BLACKBURN SOUTH, VIC 3130  
 NEIGHBOURHOOD & SITE DESCRIPTION

Date: 27.06.18 Drawn: DL  
 Job No. 2617 Scale: A1:1 : 300

TP A003 B

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**NOTES:**  
 THE EXISTING CHARACTER IS GENERALLY FORMED BRICK OR WEATHERBOARD SINGLE STOREY DWELLINGS, INTERSPERSED WITH THE OCCASIONAL DOUBLE STOREY DWELLING, WITH GENERALLY HIP OR GABLE TILES ROOFS. GARDENS GENERALLY CONSIST OF SCATTERED TREES AND SHRUBS WITH LAWN AREA BEHIND FRONT FENCES.

- SITE IS OCCUPIED BY A SINGLE STOREY WEATHERBOARD AND BRICK DWELLING WITH METAL DECK ROOF
- THERE ARE NO TREES ON THE SUBJECT SITE, REFER TO ARBORIST REPORT.
- A.H.D REFERENCED IS DETERMINED BY THE ACCOMPANYING LICENSED SURVEY.
- THE LOCATION OF FEATURES ON ADJOINING BUILDINGS ARE APPROXIMATE ONLY.
- ALL DIMENSIONS ARE IN METRES.
- ROADWAYS ARE CONSTRUCTED.

- OPPORTUNITIES & CONSTRAINTS**
- MEDIUM SIZED DEVELOPMENT SITE 2,020m<sup>2</sup>
  - RE-USE ANY EXISTING SERVICE CONNECTIONS.
  - MIXED USE ZONES WITHIN WALKING DISTANCE AREAS.
  - PUBLIC PARKLAND LOCATED CLOSE BY AS LISTED.
  - WALKING DISTANCE TO SHOPS AND AMENITIES.

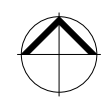
- LOCAL AMENITIES**
- TO EVANGELICAL CHINESE CHURCH - 6m
  - TO WANDINONG SANCTUARY - 340m
  - SHOPS & RESTAURANTS - 400m
  - TO ORCHARD GROVE RESERVE - 850m
  - TO ST LUKE THE EVANGELIST SCHOOL - 450m
  - TO HUNTER KNOLL RESERVE - 190m
  - TO ORCHARD GROVE PRIMARY SCHOOL - 630m
  - TO AURORA SCHOOL - 500m
  - TO MIRRABOOKA RESERVE - 590m
  - TO MWC RESERVE - 420m
  - TO BELLBIRD PRIVATE HOSPITAL - 380m
  - TO FOREST HILL CHASE SHOPPING CENTRE - 920m

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PROPOSED RESIDENTIAL DEVELOPMENT  
 25 HOLLAND ROAD  
 BLACKBURN SOUTH, VIC 3130  
 NEIGHBOURHOOD CHARACTER STUDY  
 Date: 27.06.18 Drawn: DL  
 Job No. 2617 Scale: A1As indicated

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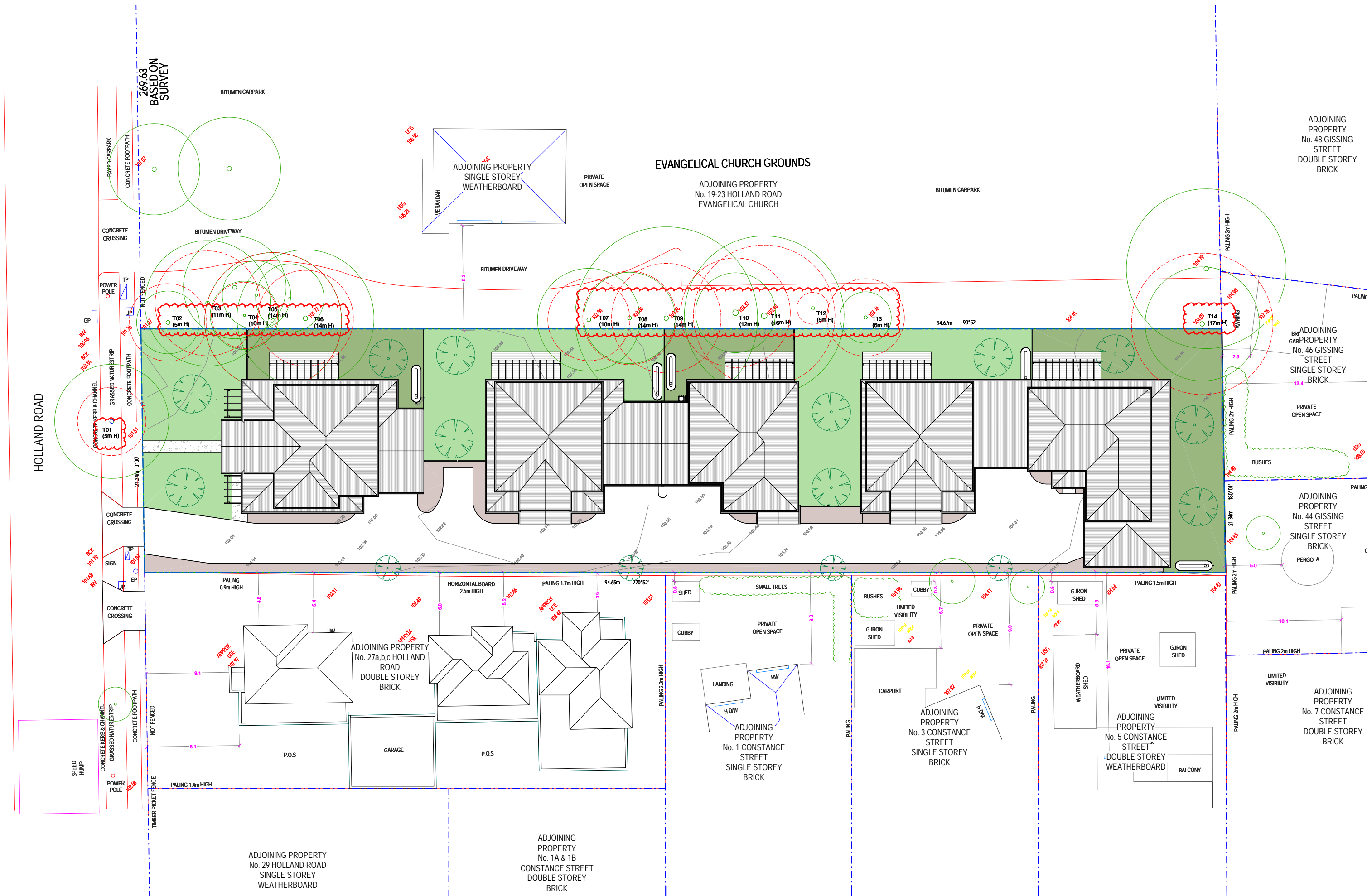


PROPOSED RESIDENTIAL DEVELOPMENT  
 25 HOLLAND ROAD  
 BLACKBURN SOUTH, VIC 3130  
 NEIGHBOURHOOD DESIGN RESPONSE

Date: 27.06.18 Drawn: DL  
 Job No. 2617 Scale@A1: 250

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TP A005 B



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PROPOSED RESIDENTIAL DEVELOPMENT  
 25 HOLLAND ROAD  
 BLACKBURN SOUTH, VIC 3130  
 PROPOSED OVERALL SITE PLAN

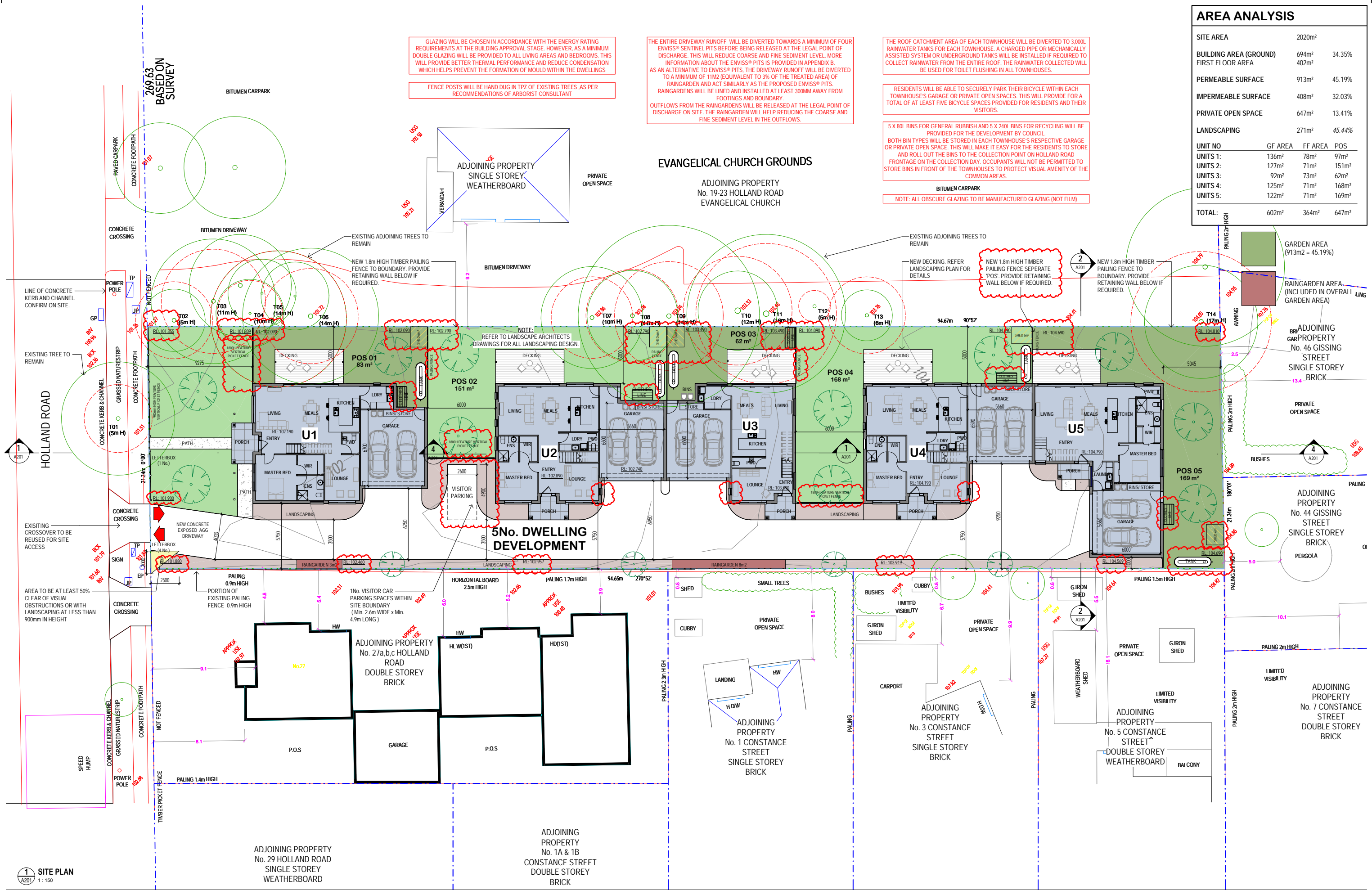
Date: 27.06.18 Drawn: DL  
 Job No. 2617 Scale @A1: 1:150

TP A101 B

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### AREA ANALYSIS

SITE AREA	2020m <sup>2</sup>		
BUILDING AREA (GROUND)	694m <sup>2</sup>	34.35%	
FIRST FLOOR AREA	402m <sup>2</sup>		
PERMEABLE SURFACE	913m <sup>2</sup>	45.19%	
IMPERMEABLE SURFACE	408m <sup>2</sup>	32.03%	
PRIVATE OPEN SPACE	647m <sup>2</sup>	13.41%	
LANDSCAPING	271m <sup>2</sup>	45.44%	
UNIT NO	GF AREA	FF AREA	POS
UNITS 1:	136m <sup>2</sup>	78m <sup>2</sup>	97m <sup>2</sup>
UNITS 2:	127m <sup>2</sup>	71m <sup>2</sup>	151m <sup>2</sup>
UNITS 3:	92m <sup>2</sup>	73m <sup>2</sup>	62m <sup>2</sup>
UNITS 4:	125m <sup>2</sup>	71m <sup>2</sup>	168m <sup>2</sup>
UNITS 5:	122m <sup>2</sup>	71m <sup>2</sup>	169m <sup>2</sup>
TOTAL:	602m <sup>2</sup>	364m <sup>2</sup>	647m <sup>2</sup>



GLAZING WILL BE CHOSEN IN ACCORDANCE WITH THE ENERGY RATING REQUIREMENTS AT THE BUILDING APPROVAL STAGE. HOWEVER, AS A MINIMUM DOUBLE GLAZING WILL BE PROVIDED TO ALL LIVING AREAS AND BEDROOMS. THIS WILL PROVIDE BETTER THERMAL PERFORMANCE AND REDUCE CONDENSATION WHICH HELPS PREVENT THE FORMATION OF MOULD WITHIN THE DWELLINGS

FENCE POSTS WILL BE HAND DUG IN TPZ OF EXISTING TREES AS PER RECOMMENDATIONS OF ARBORIST CONSULTANT

THE ENTIRE DRIVEWAY RUNOFF WILL BE DIVERTED TOWARDS A MINIMUM OF FOUR ENVISS® SENTINEL PITS BEFORE BEING RELEASED AT THE LEGAL POINT OF DISCHARGE. THIS WILL REDUCE COARSE AND FINE SEDIMENT LEVEL. MORE INFORMATION ABOUT THE ENVISS® PITS IS PROVIDED IN APPENDIX B. AS AN ALTERNATIVE TO ENVISS® PITS, THE DRIVEWAY RUNOFF WILL BE DIVERTED TO A MINIMUM OF 11M2 (EQUIVALENT TO 3% OF THE TREATED AREA) OF RAINGARDEN AND ACT SIMILARLY AS THE PROPOSED ENVISS® PITS. RAINGARDENS WILL BE LINED AND INSTALLED AT LEAST 300MM AWAY FROM FOOTINGS AND BOUNDARY.

OUTFLOWS FROM THE RAINGARDENS WILL BE RELEASED AT THE LEGAL POINT OF DISCHARGE ON SITE. THE RAINGARDEN WILL HELP REDUCING THE COARSE AND FINE SEDIMENT LEVEL IN THE OUTFLOWS.

THE ROOF CATCHMENT AREA OF EACH TOWNHOUSE WILL BE DIVERTED TO 3,000L RAINWATER TANKS FOR EACH TOWNHOUSE. A CHARGED PIPE OR MECHANICALLY ASSISTED SYSTEM OR UNDERGROUND TANKS WILL BE INSTALLED IF REQUIRED TO COLLECT RAINWATER FROM THE ENTIRE ROOF. THE RAINWATER COLLECTED WILL BE USED FOR TOILET FLUSHING IN ALL TOWNHOUSES.

RESIDENTS WILL BE ABLE TO SECURELY PARK THEIR BICYCLE WITHIN EACH TOWNHOUSE'S GARAGE OR PRIVATE OPEN SPACES. THIS WILL PROVIDE FOR A TOTAL OF AT LEAST FIVE BICYCLE SPACES PROVIDED FOR RESIDENTS AND THEIR VISITORS.

5 X 80L BINS FOR GENERAL RUBBISH AND 5 X 240L BINS FOR RECYCLING WILL BE PROVIDED FOR THE DEVELOPMENT BY COUNCIL. BOTH BIN TYPES WILL BE STORED IN EACH TOWNHOUSE'S RESPECTIVE GARAGE OR PRIVATE OPEN SPACE. THIS WILL MAKE IT EASY FOR THE RESIDENTS TO STORE AND ROLL OUT THE BINS TO THE COLLECTION POINT ON HOLLAND ROAD FRONTAGE ON THE COLLECTION DAY. OCCUPANTS WILL NOT BE PERMITTED TO STORE BINS IN FRONT OF THE TOWNHOUSES TO PROTECT VISUAL AMENITY OF THE COMMON AREAS.

NOTE: ALL OBSCURE GLAZING TO BE MANUFACTURED GLAZING (NOT FILM)

1 SITE PLAN  
A201 1:150

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PROPOSED RESIDENTIAL DEVELOPMENT  
25 HOLLAND ROAD  
BLACKBURN SOUTH, VIC 3130  
PROPOSED SITE PLAN

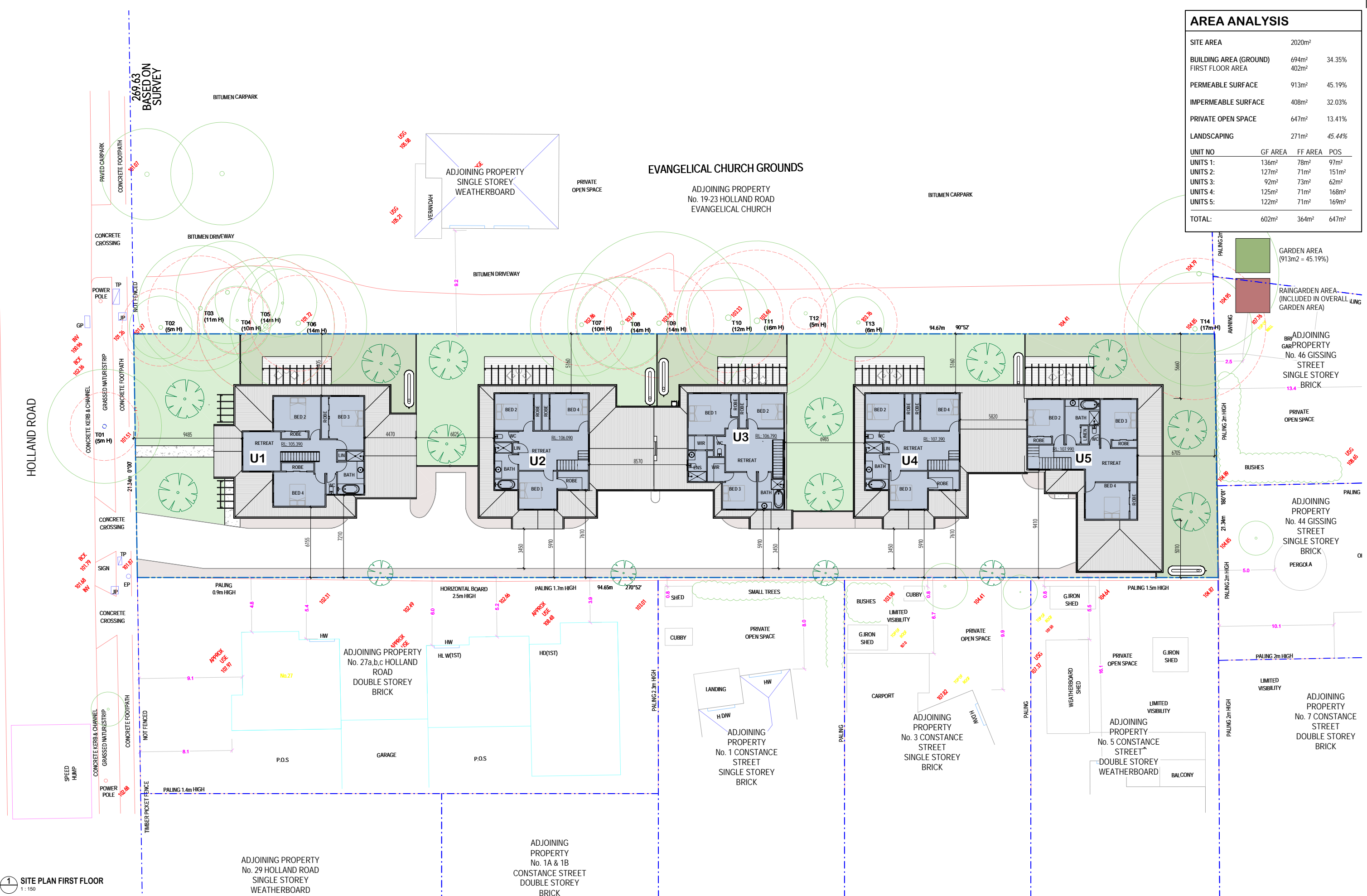
Date: 27.06.18 Drawn: DL  
Job No. 2617 Scale: A1As indicated

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AREA ANALYSIS			
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TOTAL:	602m <sup>2</sup>	364m <sup>2</sup>	647m <sup>2</sup>

**EVANGELICAL CHURCH GROUNDS**

ADJOINING PROPERTY  
No. 19-23 HOLLAND ROAD  
EVANGELICAL CHURCH



1 SITE PLAN FIRST FLOOR  
1:150

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PROPOSED RESIDENTIAL DEVELOPMENT  
25 HOLLAND ROAD  
BLACKBURN SOUTH, VIC 3130  
PROPOSED FIRST FLOOR SITE PLAN

Date: 27.06.18 Drawn: DL  
Job No. 2617 Scale: @A1As indicated

TP A103 B

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2 GROUND FLOOR PLAN (PART B)  
1:100

1 GROUND FLOOR PLAN (PART A)  
1:100

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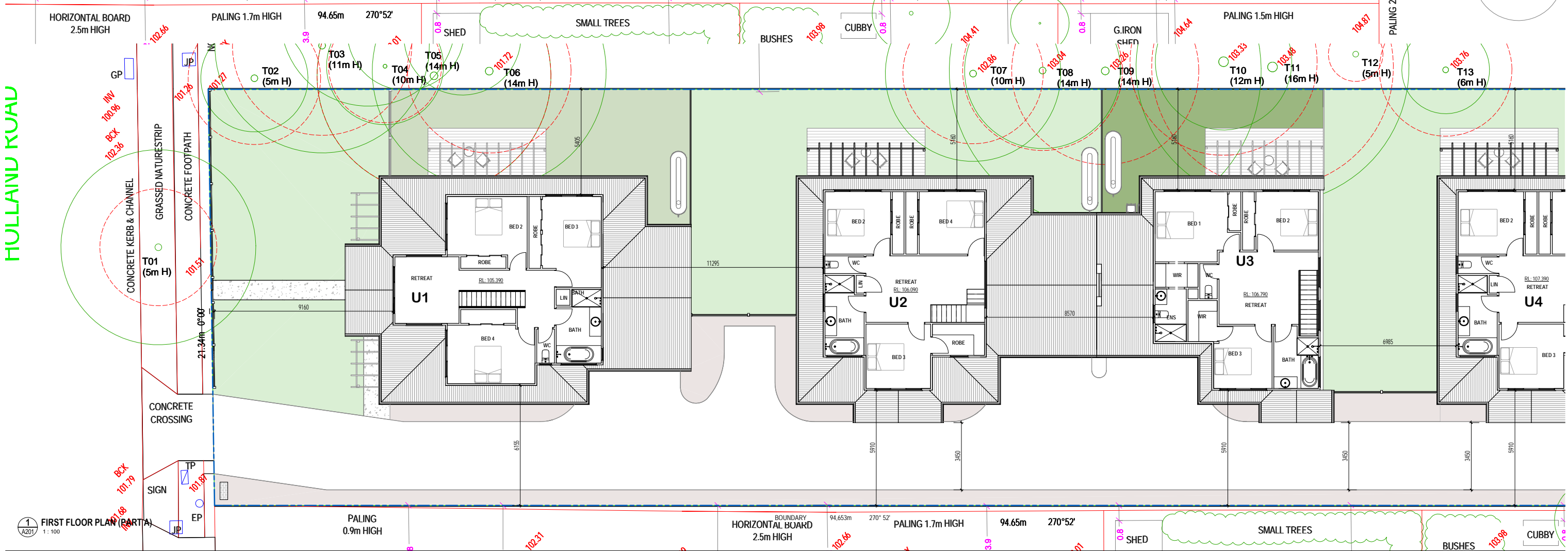
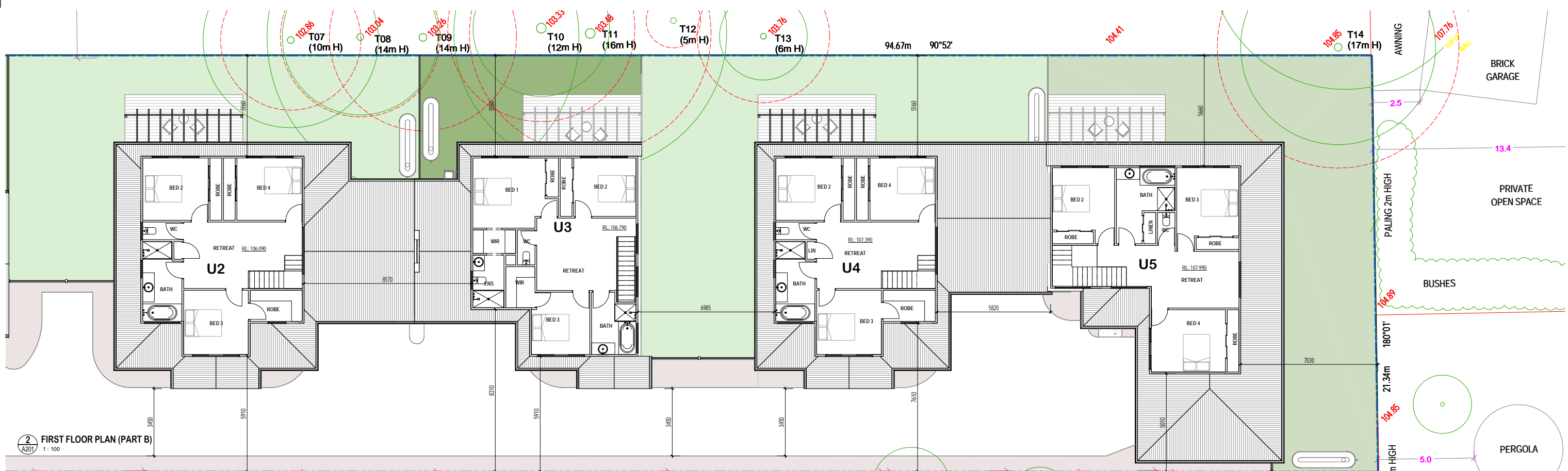


PROPOSED RESIDENTIAL DEVELOPMENT  
25 HOLLAND ROAD  
BLACKBURN SOUTH, VIC 3130  
PROPOSED GROUND FLOOR PLAN

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PROPOSED RESIDENTIAL DEVELOPMENT  
25 HOLLAND ROAD  
BLACKBURN SOUTH, VIC 3130  
PROPOSED FIRST FLOOR PLAN

Date: 27.06.18 Drawn: DL  
Job No. 2617 Scale: A1 1:100

TP A105 B

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**ROOF NOTES**

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH CIVIL AND HYDRAULIC / CIVIL ENGINEERS DETAILS. DOWN PIPES CONNECTED TO LEGAL POINT OF DISCHARGE. REFER TO CIVIL / HYDRAULIC ENGINEERS DETAILS.
- PROVIDE OVERFLOW POPS AT EACH SUMP LOCATION TO ALL BOX GUTTERS.
- ALL ROOFING PRODUCTS SHALL BE INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS.
- ALL OVERFLOW OUTLETS AND DOWNPIPES TO BE LOCATED CLEAR OF ANY OPENINGS BELOW.
- ENSURE ALL PENETRATIONS AND OVERFLOW POPS ARE WATER AND BIRD PROOF.
- REFER TO SERVICES ENGINEER'S DRAWINGS FOR ROOF PENETRATIONS.
- PROVIDE COLORBOND FINISH RAIN WATER HEADS TO ALL BOX GUTTER OUTLETS.
- REFER TO CIVIL ENGINEERS DETAILS FOR GUTTER & RAIN WATER HEADS SIZES.

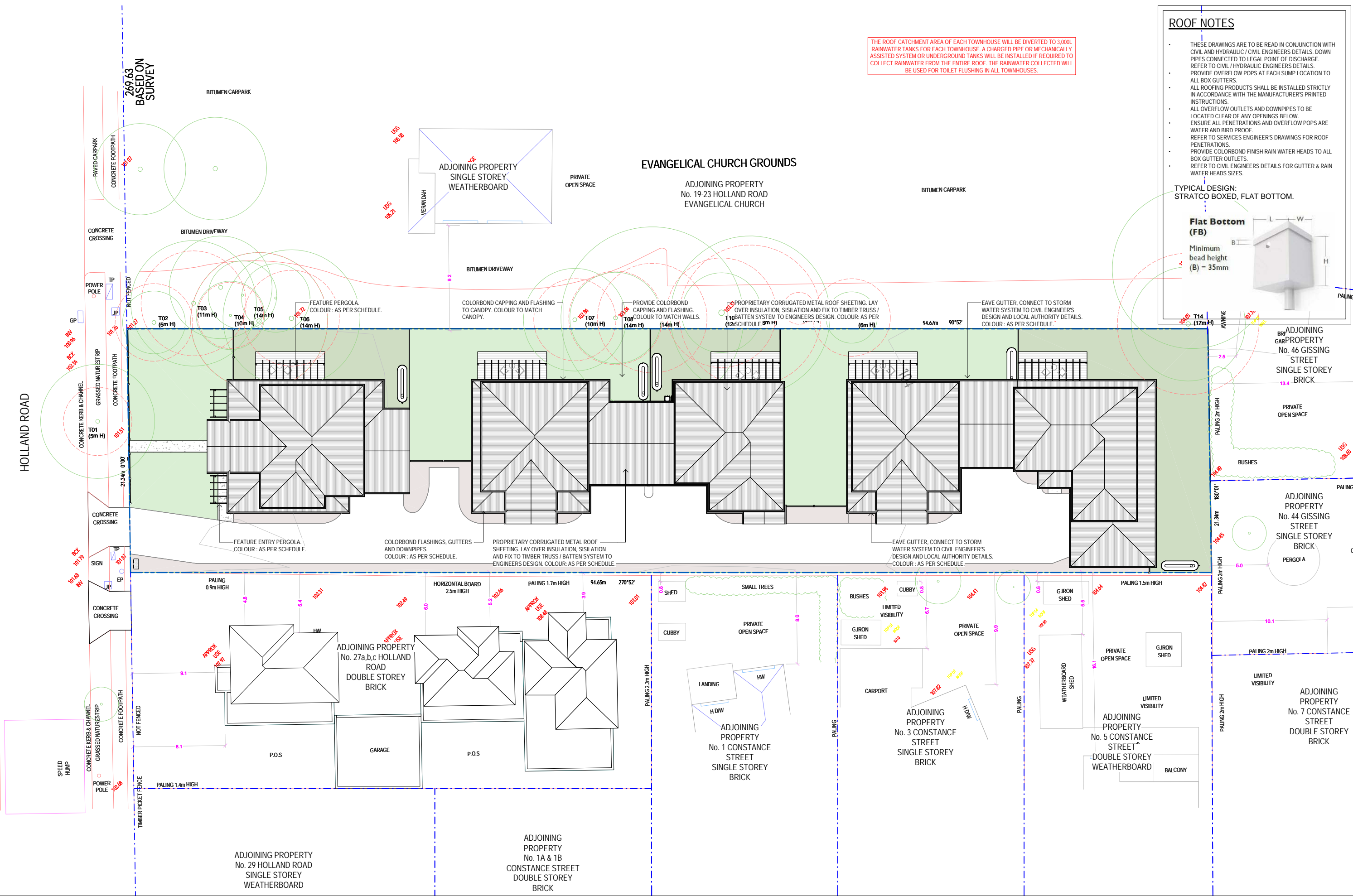
TYPICAL DESIGN: STRATCO BOXED, FLAT BOTTOM.



THE ROOF CATCHMENT AREA OF EACH TOWNHOUSE WILL BE DIVERTED TO 3,000L RAINWATER TANKS FOR EACH TOWNHOUSE. A CHARGED PIPE OR MECHANICALLY ASSISTED SYSTEM OR UNDERGROUND TANKS WILL BE INSTALLED IF REQUIRED TO COLLECT RAINWATER FROM THE ENTIRE ROOF. THE RAINWATER COLLECTED WILL BE USED FOR TOILET FLUSHING IN ALL TOWNHOUSES.

**EVANGELICAL CHURCH GROUNDS**

ADJOINING PROPERTY  
No. 19-23 HOLLAND ROAD  
EVANGELICAL CHURCH



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PROPOSED RESIDENTIAL DEVELOPMENT  
25 HOLLAND ROAD  
BLACKBURN SOUTH, VIC 3130  
PROPOSED ROOF PLAN

Date: 27.06.18 Drawn: DL  
Job No. 2617 Scale @ A1 : 150

TP A110 B

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GARDEN AREA  
(913m<sup>2</sup> = 45.19%)

RAINGARDEN AREA  
(INCLUDED IN OVERALL GARDEN AREA)

ADJOINING PROPERTY  
No. 48 GISSING STREET  
DOUBLE STOREY BRICK

ADJOINING PROPERTY  
No. 46 GISSING STREET  
SINGLE STOREY BRICK

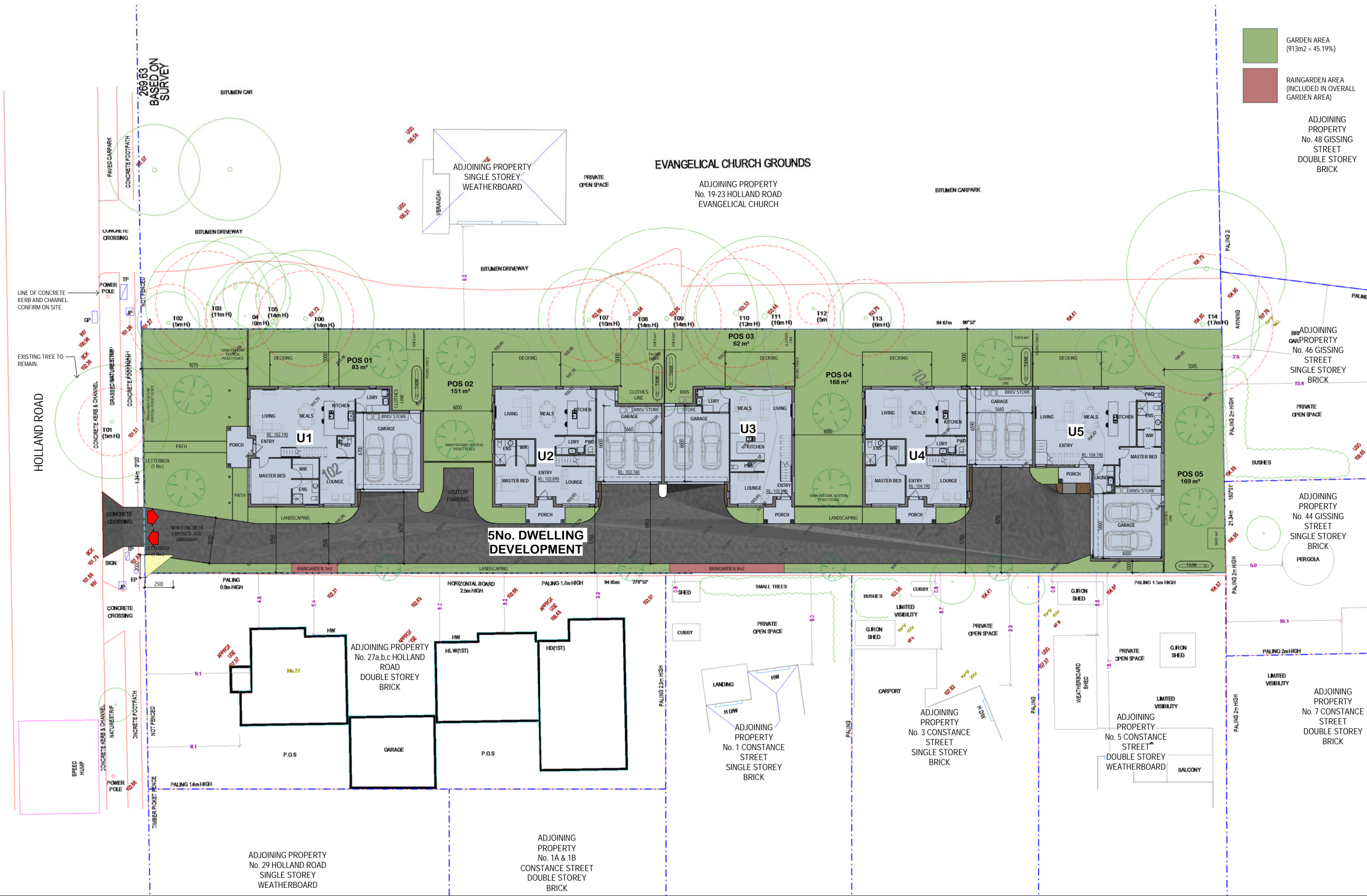
ADJOINING PROPERTY  
No. 44 GISSING STREET  
SINGLE STOREY BRICK

ADJOINING PROPERTY  
No. 7 CONSTANCE STREET  
DOUBLE STOREY BRICK

**EVANGELICAL CHURCH GROUNDS**

ADJOINING PROPERTY  
No. 19-23 HOLLAND ROAD  
EVANGELICAL CHURCH

**5No. DWELLING DEVELOPMENT**



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PROPOSED RESIDENTIAL DEVELOPMENT  
25 HOLLAND ROAD  
BLACKBURN SOUTH, VIC 3130  
GARDEN AREA

Date: 27.06.18 Drawn: DL  
Job No. 2617 Scale: A1:1 : 150

TP A120 A

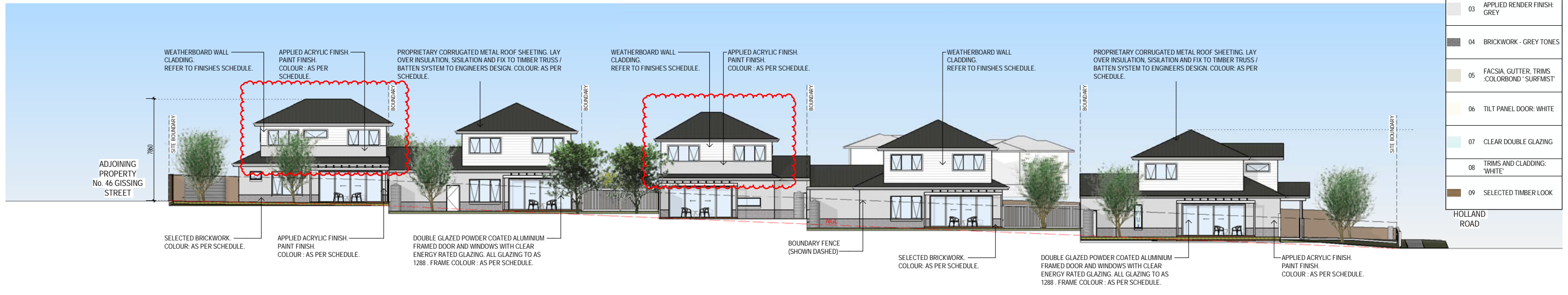
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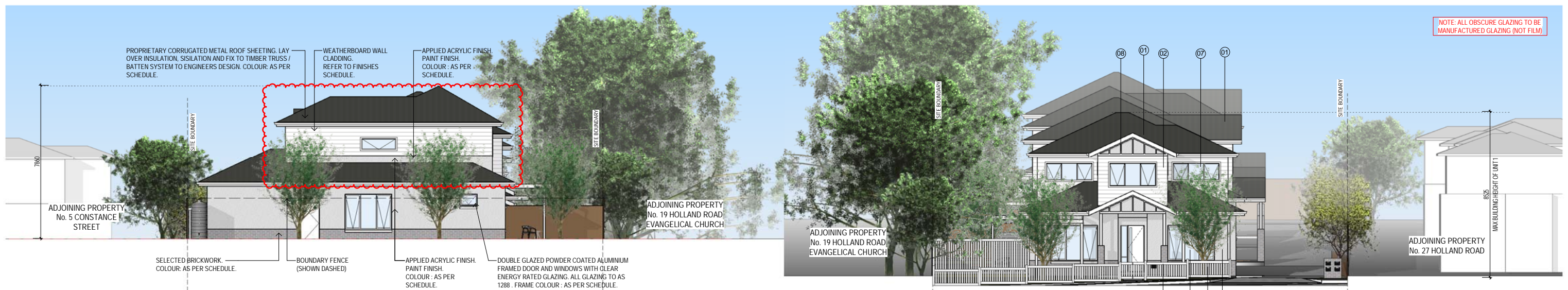


4 SOUTH ELEVATION  
1:150

FINISHES SCHEDULE	
01	METAL ROOF SHEETING: COLORBOND WOODLAND GREY
02	WEATHERBOARD CLADDING: LIGHT GREY
03	APPLIED RENDER FINISH: GREY
04	BRICKWORK - GREY TONES
05	FACIA, GUTTER, TRIMS :COLORBOND 'SURFMIST'
06	TILT PANEL DOOR: WHITE
07	CLEAR DOUBLE GLAZING
08	TRIMS AND CLADDING: WHITE
09	SELECTED TIMBER LOOK



3 NORTH ELEVATION  
1:150



2 EAST ELEVATION  
1:150

1 WEST ELEVATION  
1:150

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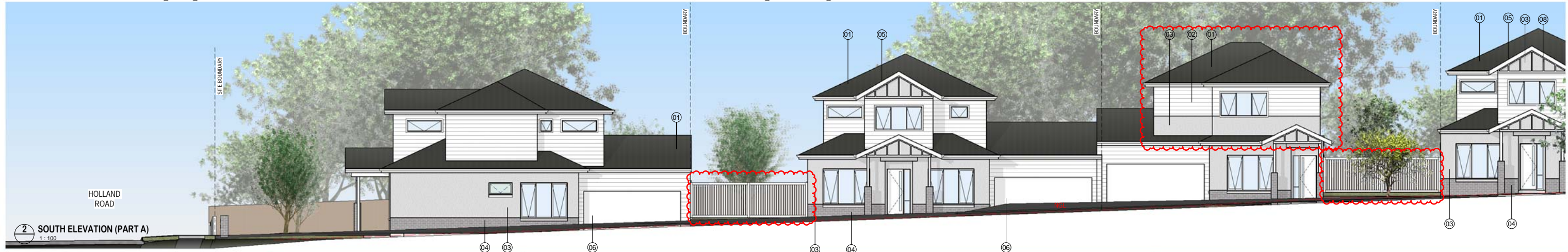
ISSUE	DESCRIPTION	DATE
A	ISSUED FOR TOWN PLANNING	27.6.18
B	RPI RESPONSE	6.9.18

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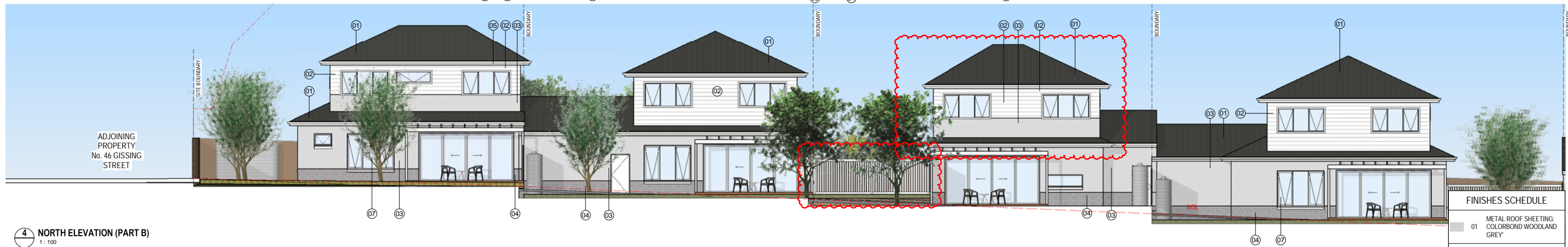
PROPOSED RESIDENTIAL DEVELOPMENT  
25 HOLLAND ROAD  
BLACKBURN SOUTH, VIC 3130  
PROPOSED ELEVATIONS  
Date: 27.06.18 Drawn: DL  
Job No. 2617 Scale: A1As indicated  
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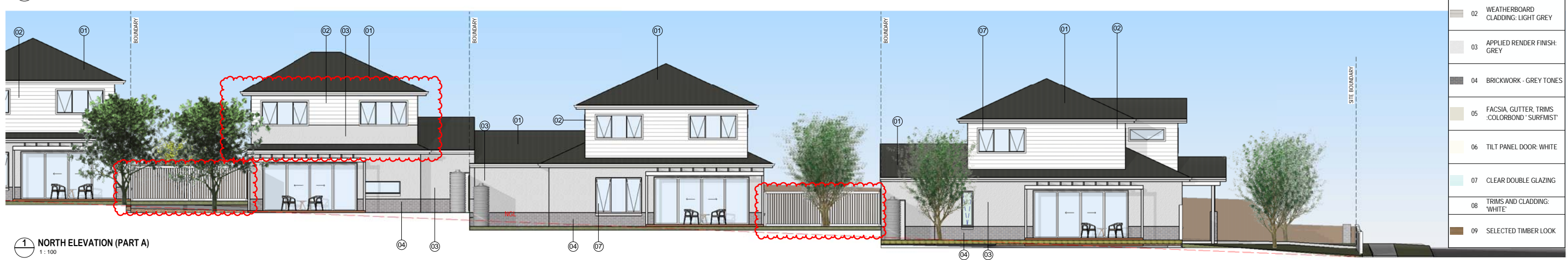
3 SOUTH ELEVATION (PART B)  
1:100



2 SOUTH ELEVATION (PART A)  
1:100



4 NORTH ELEVATION (PART B)  
1:100



1 NORTH ELEVATION (PART A)  
1:100

FINISHES SCHEDULE

01	METAL ROOF SHEETING: COLORBOND WOODLAND GREY
02	WEATHERBOARD CLADDING: LIGHT GREY
03	APPLIED RENDER FINISH: GREY
04	BRICKWORK - GREY TONES
05	FACIA GUTTER TRIMS: COLORBOND 'SURF MIST'
06	TILT PANEL DOOR: WHITE
07	CLEAR DOUBLE GLAZING
08	TRIMS AND CLADDING: 'WHITE'
09	SELECTED TIMBER LOOK

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PROPOSED ELEVATIONS

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Job No. 2617 Scale @ A1 1:100

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2 EAST ELEVATION - ADJOINING VIEW  
1:100

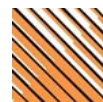
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02	WEATHERBOARD CLADDING: LIGHT GREY
03	APPLIED RENDER FINISH: GREY
04	BRICKWORK - GREY TONES
05	FACIA, GUTTER, TRIMS: COLORBOND SURFMIST
06	TILT PANEL DOOR: WHITE
07	CLEAR DOUBLE GLAZING
08	TRIMS AND CLADDING: WHITE
09	SELECTED TIMBER LOOK



1 WEST ELEVATION - STREET SCAPE  
1:100

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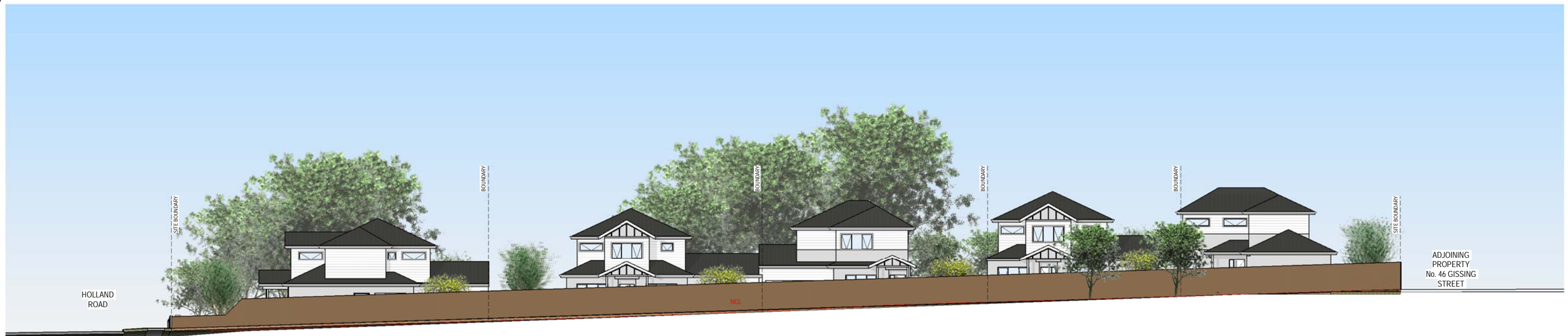
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BLACKBURN SOUTH, VIC 3130  
PROPOSED ELEVATIONS - ADJOINING VIEW

Date: 27.06.18 Drawn: DL  
Job No. 2617 Scale@A1 1:100

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2 SOUTH ELEVATION - ADJOINING VIEW  
1 : 150



1 NORTH ELEVATION - ADJOINING VIEW  
1 : 150

FINISHES SCHEDULE	
01	METAL ROOF SHEETING: COLORBOND WOODLAND GREY
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PROPOSED ELEVATIONS - ADJOINING VIEW

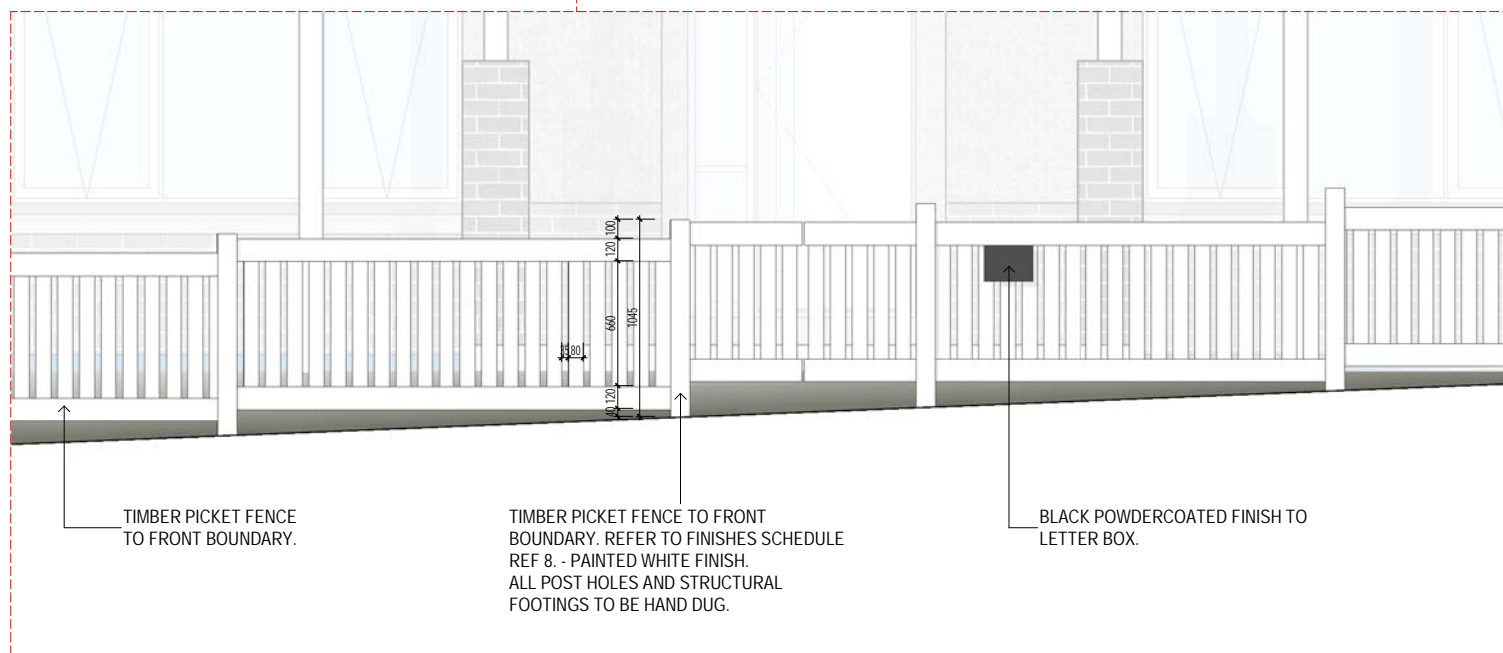
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TP A304 B



2 WEST ELEVATION STREET SCAPE  
1:100



1 WEST ELEVATION - FENCE  
1:20

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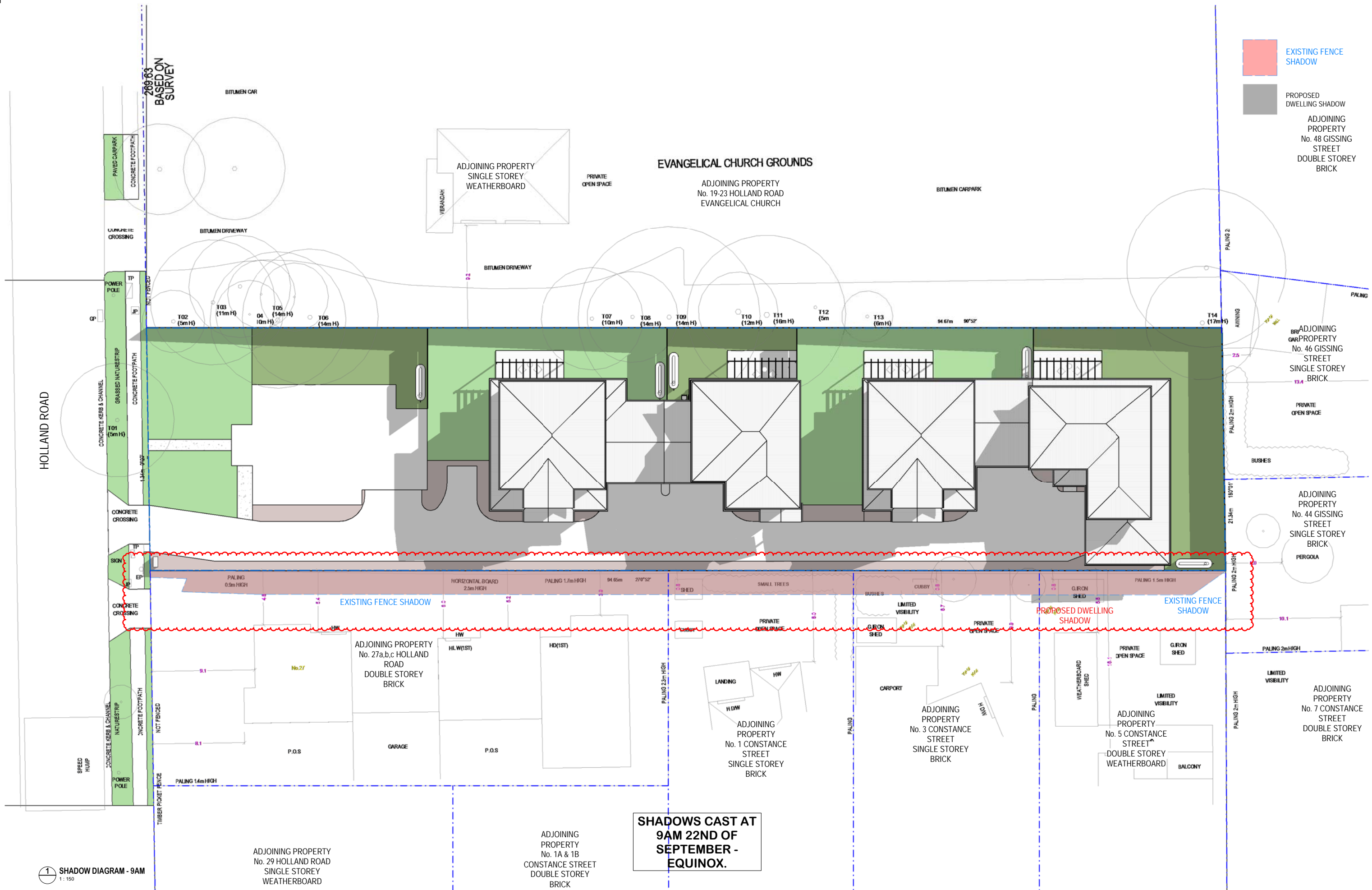
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BLACKBURN SOUTH, VIC 3130  
PROPOSED ELEVATIONS - FENCING

Date: 27.06.18 Drawn: SM  
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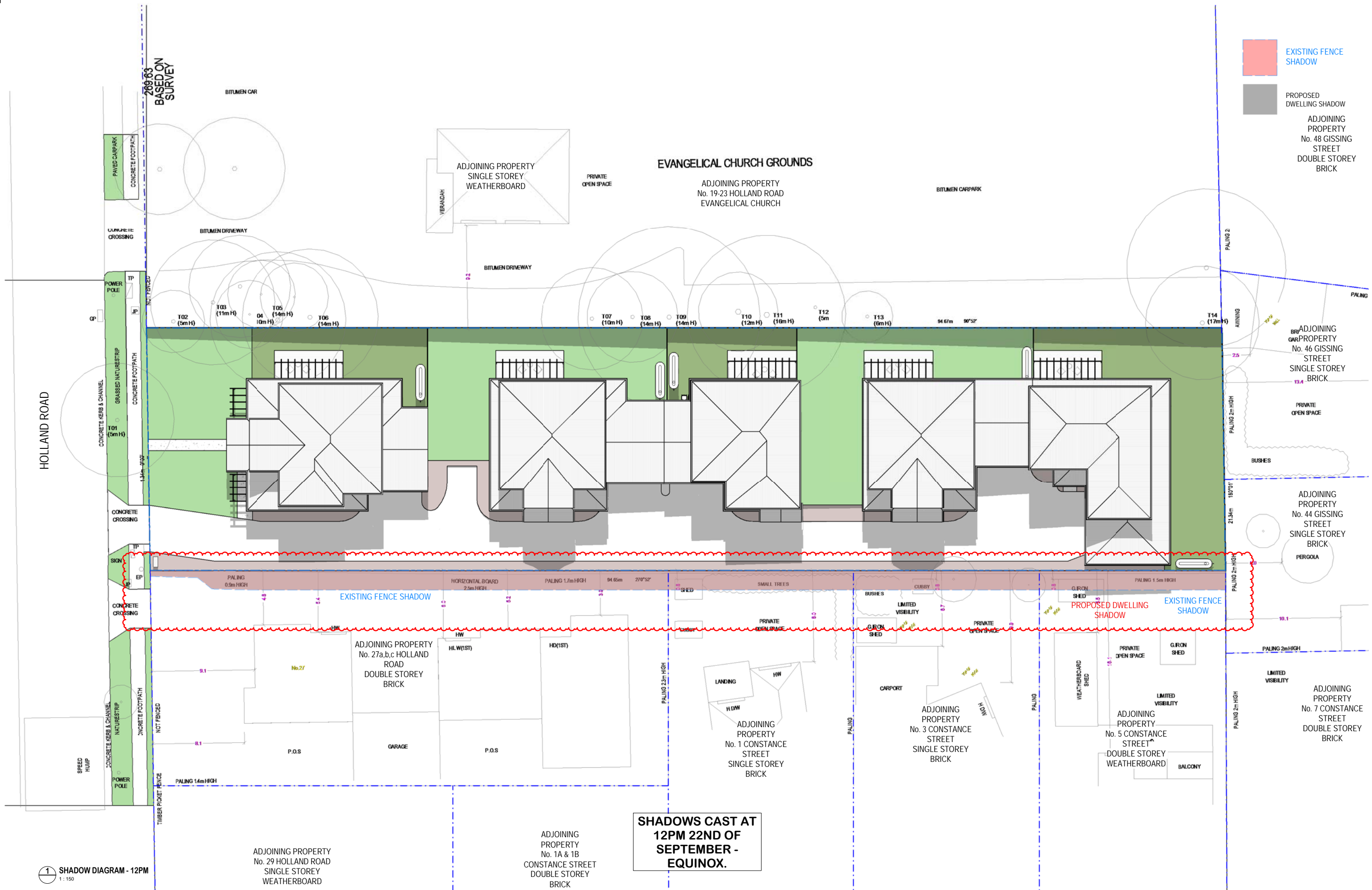


PROPOSED RESIDENTIAL DEVELOPMENT  
25 HOLLAND ROAD  
BLACKBURN SOUTH, VIC 3130  
SHADOW DIAGRAM - 9AM SEPTEMBER EQUINOX

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Job No. 2617 Scale: A1:150

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TP A401 B



EXISTING FENCE SHADOW

PROPOSED DWELLING SHADOW

ADJOINING PROPERTY No. 48 GISSING STREET DOUBLE STOREY BRICK

SHADOW DIAGRAM - 12PM  
1:150

SHADOWS CAST AT 12PM 22ND OF SEPTEMBER - EQUINOX.

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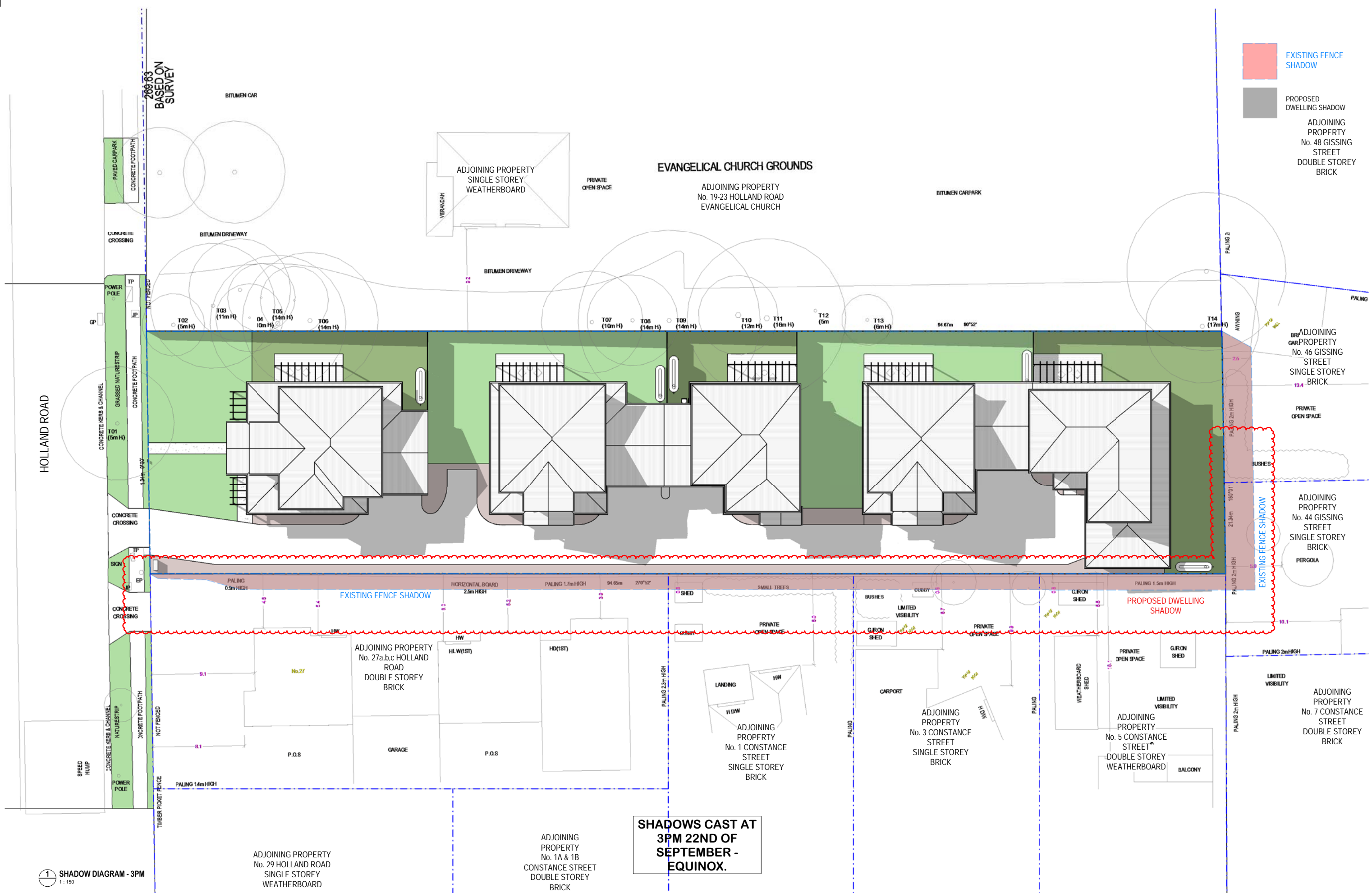


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25 HOLLAND ROAD  
BLACKBURN SOUTH, VIC 3130  
SHADOW DIAGRAM - 12PM SEPTEMBER EQUINOX

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TP A402 B

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1 SHADOW DIAGRAM - 3PM  
1:150

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SHADOW DIAGRAM - 3PM SEPTEMBER EQUINOX  
Date: 27.06.18 Drawn: DL  
Job No. 2617 Scale @ A1:150

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PROPOSED RESIDENTIAL DEVELOPMENT  
 25 HOLLAND ROAD  
 BLACKBURN SOUTH, VIC 3130  
 3D IMAGES 01

Date: 27.06.18 Drawn: DL  
 Job No. 2617 Scale: A1

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PROPOSED RESIDENTIAL DEVELOPMENT  
 25 HOLLAND ROAD  
 BLACKBURN SOUTH, VIC 3130  
 3D IMAGES 02

Date: 27.06.18 Drawn: DL  
 Job No. 2617 Scale@A1

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ADJOINING PROPERTY  
No. 19-23 HOLLAND ROAD  
EVANGELICAL CHURCH



← ADJOINING PROPERTY  
No. 27 HOLLAND ROAD

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BLACKBURN SOUTH, VIC 3130  
3D IMAGES 03

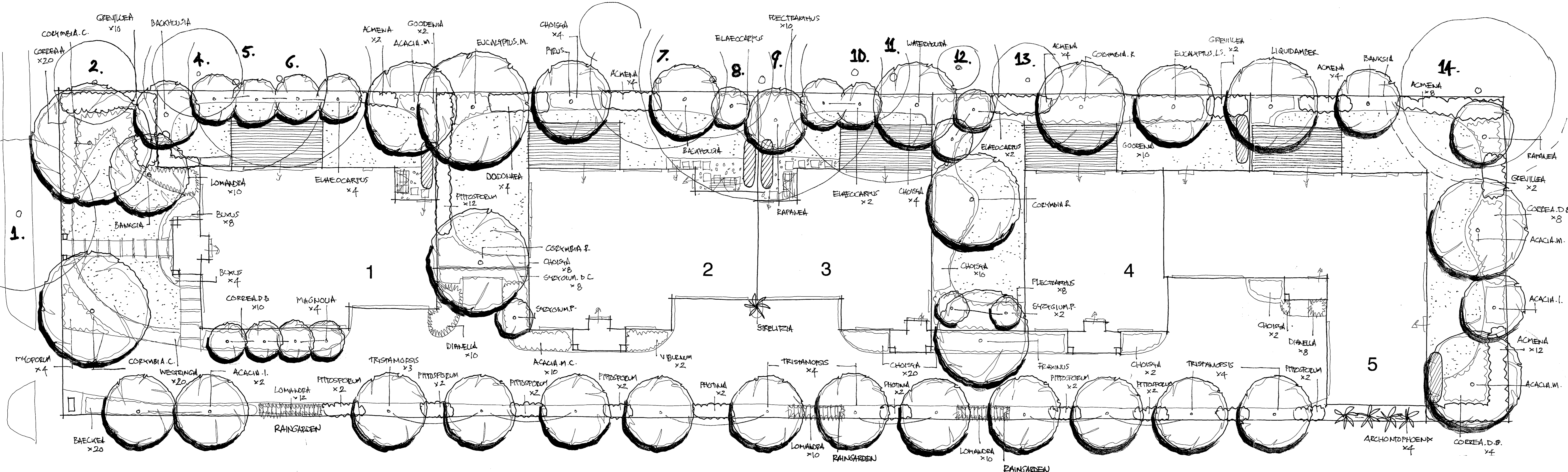
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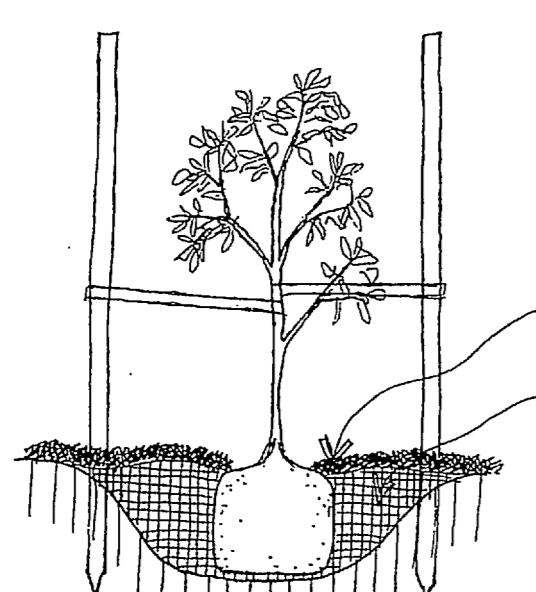
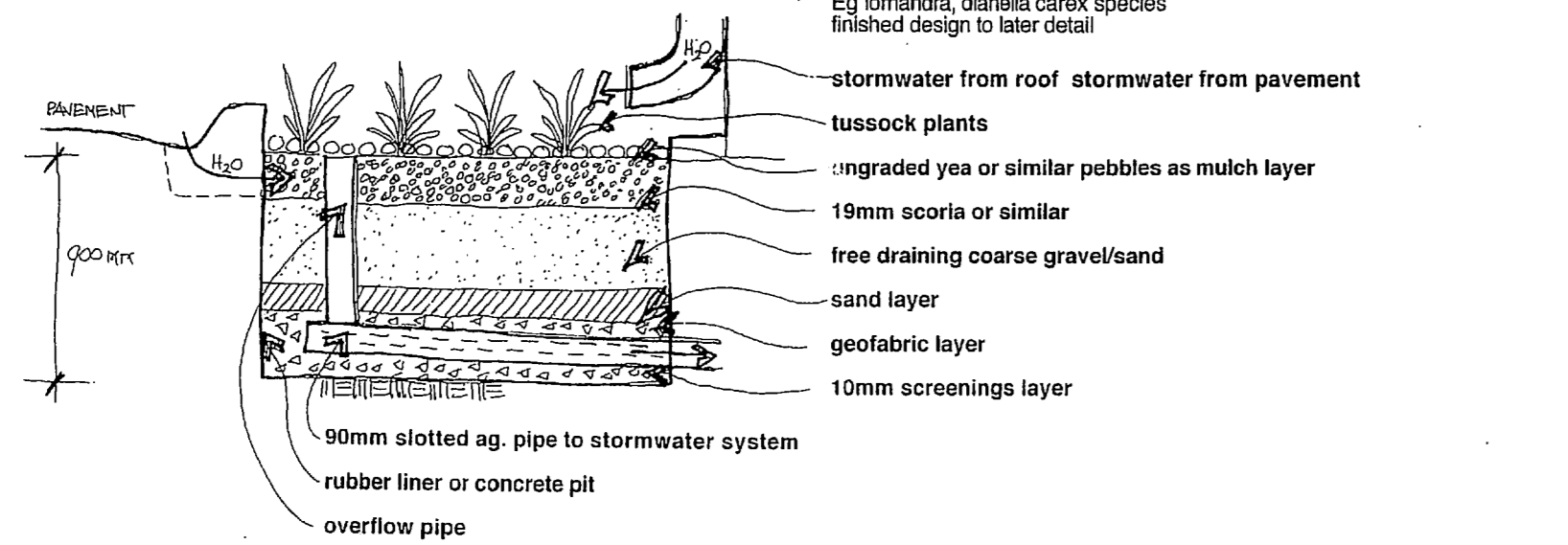
TP A503 B



holland road



**rain garden/biofilter**  
retention pit filled with 10-20mm scoria, coarse and screenings and planted with tussock species able to grow in wet conditions and tolerant of dry periods. Eg Lomandra, Dianella, Carex species  
finished design to later detail



**Planting Schedule**

Botanical Name Common Name Quantity Size\*

**Groundcovers, tussocks, small to medium shrubs**  
(Supply in 150mm pots)

Acacia cognata 'Mini Cog'	Dwarf Acacia	10	0.8x0.8
Acmena 'Hedgemaster'	Hedging Lillypil	36	3x0.8 trimmed
Baeckea virgata 'Dwarf'	Dwarf Baeckea	20	0.4x0.4
Buxus 'Suffruticosa'	Dwarf Box	12	0.4x0.4
Choisya ternata	Mexican Orange Blossom	50	1.2x0.6 trimmed
Correa alba	White Correa	20	0.8x0.8
Correa 'Dusky Belle'	Correa	30	0.8x0.8
Dianella 'Little Rev'	Dianella	18	0.4x0.4
Dodonaea viscosa	Dodonaea	4	2.5x1.2
Goodenia ovata	Hop Goodenia	14	1x1
Grevillea 'Honey Gem'	Grevillea	14	3x1 trimmed
Lomandra 'Tanika'	Lomandra	42	0.6x0.4
Myoporum parvifolium	Creeping Boobialla	4	0.2x0.8
Phloxia 'Rubens'	Phloxia	4	3x1 trimmed
Plectranthus argentatus	Silver Plectranthus	18	0.8x0.8
Syzygium 'Bush Christmas'	Dwarf Lillypil	8	2.5x0.8 trimmed
Viburnum 'Emerald Luster'	Viburnum	2	2x0.8 trimmed
Westringia 'Jervis Gem'	Dwarf Native Rosemary	20	0.6x0.8

**Feature trees, shade trees, large shrubs**  
(supply in 150mm - 200mm pots or as advanced plants 2m high indicated with asterisk\*\*)

Acacia implexa	Lightwood	3	8x5
Acacia melanoxylon	Blackwood	3**	12x6
Archontophoenix cunninghamiana	Bangalow Palm	4	7x2
Baeckea cilirodora	Lemon Scented Myrtle	2	7x4
Banksia integrifolia	Banksia	2**	9x5
Banksia cilirodora	Lemon Scented Gum	2**	15x6
Corymbia maculata 'Ribbons Of Hope'	Spotted Gum Cultivar	3**	14x5
Elaeocarpus reticulatus	Bluesberry Ash	7x3	
Eucalyptus manillana 'Little Spotty'	Dwarf Gum	1**	12x5
Eucalyptus melliodora	Yellow Box	1	15x6
Fraxinus 'Urbanite'	Ash Tree	1	10x6
Liquidambar 'Oakville Highlight'	Upright Liquidambar	1**	14x6
Magnolia 'Ala'	Bright Magnolia	4	5x2
Pittosporum 'Silver Sheen'	Pittosporum	28	3.5x0.8 trimmed
Pyrus c. 'Chanticleer'	Ornamental Pear	1**	12x5
Streptocarpus	Giant Bird of Paradise	1	5x2
Syzygium 'Pinnacle'	Upright Lillypil	3	5x1.2
Tristanopsis laurina 'Luscious'	Kanooka	11**	7x5
Waterhousea floribunda	Lilly pilly	1**	12x5 trimmed

\*height x width average at maturity estimated for this location or maintained by trimming

**notes**

**Existing vegetation**  
Existing trees and shrubs indicated for retention are to be protected in accordance with Australian standards. Refer to arborists report and/or council permit conditions for tree protection and management. Trees should be protected with physical barriers to prevent access within nominated tree protection zones which are to be mulched and irrigated during construction. No trees to be removed without clarification from owner or local council. All tree protection to be in accordance with relevant Australian Standards.

**Garden Beds**  
Cultivate existing soil to 200mm. Re-use site topsoil if suitable or imported garden mix topsoil to provide minimum 100mm of topsoil to garden beds. Spread 75mm layer of 10mm pine bark mulch.

**Irrigation**  
Low water use drip system with programmable timers connected to rainwater storage tanks or water mains. Irrigation must be used in compliance with current water restrictions.

**Fences**

Refer to architectural plans

**Drainage**

Refer to architectural or engineering plans for stormwater and drainage pit locations. All paved areas in rear gardens are to have a grade of 2.5% minimum, away from buildings. All grades, levels and drainage to comply with relevant building codes and council planning requirements.

**Services**

Contractors are to determine the location of all underground and overhead services prior to construction. Any services, pits, etc illustrated on this plan are indicative only and are to be checked with architectural and engineering plans.

**Building Structures**

The use of this plan and planting of trees, shrubs, etc as specified may require the provision of root control barriers or specifically engineered foundations or similar method of controlling root growth to avoid intrusion into adjacent areas or building foundations. A qualified consultant should advise on foundation design and/or barriers (physical or chemical) as appropriate.

**key**

**lawn**

drought tolerant, non - invasive species seeded or turf on 50mm topsoil or use mulch or pebbles as substitute during drought periods.

**garden edging**

70x19mm treated pine

**pebbles/tuscan toppings**

50mm compacted or 60mm loose layer of selected sustainably sourced water worn pebbles such as 'yea' or 'torquay' pebbles or toppings as path.

**decking**

as per architectural plans.

**path**

paving or concrete as selected

500x500mm concrete pavers as stepping stones

**driveway**

asphalt or concrete as per architectural plans or as selected

**fence**

refer to architectural plans

**water tanks**

refer to architectural and drainage engineering plans

**existing trees**

trees to be retained. refer to arborists report for details

**raingarden**

refer to architectural and drainage engineering plans

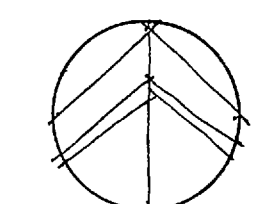
**Site Preparation and Maintenance notes**

All weeds to be removed from site by physical removal or spraying with glyphosate based herbicide. Existing soil should be improved by the addition of organic matter and light cultivation only to break up any compaction. No cultivation within driplines of existing retained trees on site or adjacent areas. Areas of possible contamination with paint, oil or any other materials used on site are to be removed and replaced with topsoil from a sustainable source and approved for use on site. Areas requiring topsoil to ensure levels or for plant growth are to be spread with approved soil previously stockpiled on site or from quality controlled and sustainable source.

Irrigation is to be in accordance with current water restrictions and weather conditions generally 10 minutes every second day during establishment period (6 months) and during dry summer periods if required. Programmable irrigation systems are to be low water use drippers and sprays as appropriate and designed by irrigation supplier or consultant.

Weeding and trimming every 14 - 21 days. Plant replacement as required during establishment period of 6 months or longer as required by permit conditions. All plants to be pruned/shaped to appropriate size on an ongoing basis. Mulch levels to be maintained at 75mm.

**landscape plan**



project: 25 holland road, blackburn south

client:

scale: 1:100 B1 date: june 2018 sheet: 1 of 1 issue B

**habitat**

landscape and environmental design consultants 9836 1272

this plan is intended as a layout and planting guide only. all dimensions, locations, etc are to be checked and verified on site. Refer to architectural and engineering plans and permit conditions. habitat accepts no responsibility or liability as a result of errors or omissions on this plan