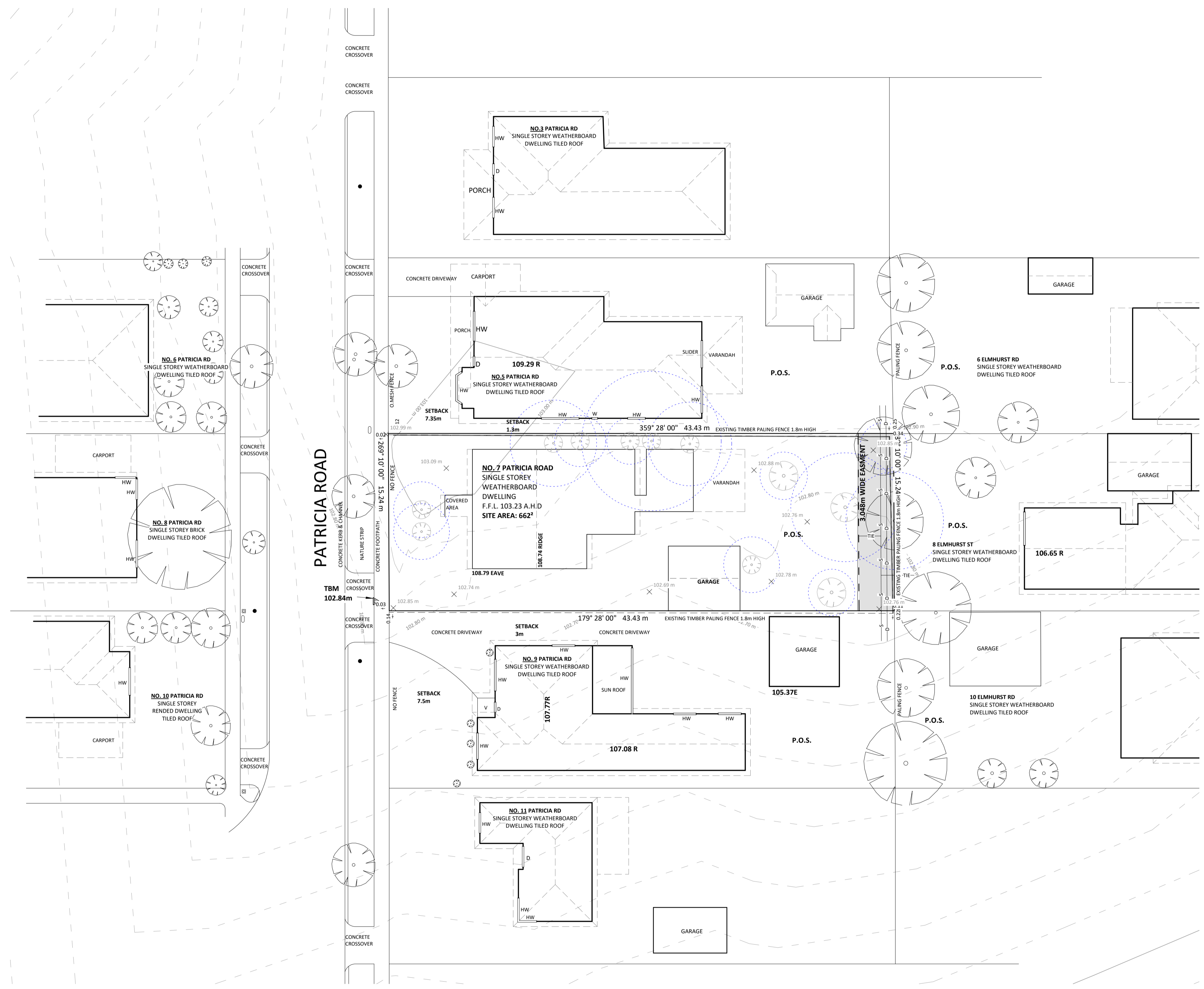


LEGEND	
[Symbol]	SW PROPERTY INLET
[Symbol]	SIDE ENTRY PIT
[Symbol]	SEWER MANHOLE
[Symbol]	ELEC. POLE
[Symbol]	ELEC. PIT
[Symbol]	PIT
[Symbol]	TELECOM PIT
[Symbol]	EXISTING TREE
[Symbol]	STREET SIGN
[Symbol]	T.B.M.
[Symbol]	GAS METER
[Symbol]	WATER METER
[Symbol]	HYDRANT
[Symbol]	POLE & LIGHT
[Symbol]	TREE PROTECTION ZONE (TPO)
[Symbol]	HABITABLE ROOM WINDOW
[Symbol]	FR. HEAD
[Symbol]	S. SILL
[Symbol]	W WINDOW
[Symbol]	D DOOR
[Symbol]	H.L. HIGHLIGHT WINDOW
[Symbol]	ELECTRICAL POWERLINES OVERHEAD
[Symbol]	TELEPHONE LINES OVERHEAD
[Symbol]	SEWER PIPE LOCATED IN THE EASEMENT OF PROPERTY TO NORTH. DEPTH & OFFSET TO BE CONFIRMED ON SITE
[Symbol]	STORMWATER DRAINAGE PIPE LOCATED IN THE EASEMENT OF PROPERTY TO NORTH. DEPTH & OFFSET TO BE CONFIRMED ON SITE
[Symbol]	DIRECTION FROM BOUNDARY TO OCCUPATION
[Symbol]	DISTANCE FROM BOUNDARY TO OCCUPATION
[Symbol]	FENCING LINE AS NOTATED

PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME
 20/07/2018
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ABBREVIATIONS	
D	CLOTHES DRYER
PAN	TOILET PAN
V.B	VARIETY BASIN
SH	SHOWER
POS	PRIVATE OPEN SPACE
S	SINK
D.P	DOWN PIPE
R.W	RAIN WATER HEAD
W.R	WALK IN ROBE
REF.	REFRIGERATOR
F	FAN
SA	SMOKE ALARM
TR	LAUNDRY TROUGH
W/M	WASHING MACHINE
CT	COOKTOP
EM	ELECTRICITY METER
F.B	FRESHWATER BASIN
HWS	HOT WATER SERVICE
M.S	MIS. DOWN DRAIN
F.O	FROM OPENABLE WINDOW/SHOWER DOOR
L.B	LETTER BOX
C.L	CLOTHES LINE
R.W.T	RAIN WATER TANK TO SUPPLY SANITARY FLUSHING SYSTEM
P.F	PANTRY
L.D	LAUNDRY
H.B	HAND BASIN
W.O	WALL OVEN
A.J	ARTICULATION JOINT
S.D	SERVICE DUCTS
G.D	GLASS DOOR
D.W	DISH WASHER



Existing Neighbourhood & Site Context Plan
 1 : 200

ISSUE	REVISION DESCRIPTION	DATE
A	CONCEPTS	06/04/2018
B	TOWN PLANNING	18/04/2018
C	FURTHER INFO. RESPONSE 1	28/04/2018

NOTATIONS:
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 * Only habitable room windows have been located
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 * Tree Heights are indicative only
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 e: info@ikbd.com.au

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Project Name:
TOWN PLANNING

Project Address:
**7 PATRICIA ROAD,
 BLACKBURN**

Sheet Name:
**Neighbourhood &
 Site Context Plan**

Checked:
Jim Kromidas

Drawn:
Harry Mangavilas

Date:
28/06/2018

Scale:
As indicated

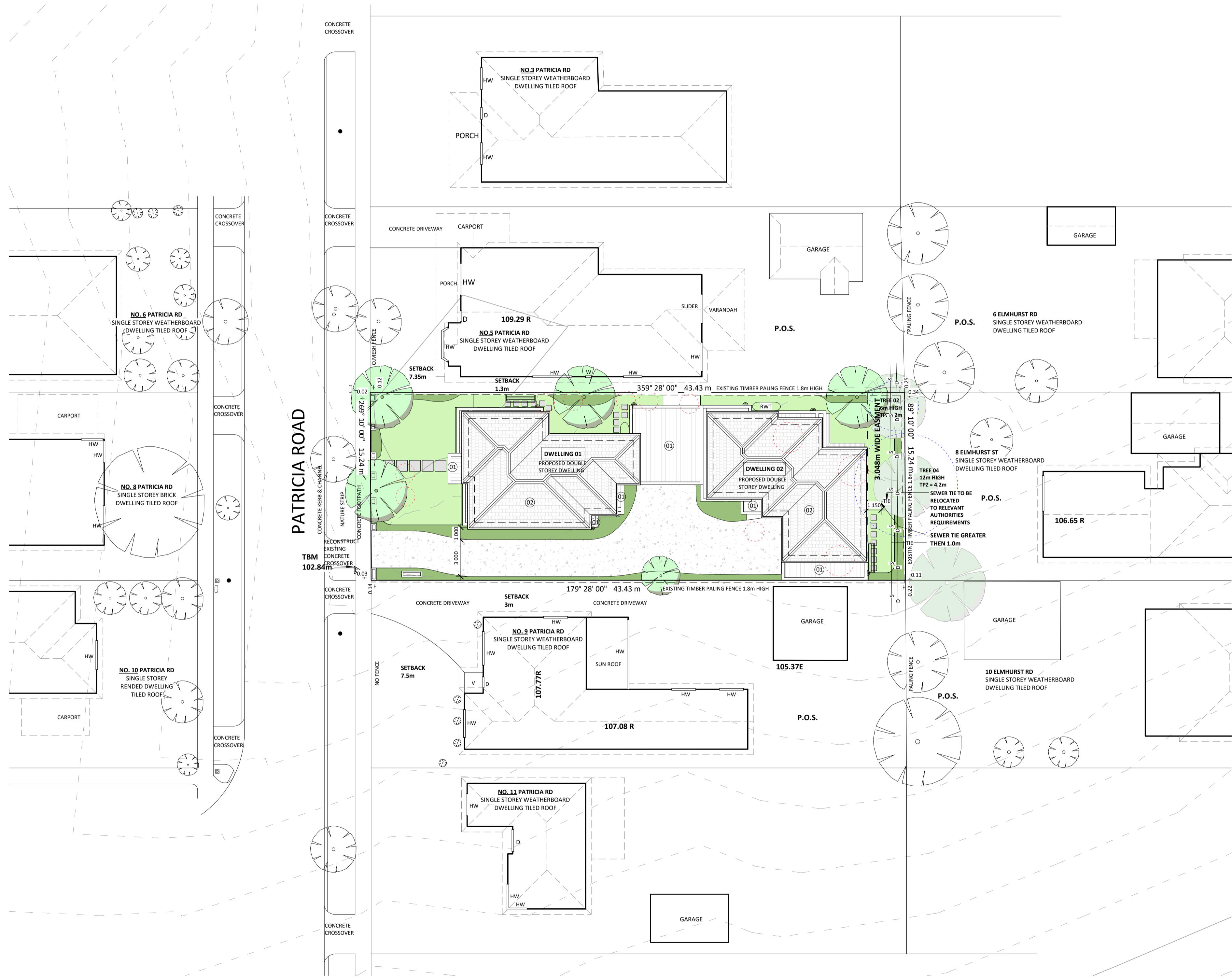
Rev: **C**

Sheet: **TP 01**

Job Number:
17 048

- LEGEND**
- S/W PROPERTY BLET
 - SIDE ENTRY FIT
 - SEWER MANHOLE
 - ELEC. POLE
 - ELEC. PIT
 - PIT
 - TELECOM FIT
 - EXISTING TREE
 - STREET SIGN
 - T.B.M.
 - GAS METER
 - WATER METER
 - ELECTRICAL METER
 - HYDRANT
 - POLE & LIGHT
 - SMOKE ALARM
 - EXHAUST FAN
 - ARTICULATION JOINT
 - NEW REINFORCED ALL WEATHER COLOURED CONCRETE SEACOT OR SIMILAR TO ENGINEER'S DETAILS.
 - PROPOSED SHRUBS / HEDGES
 - PROPOSED CANOPY TREES AND LANDSCAPE DESIGN REFER TO APPROVED LANDSCAPE PLANS.
 - EXISTING CANOPY TREES (RETAINED) REFER TO APPROVED LANDSCAPE PLANS.
 - PROPOSED STONE PAVING AS PER LANDSCAPING PLAN
 - PROPOSED PLANTS
 - GARDEN AREA SPACE
 - LANDSCAPE AREA
 - BIN STORAGE
 - PAVERS / TILES SUPPLIED AND Laid BY BUILDER
 - WET AREA TILES SUPPLIED AND Laid BY BUILDER
 - TREE PROTECTION ZONE (TPZ)
 - TREE REMOVED

PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME
 20/07/2018
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ABBREVIATIONS

D.	CLOTHES DRYER	WWS	WATER SERVICE
PAN	TOILET PAN	W	WALL
V.B.	VARIETY BASIN	W.O.	WALL OVEN
SH	SHOWER	W.O.D.	WALL OVEN DUCT
POK	PRIVATE OPEN SPACE	W.W.	WATER WORKS
S.	SINK	W.W.M.	WATER MAIN
S.P.	DOWN PIPE	W.W.P.	WATER PUMP
R.W.H.	RAIN WATER HEAD	W.W.T.	WATER TANK
W.A.N.	WALK IN ROBE	W.W.T.	WATER TANK
REF.	REFRIGERATOR	W.W.T.	WATER TANK
E.F.	EXHAUST FAN	W.W.T.	WATER TANK
S/A	SMOKE ALARM	W.W.T.	WATER TANK
TR	LANDRNY THROUGH	W.W.T.	WATER TANK
W/M	WASHING MACHINE	W.W.T.	WATER TANK
CT	COOKTOP	W.W.T.	WATER TANK
EM	ELECTRICITY METER	W.W.T.	WATER TANK
F.B.	FREESTANDING BASIN	W.W.T.	WATER TANK

DEVELOPMENT SCHEDULE

Name	%	Area
SITE AREA - TOTAL		562 m ²
PR - BUILDING SITE COVERAGE	42.4%	281 m ²
PR - BUILDING SITE COVERAGE & HARD SURFACE	62.9%	417 m ²
PR - PERMEABLE AREA	37.0%	245 m ²
PR - GARDEN SPACE AREA	35.0%	232 m ²
PR - DRIVEWAY		135 m ²
DW1 - GROUND FLOOR		89 m ²
DW1 - FIRST FLOOR		89 m ²
DW1 - GARAGE		37 m ²
DW1 - PORCH		4 m ²
DW1 - DECKING		5 m ²
DW1 - P.O.S.		25 m ²
DW1 - SERVICES		14 m ²
DW1 - COVERED		6 m ²
DW1 - OPEN SPACE		88 m ²
DW1 - TOTAL OPEN SPACE		137 m ²
DW2 - GROUND FLOOR		92 m ²
DW2 - FIRST FLOOR		92 m ²
DW2 - GARAGE		40 m ²
DW2 - PORCH		3 m ²
DW2 - DECKING		5 m ²
DW2 - P.O.S.		67 m ²
DW2 - SERVICES		12 m ²
DW2 - TOTAL OPEN SPACE		79 m ²

RESCODE DESIGN RESPONSE

OPEN SPACE AREAS PROVIDE A USABLE AND PRACTICAL INTEGRATION WITH THE LAYOUT OF THE DEVELOPMENT.

THE DEVELOPMENT PROVIDES ADEQUATE PRIVATE OPEN SPACE FOR THE RECREATION AND SERVICE NEEDS OF THE RESIDENTS.

THE PROPOSAL PROVIDES FOR CONVENIENT, SAFE AND EFFICIENT VEHICLE MOVEMENT.

HIGH FENCING AND SCREENS AROUND BOUNDARY PERIMETER LIMITS VIEWS INTO SECLUDED PRIVATE OPEN SPACE AND HABITABLE ROOM WINDOWS.

PROPOSAL PROVIDED LARGE AREAS OF GRASS AND LANDSCAPING TO REDUCE THE BURDEN ON EXISTING UTILITY SERVICES AND INFRASTRUCTURE.

HEIGHT OF THE DWELLING RESPECTS THE EXISTING NEIGHBOURHOOD CHARACTER.

SITE COVERAGE RESPECTS THE CHARACTER AND RESPONDS TO THE FEATURES OF THE SITE.

THE DEVELOPMENT ACHIEVES A SIX STAR ENERGY RATING.

THE SETBACK OF THE PROPOSAL ENSURES THAT THE DEVELOPMENT RESPECTS THE NEIGHBOURHOOD CHARACTER.

LANDSCAPING WILL ENCOURAGE THE DEVELOPMENT OF PLANTS ON THE SITE.

1 Design Response
 1 : 200

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A	CONCEPTS	06/04/2018
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Project Name:
TOWN PLANNING

Project Address:
**7 PATRICIA ROAD,
 BLACKBURN**

Sheet Name:
Design Response

Checked:
Jim Kromidas

Drawn:
Harry Mangavilas

Date:
28/06/2018

Scale:
As indicated

Rev: **C**

Sheet: **TP 02**

Job Number:
17 048

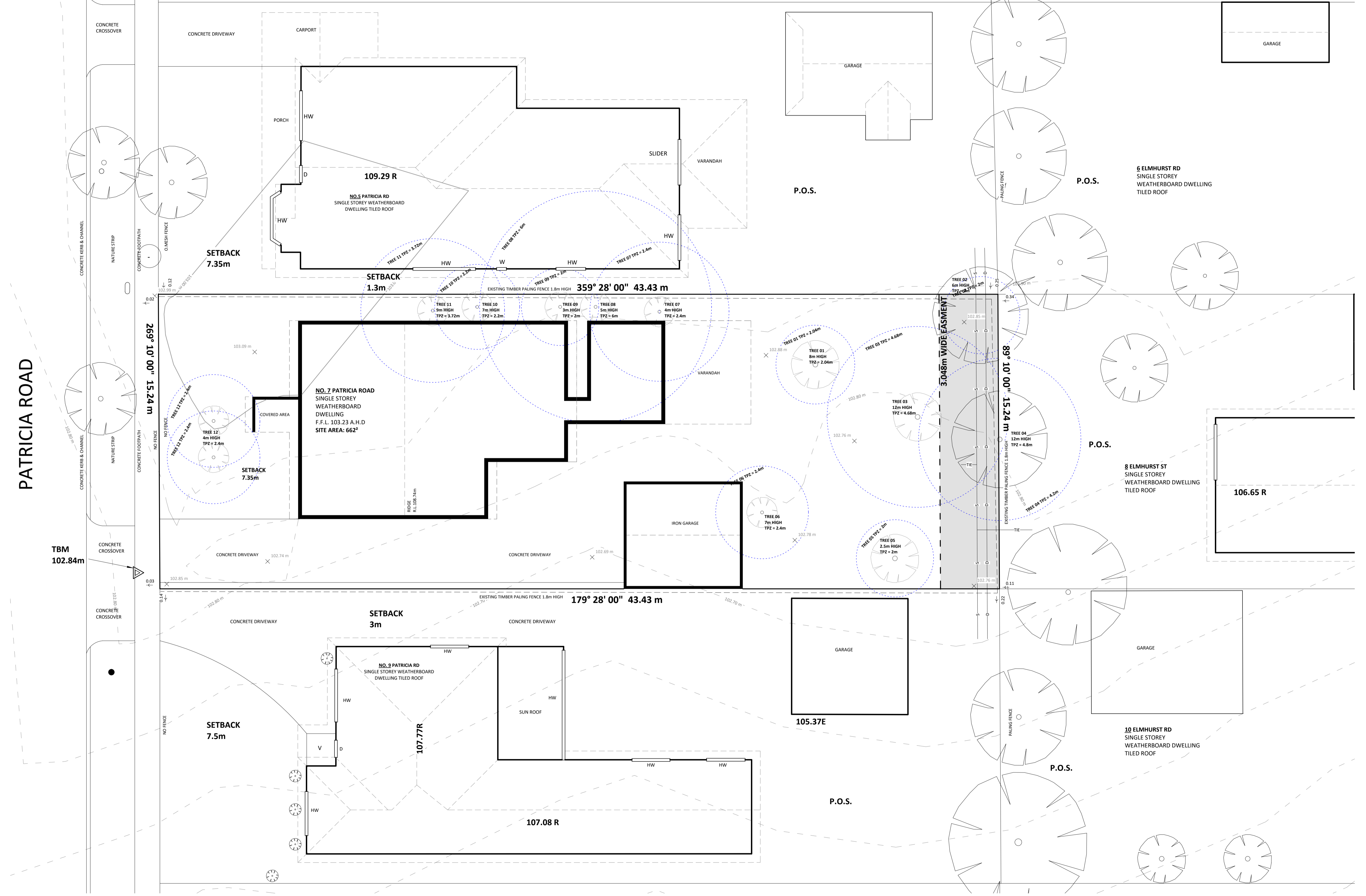
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[Symbol]	SIDE ENTRY PIT
[Symbol]	SEWER MANHOLE
[Symbol]	ELEC. POLE
[Symbol]	ELEC. PIT
[Symbol]	PIT
[Symbol]	TELECOM PIT
[Symbol]	EXISTING TREE
[Symbol]	STREET SIGN
[Symbol]	T.A.M.
[Symbol]	GAS METER
[Symbol]	WATER METER
[Symbol]	HYDRANT
[Symbol]	POLE & LIGHT
[Symbol]	TREE PROTECTION ZONE (TPZ)
[Symbol]	HW HABITABLE ROOM WINDOW
[Symbol]	R HEAD
[Symbol]	S SILL
[Symbol]	W WINDOW
[Symbol]	D DOOR
[Symbol]	HL HIGHLIGHT WINDOW
[Symbol]	ELECTRICAL POWERLINES OVERHEAD
[Symbol]	TELEPHONE LINES OVERHEAD
[Symbol]	SEWER PIPE LOCATED IN THE EASEMENT OF PROPERTY TO NORTH, SOUTH & OFFSET TO BE CONFIRMED ON SITE
[Symbol]	STORMWATER DRAINAGE PIPE LOCATED IN THE EASEMENT OF PROPERTY TO NORTH, SOUTH & OFFSET TO BE CONFIRMED ON SITE
[Symbol]	DIRECTION FROM BOUNDARY TO OCCUPATION
[Symbol]	0.01 DISTANCE FROM BOUNDARY TO OCCUPATION
[Symbol]	FENCING LINE AS NOTATED

PLANNING AND ENVIRONMENT ACT 1987
WHITEHORSE PLANNING SCHEME

20/07/2018

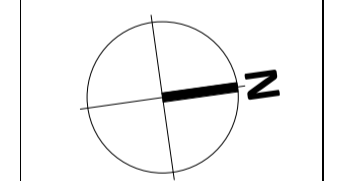
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Project Name:
TOWN PLANNING

Project Address:
**7 PATRICIA ROAD,
BLACKBURN**

Sheet Name:
**Existing Conditions
Plan**

Checked:
Jim Kromidas

Drawn:
Harry Mangavilas

Date:
28/06/2018

Scale: **1 : 100** Rev: **C**

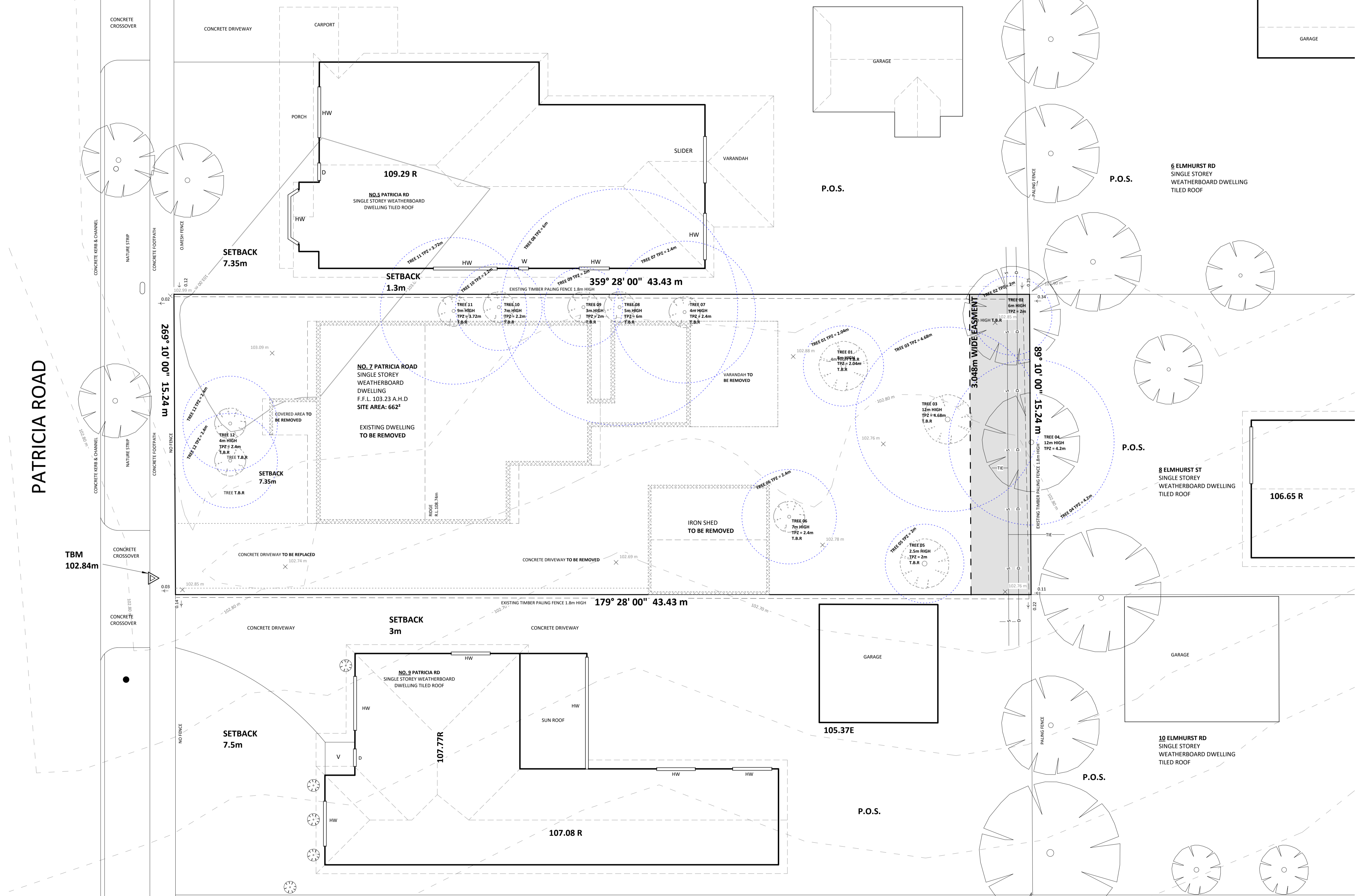
Sheet: **TP 03**

Job Number:
17 048

1 Existing Condition Plan
1 : 100

LEGEND	
	S/W PROPERTY INLET
	SIDE ENTRY PIT
	SEWER MANHOLE
	ELEC. POLE
	ELEC. PIT
	PIT
	TELECOM PIT
	EXISTING TREE
	STREET SIGN
	T.B.M.
	GAS METER
	WATER METER
	HYDRANT
	POLE & LIGHT
	TREE PROTECTION ZONE (TPZ)
	HABITABLE ROOM WINDOW
	WINDOW
	DOOR
	HIGHLIGHT WINDOW
	ELECTRICAL POWERLINES OVERHEAD
	TELEPHONE LINES OVERHEAD
	SEWER PIPE LOCATED IN THE EASEMENT OF PROPERTY TO NORTH, SOUTH & OFFSET TO BE CONFIRMED ON SITE
	STORMWATER DRAINAGE PIPE LOCATED IN THE EASEMENT OF PROPERTY TO NORTH, SOUTH & OFFSET TO BE CONFIRMED ON SITE
	DIRECTION FROM BOUNDARY TO OCCUPATION
	0.01 DISTANCE FROM BOUNDARY TO OCCUPATION
	FENCING FENCELINE AS NOTATED
	GENERAL DEMOLITION NOTES
	EXISTING FENCE FOOTPRINT
	EXISTING ELECTRICAL LINE TO BE REPLACED AS IN GROUND SUPPLY AS PER AUSTRALIAN STANDARDS
	EXISTING GAS METER TO BE RELOCATED TO FRONT OF SITE WITH EXISTING WATER METER
	EXISTING CONCRETE CROSSOVER TO BE RELOCATED TO PROPOSED LOCATION ON SITE PLAN
	T.B.M. - TO BE REMOVED
	EXTERNAL EXTENT OF EXISTING BUILDING WALLS TO BE REMOVED
	EXISTING FEATURES TO BE REMOVED
	EXISTING TREE T.B.R.

PLANNING AND ENVIRONMENT ACT 1987
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Project Name:
TOWN PLANNING

Project Address:
7 PATRICIA ROAD, BLACKBURN

Sheet Name:
Demolition Plan

Checked:
Jim Kromidas

Drawn:
Harry Mangavilas

Date:
28/06/2018

Scale: **1 : 100** Rev: **C**

Sheet: **TP 05**

Job Number:
17 048

1 Demolition Plan
 1 : 100

LEGEND

- S/W PROPERTY BUILT
- SIDE ENTRY PIT
- SEWER MANHOLE
- ELEC. POLE
- ELEC. PIT
- PIT
- TELECOM PIT
- EXISTING TREE
- STREET SIGN
- T.B.M.
- GAS METER
- WATER METER
- ELECTRICAL METER
- HYDRANT
- POLE & LIGHT
- SMOKE ALARM
- EXHAUST FAN
- ARTICULATION JOINT
- NEW REINFORCED ALL WEATHER COLOURED CONCRETE SEACOTAT OR SIMILAR TO ENGINEER'S DETAILS.
- PROPOSED SHRUBS / HEDGES
- PROPOSED CANOPY TREES AND LANDSCAPE DESIGN REFER TO APPROVED LANDSCAPE PLANS.
- EXISTING CANOPY TREES (REINFORCED) REFER TO APPROVED LANDSCAPE PLANS.
- PROPOSED STONE PAVING AS PER LANDSCAPING PLAN
- PROPOSED PLANTS
- GARDEN AREA SPACE
- LANDSCAPE AREA
- BIN STORAGE
- PAVERS / TILES SUPPLIED AND Laid BY BUILDER
- NET AREA TILES SUPPLIED AND Laid BY BUILDER
- TREE PROTECTION ZONE (TPZ)
- TREE REMOVED
- HW HABITABLE ROOM WINDOW
- W WINDOW
- D DOOR
- HL HIGHLIGHT WINDOW
- E ELECTRICAL POWERLINES OVERHEAD
- TELEPHONE LINES OVERHEAD
- SEWER PIPE LOCATED IN THE EASEMENT OF PROPERTY TO NORTH DEPTH & OFFSET TO BE CONFIRMED ON SITE.
- STORMWATER DRAINAGE PIPE LOCATED IN THE EASEMENT OF PROPERTY TO NORTH DEPTH & OFFSET TO BE CONFIRMED ON SITE.
- DIRECTION FROM BOUNDARY TO OCCUPATION
- 0.01 DISTANCE FROM BOUNDARY TO OCCUPATION
- PAVING FENCIBLE AS NOTATED

ABBREVIATIONS

D.	CLOTHES DRYER	HW	HABITABLE ROOM WINDOW
PAN	TOILET PAN	W	WINDOW
V.B	VARIETY BASIN	D	DOOR
SH	SHOWER	HL	HIGHLIGHT WINDOW
POS	PRIVATE OPEN SPACE	E	ELECTRICAL POWERLINES OVERHEAD
LB	LETTER BOX	T	TELEPHONE LINES OVERHEAD
S	SINK	S	SEWER PIPE LOCATED IN THE EASEMENT OF PROPERTY TO NORTH DEPTH & OFFSET TO BE CONFIRMED ON SITE.
SP	DOWN PIPE	ST	STORMWATER DRAINAGE PIPE LOCATED IN THE EASEMENT OF PROPERTY TO NORTH DEPTH & OFFSET TO BE CONFIRMED ON SITE.
R.W.H	RAIN WATER HEAD	D	DIRECTION FROM BOUNDARY TO OCCUPATION
W.H	WALK IN ROBE	0.01	0.01 DISTANCE FROM BOUNDARY TO OCCUPATION
REF.	REFRIGERATOR	P	PAVING FENCIBLE AS NOTATED
E.F.	EXHAUST FAN		
S/A	SMOKE ALARM		
TR	LANDING THROUGH		
W/M	WASHING MACHINE		
CT	COOKTOP		
EM	ELECTRICITY METER		
F.B	FREESTANDING BASIN		
W.S.	WATER SERVICE MAN 500MM AWAY FROM OPENINGS		
W.S.A	WINDOW SASH OR DOOR LETTER BOX		
CL	CLOTHES LINE		
FWT	RAIN WATER FANS TO SUPPLY SANITARY FLUSHING SYSTEM		
PTRY	PANTRY		
L	LAUNDRY		
H.B	HAND BASIN		
W.O	WALL OVEN		
A.J	ARTICULATION JOINT		
S.D	SERVICE DUCTS		
G.D	GLASS DOOR		
D.W.	DISH WASHER		

DEVELOPMENT SCHEDULE

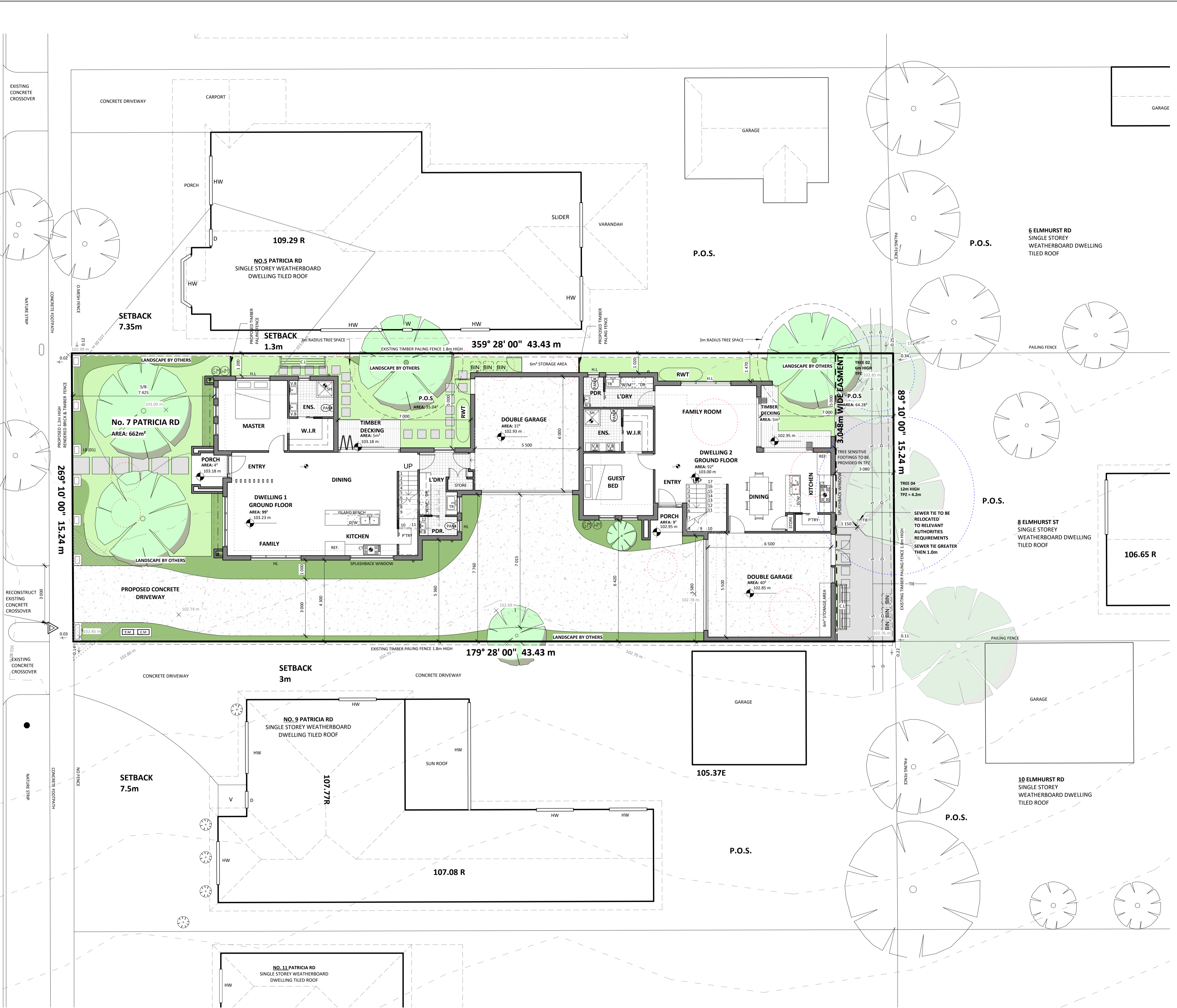
Name	%	Area
SITE AREA - TOTAL		562 m ²
PR - BUILDING SITE COVERAGE	42.4%	281 m ²
PR - BUILDING SITE COVERAGE & HARD SURFACE	62.9%	417 m ²
PR - PERMEABLE AREA	37.0%	245 m ²
PR - GARDEN SPACE AREA	35.0%	232 m ²
PR - DRIVEWAY		135 m ²
DW1 - GROUND FLOOR		99 m ²
DW1 - FIRST FLOOR		89 m ²
DW1 - GARAGE		37 m ²
DW1 - PORCH		4 m ²
DW1 - DECKING		5 m ²
DW1 - P.O.S		35 m ²
DW1 - SERVICES		14 m ²
DW1 - COVERED		6 m ²
DW1 - OPEN SPACE		84 m ²
DW1 - TOTAL OPEN SPACE		137 m ²
DW2 - GROUND FLOOR		92 m ²
DW2 - FIRST FLOOR		92 m ²
DW2 - GARAGE		40 m ²
DW2 - PORCH		3 m ²
DW2 - DECKING		5 m ²
DW2 - P.O.S		67 m ²
DW2 - SERVICES		12 m ²
DW2 - TOTAL OPEN SPACE		79 m ²

PLANNING AND ENVIRONMENT ACT 1987 - WHITEHORSE PLANNING SCHEME 20/07/2018

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1 PROPOSED GROUND FLOOR
1 : 100

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Project Name:
TOWN PLANNING

Project Address:
7 PATRICIA ROAD, BLACKBURN

Sheet Name:
Proposed Ground Floor Plan & Site

Checked:
Jim Kromidas

Drawn:
Harry Mangavilas

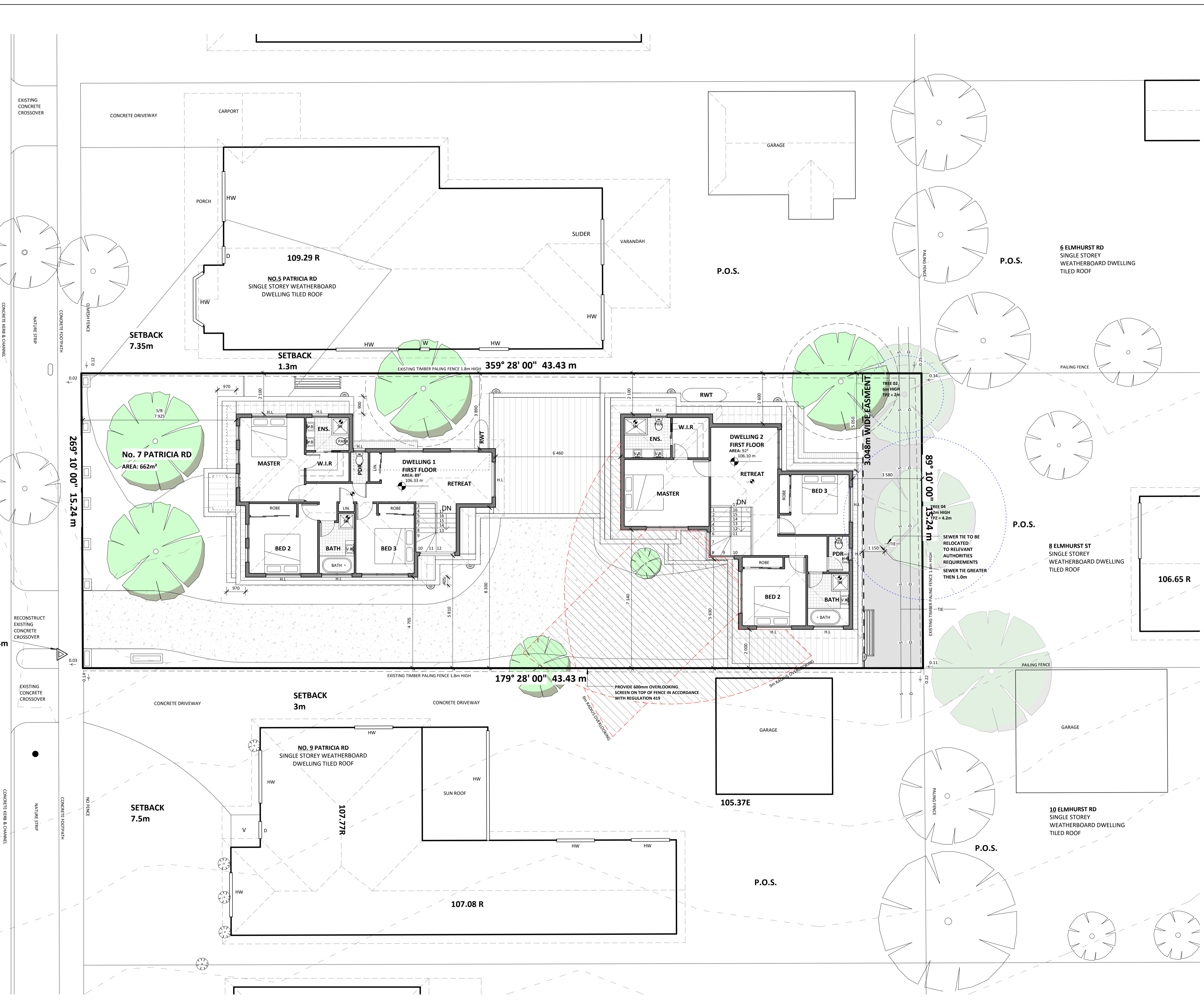
Date:
28/06/2018

Scale: **1 : 100** Rev: **C**

Sheet: **TP 06**

Job Number:
17 048

LEGEND	
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[Symbol]	SIDE ENTRY PIT
[Symbol]	SEWER MANHOLE
[Symbol]	ELEC. POLE
[Symbol]	ELEC. PIT
[Symbol]	PIT
[Symbol]	TELECOM PIT
[Symbol]	EXISTING TREE
[Symbol]	STREET SIGN
[Symbol]	T.B.M.
[Symbol]	GAS METER
[Symbol]	WATER METER
[Symbol]	ELECTRICAL METER
[Symbol]	HYDRANT
[Symbol]	POLE & LIGHT
[Symbol]	SMOKE ALARM
[Symbol]	EXHAUST FAN
[Symbol]	ARTICULATION JOINT
[Symbol]	NEW REINFORCED ALL WEATHER COLOURED CONCRETE SEACROAT OR SIMILAR TO ENGINEER'S DETAILS.
[Symbol]	PROPOSED SHRUBS / HEDGES
[Symbol]	PROPOSED CANOPY TREES AND LANDSCAPE DESIGN REFER TO APPROVED LANDSCAPE PLANS.
[Symbol]	EXISTING CANOPY TREES (RETAINED) REFER TO APPROVED LANDSCAPE PLANS.
[Symbol]	PROPOSED STONE FINISH AS PER LANDSCAPING PLAN
[Symbol]	PROPOSED PLANTS
[Symbol]	GARDEN AREA SPACE
[Symbol]	LANDSCAPE AREA
[Symbol]	BIN STORAGE
[Symbol]	PAVERS / TILES SUPPLIED AND Laid BY BUILDER
[Symbol]	NET AREA TILES SUPPLIED AND Laid BY BUILDER
[Symbol]	TREE PROTECTION ZONE (TPZ)
[Symbol]	TREE REMOVED
[Symbol]	HW HABITABLE ROOM WINDOW
[Symbol]	FR HEAD S. SILL
[Symbol]	W WINDOW
[Symbol]	D DOOR
[Symbol]	H.L. HIGH RISE WINDOW
[Symbol]	E ELECTRICAL POWER LINES OVERHEAD
[Symbol]	TELEPHONE LINES OVERHEAD
[Symbol]	SEWER PIPE LOCATED IN THE EASEMENT OF PROPERTY TO NORTH DEPTH & OFFSET TO BE CONFIRMED ON SITE
[Symbol]	STORMWATER DRAINAGE PIPE LOCATED IN THE EASEMENT OF PROPERTY TO NORTH - DEPTH & OFFSET TO BE CONFIRMED ON SITE
[Symbol]	DIRECTION FROM BOUNDARY TO OCCUPATION
[Symbol]	0.00 DISTANCE FROM BOUNDARY TO OCCUPATION
[Symbol]	PALING FENCELINE AS NOTATED
ABBREVIATIONS	
D. PAN	CLOTHES DRYER
V.B.	TOILET PAN
SH.	VANITY BASIN
POS.	SHOWER
S.	PRIVATE OPEN SPACE
S.P.	LETTER BOX
R.W.H.	SINK
W.R.	DOWN PIPE
REF.	RAIN WATER HEAD
R.	WALK IN ROBE
REF.	REFRIGERATOR
E.F.	EXHAUST FAN
S/A.	SMOKE ALARM
TR.	LANDING THROUGH
W.M.	WASHING MACHINE
CT.	COOKTOP
EM.	ELECTRICITY METER
F.B.	FREESTANDING BOW
R.O.T.	ROOF WATER SERVICE
MIN.	MIN 500mm AWAY FROM OPENABLE WINDOW SASH OR DOOR
L.B.	LETTER BOX
CL.	CLOTHES LINE
FWT.	RAIN WATER TANK TO SUPPLY SANITARY FLUSHING SYSTEM
P.P.	PANTRY
L.	LAUNDRY
H.B.	HAND BASIN
W.O.	WALL OVEN
A.J.	ARTICULATION JOINT
S.D.	SERVICE DUCTS
G.D.	GLASS DOOR
D.W.	DISH WASHER



ISSUE	REVISION DESCRIPTION	DATE
A	CONCEPTS	06/04/2018
B	TOWN PLANNING	18/04/2018
C	FURTHER INFO: RESPONSE 1	28/06/2018

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Project Name:
TOWN PLANNING

Project Address:
7 PATRICIA ROAD, BLACKBURN

Sheet Name:
Proposed First Floor Plan

Checked:
Jim Kromidas

Drawn:
Harry Mangavilas

Date:
28/06/2018

Scale: **1 : 100** Rev: **C**

Sheet: **TP 07**

Job Number:
17 048

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 WHITEHORSE PLANNING SCHEME
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1 PROPOSED FIRST FLOOR
 1 : 100

LEGEND

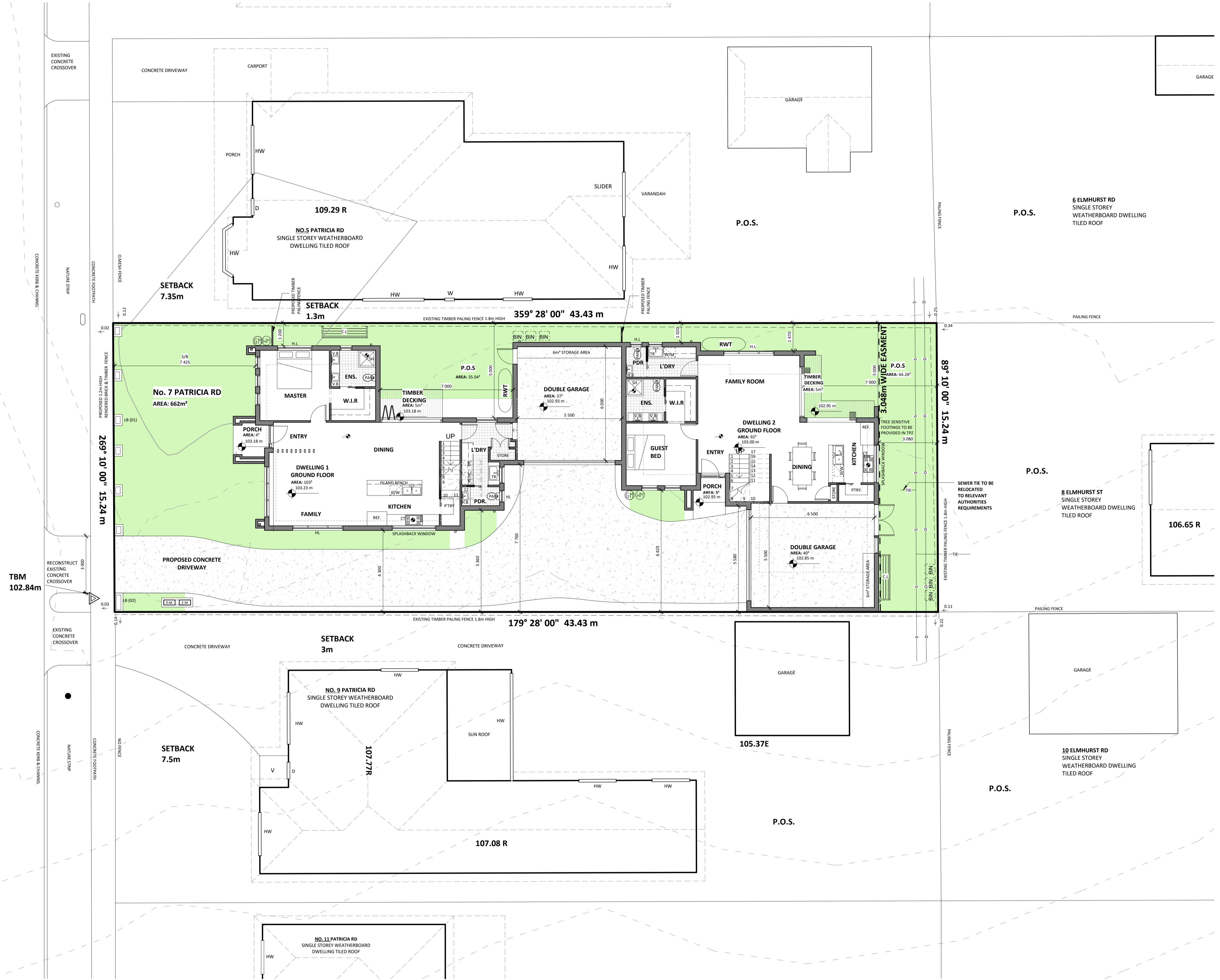
- S/W PROPERTY BUILT
- SIDE ENTRY PIT
- SEWER MANHOLE
- ELEC. POLE
- ELEC. PIT
- PIT
- TELECOM PIT
- EXISTING TREE
- STREET SIGN
- T.B.M.
- GAS METER
- WATER METER
- ELECTRICAL METER
- HYDRANT
- POLE & LIGHT
- SMOKE ALARM
- EXHAUST FAN
- ARTICULATION JOINT
- NEW REINFORCED ALL WEATHER COUGHED CONCRETE SEACOTAT OR SIMILAR TO ENGINEER'S DETAILS.
- PROPOSED SHRUBS / BUSHES
- PROPOSED CANOPY TREES AND LANDSCAPE DESIGN REFER TO APPROVED LANDSCAPE PLANS.
- EXISTING CANOPY TREES (RETAINED) REFER TO APPROVED LANDSCAPE PLANS.
- PROPOSED STONE PAVING AS PER LANDSCAPING PLAN
- PROPOSED PLANTS
- GARDEN AREA SPACE
- LANDSCAPE AREA
- BIN STORAGE
- PAVERS / TILES SUPPLIED AND Laid BY BUILDER
- NET AREA TILES SUPPLIED AND Laid BY BUILDER
- TREE PROTECTION ZONE (TPZ)
- TREE REMOVED
- HW HABITABLE ROOM WINDOW
- W WINDOW
- D DOOR
- HL HIGH RISE WINDOW
- E ELECTRICAL POWERLINES OVERHEAD
- TELEPHONE LINES OVERHEAD
- SEWER PIPE LOCATED IN THE EASEMENT OF PROPERTY TO NORTH - DEPTH & OFFSET TO BE CONFIRMED ON SITE
- WATER DRAINAGE PIPE LOCATED IN THE EASEMENT OF PROPERTY TO NORTH - DEPTH & OFFSET TO BE CONFIRMED ON SITE
- DIRECTION FROM BOUNDARY TO OCCUPATION
- 0.01 DISTANCE FROM BOUNDARY TO OCCUPATION
- PAILING FENCE LINE AS NOTATED

DEVELOPMENT SCHEDULE

Name	%	Area
SITE AREA - TOTAL		662 m ²
PR - BUILDING SITE COVERAGE	42.4%	281 m ²
PR - BUILDING SITE COVERAGE & HARD SURFACE	62.9%	417 m ²
PR - PERMEABLE AREA	37.0%	245 m ²
PR - GARDEN SPACE AREA	35.0%	232 m ²
PR - DRIVEWAY		135 m ²
DW1 - GROUND FLOOR		89 m ²
DW1 - FIRST FLOOR		37 m ²
DW1 - PORCH		4 m ²
DW1 - DECKING		5 m ²
DW1 - P.O.S.		35 m ²
DW1 - SERVICES		14 m ²
DW1 - COVERED		6 m ²
DW1 - OPEN SPACE		88 m ²
DW1 - TOTAL OPEN SPACE		137 m ²
DW2 - GROUND FLOOR		92 m ²
DW2 - FIRST FLOOR		92 m ²
DW2 - GARAGE		40 m ²
DW2 - PORCH		13 m ²
DW2 - DECKING		5 m ²
DW2 - P.O.S.		67 m ²
DW2 - SERVICES		12 m ²
DW2 - TOTAL OPEN SPACE		79 m ²

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PATRICIA ROAD



ISSUE REVISION DESCRIPTION DATE

A	CONCEPTS	06/04/2018
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Project Name:
TOWN PLANNING

Project Address:
7 PATRICIA ROAD, BLACKBURN

Sheet Name:
Proposed Garden Space Area Plan

Checked:
Jim Kromidas

Drawn:
Harry Mangavilas

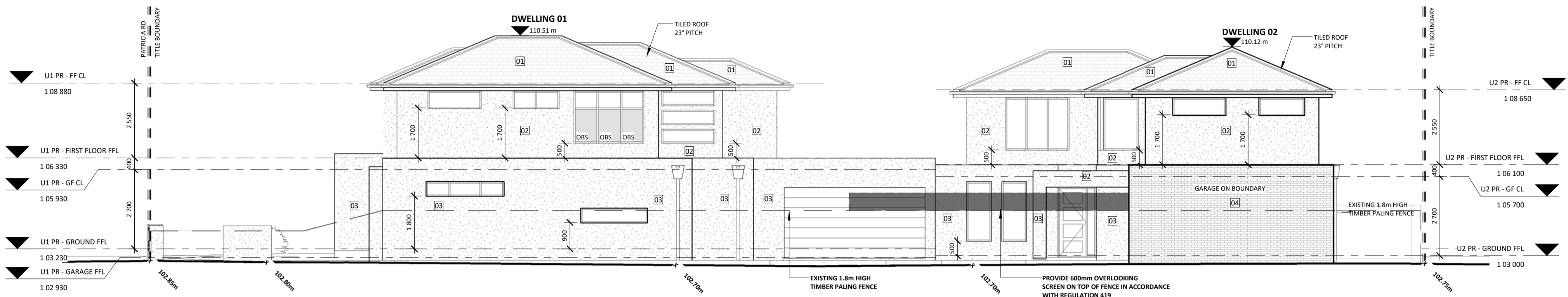
Date:
28/06/2018

Scale: **1 : 100** Rev: **C**

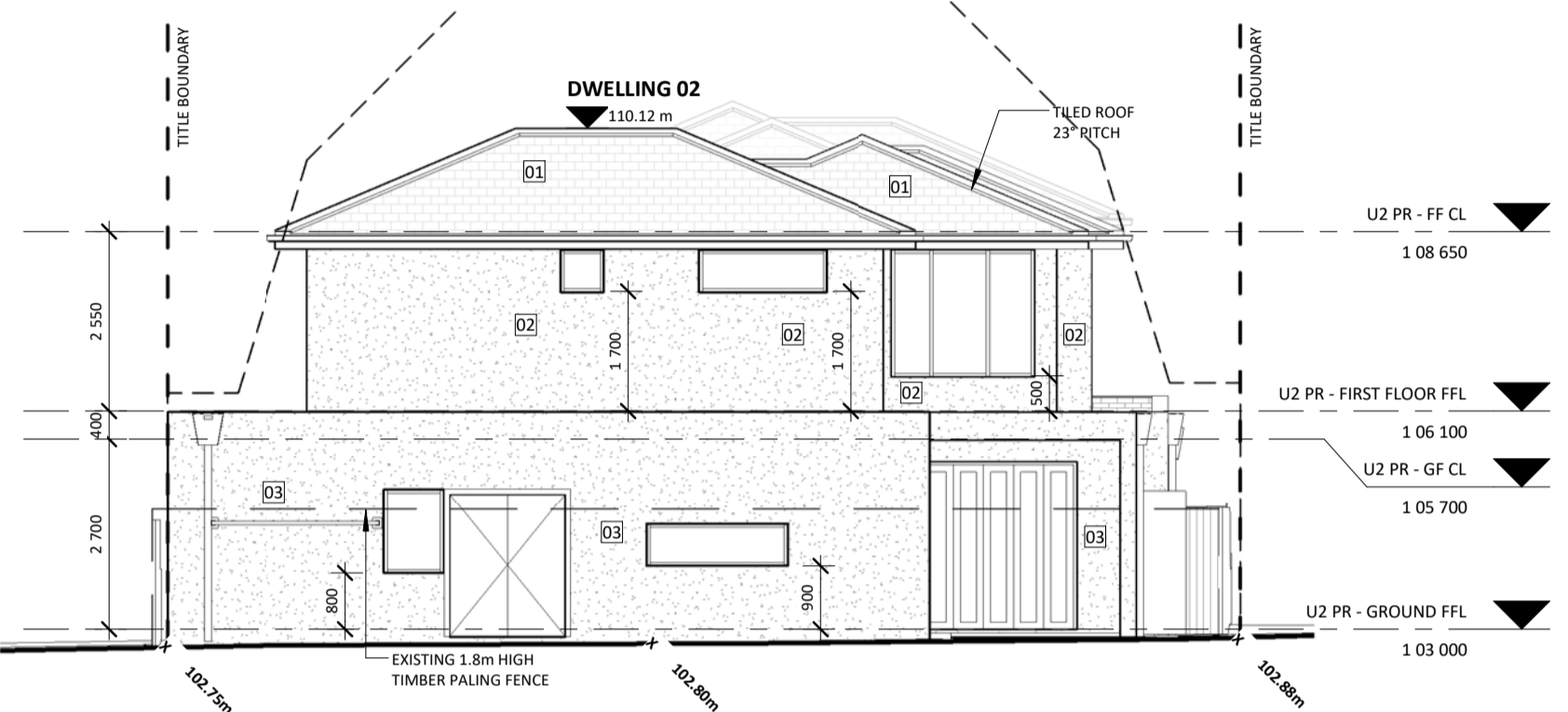
Sheet: **TP 08**

Job Number:
17 048

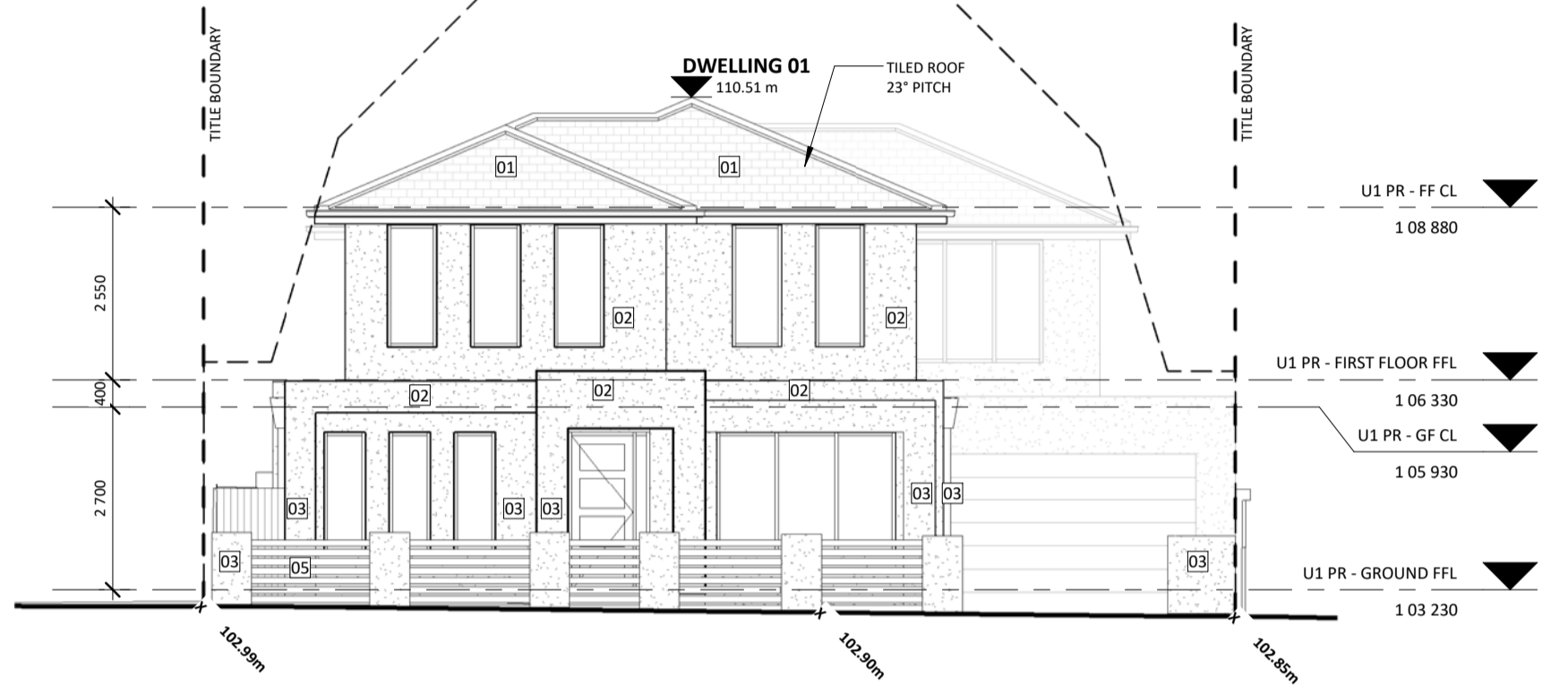
ISSUE	REVISION DESCRIPTION	DATE
A	CONCEPTS	06/04/2018
B	TOWN PLANNING	18/04/2018
C	FURTHER INFO: RESPONSE 1	26/06/2018



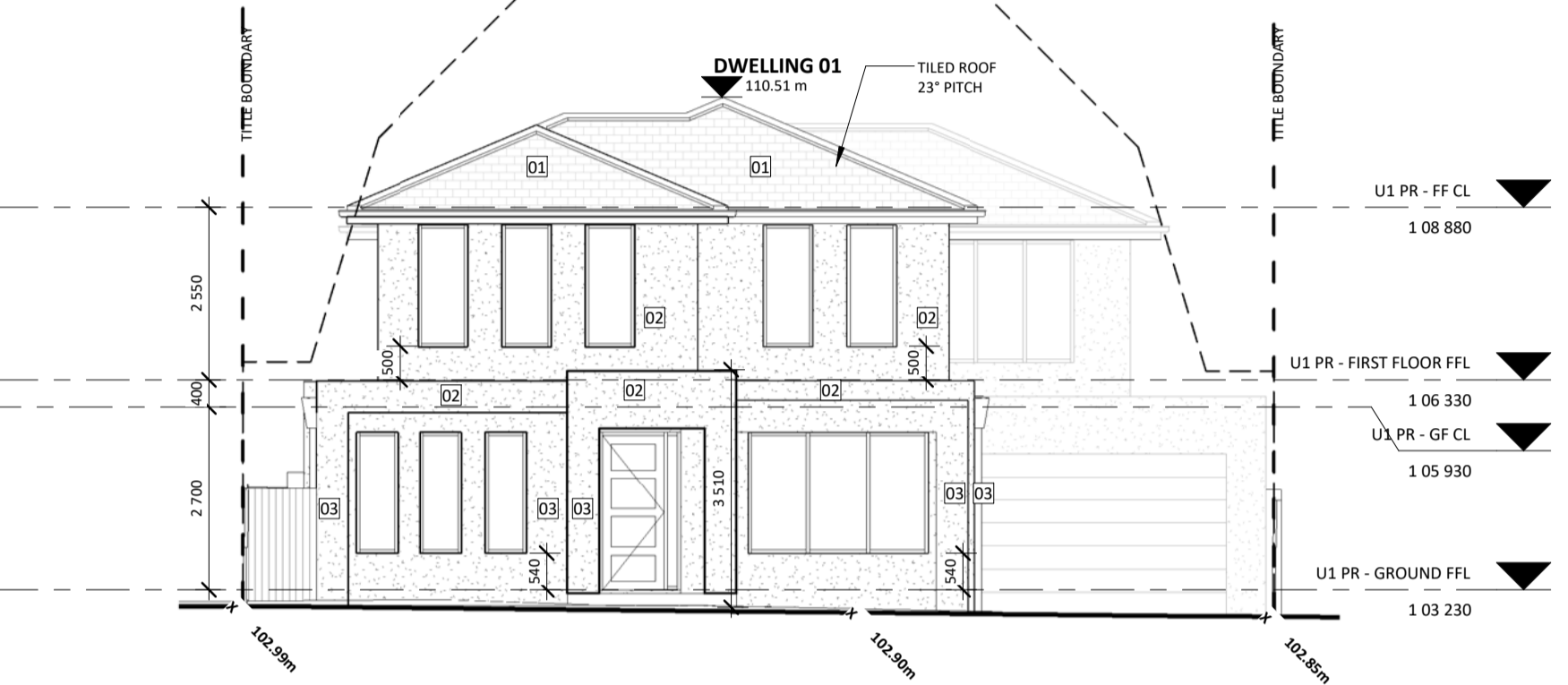
1 Proposed East Elevation
1 : 100



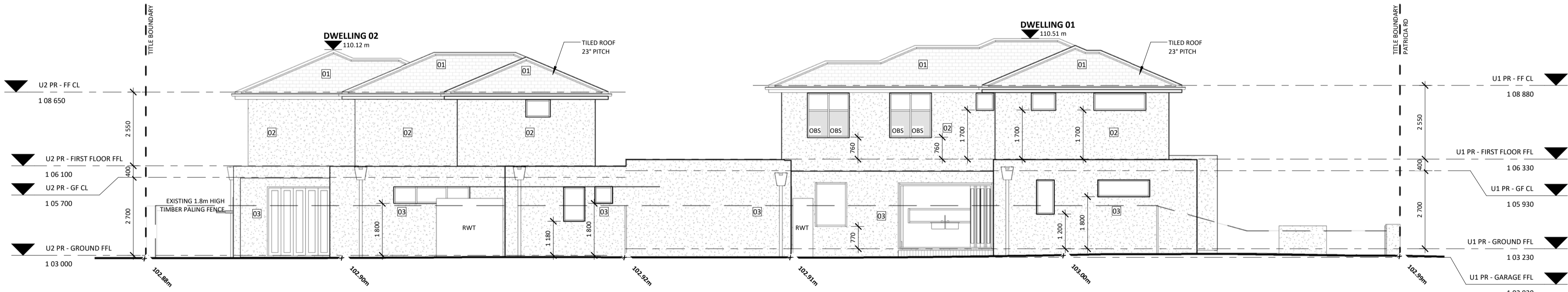
2 Proposed North Elevation
1 : 100



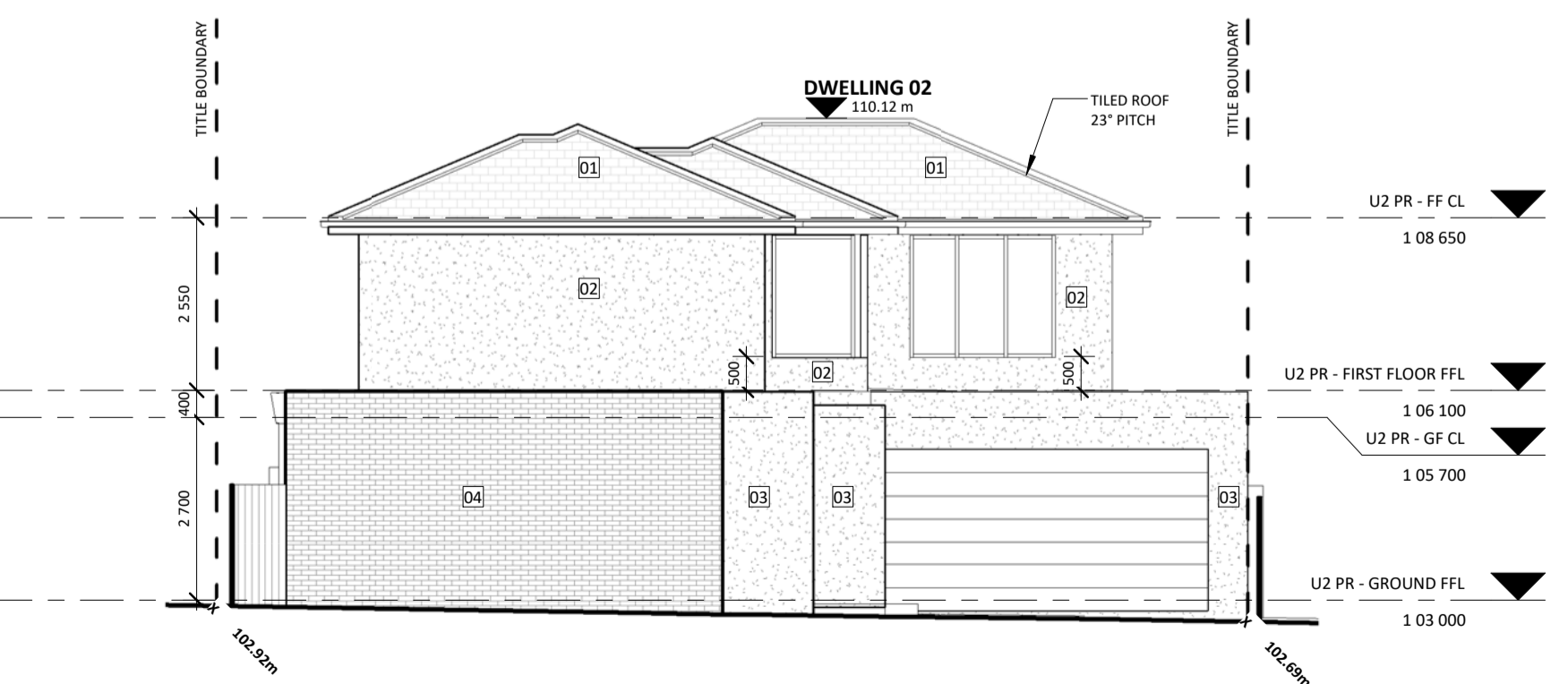
3 Proposed South Elevation With Fence
1 : 100



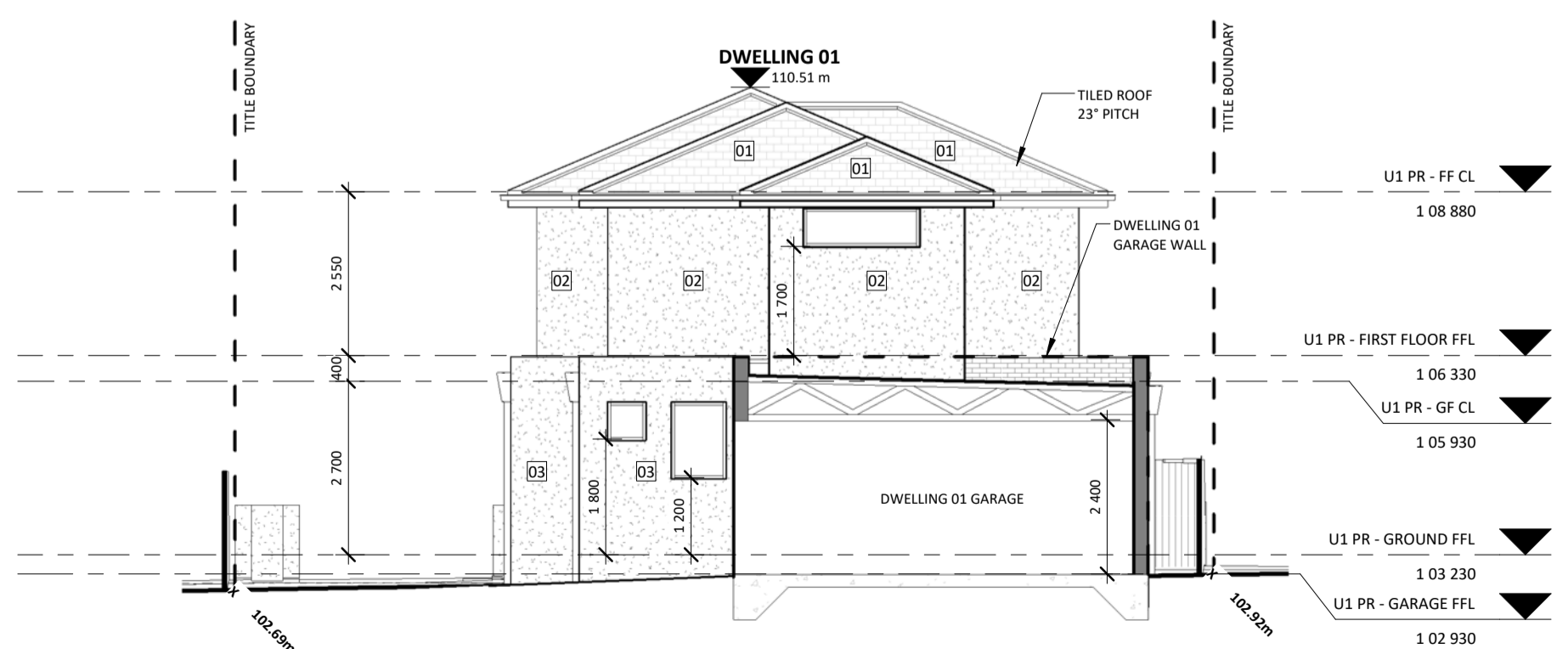
7 Proposed South Elevation
1 : 100



4 Proposed West Elevation
1 : 100



5 Proposed South Elevation - Dwelling 02
1 : 100



6 Proposed North Elevation - Dwelling 01
1 : 100

MATERIALS LEGEND	
Code	Description
01	Tiled Roof
02	Polystyrene Cladding - Rendered
03	Brickwork - Rendered
04	Brickwork
05	Timber Slats



DULUX 'VINTAGE BEIGE' RENDER COLOUR FINISH OR SIMILAR



MONIER PRIME - NOUVEAU PROFILE WOODLAND GREY COLOUR OR SIMILAR



'DUNE' COLOUR RENDER FINISH OR SIMILAR



COLORBOND KLIPLOK ROOFING TO GROUND FLOOR ROOF - WOODLAND GREY COLOUR OR SIMILAR

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Project Name:
TOWN PLANNING

Project Address:
7 PATRICIA ROAD, BLACKBURN

Sheet Name:
Proposed Elevations Plan

Checked:
Jim Kromidas

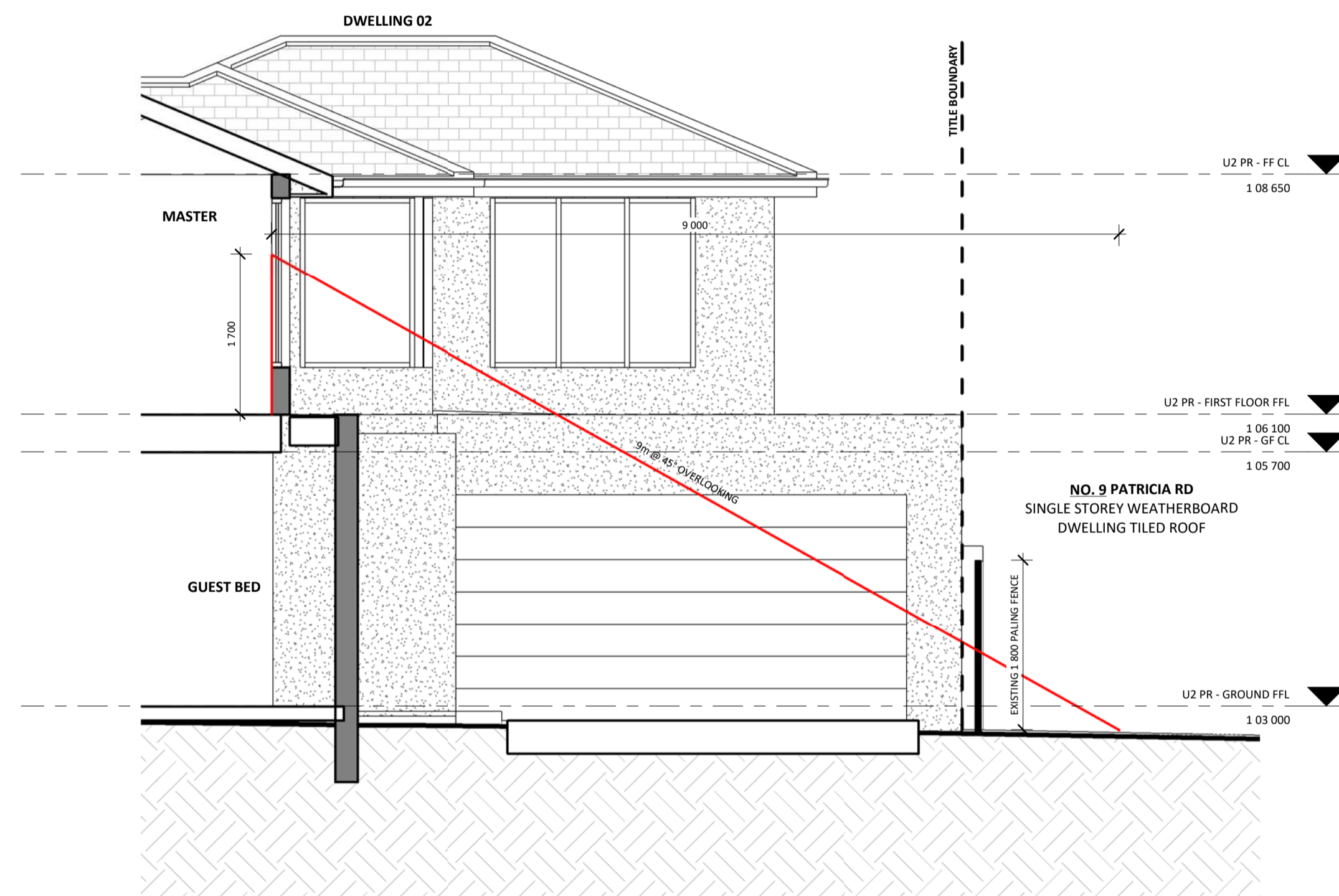
Drawn:
Harry Mangavilas

Date:
28/06/2018

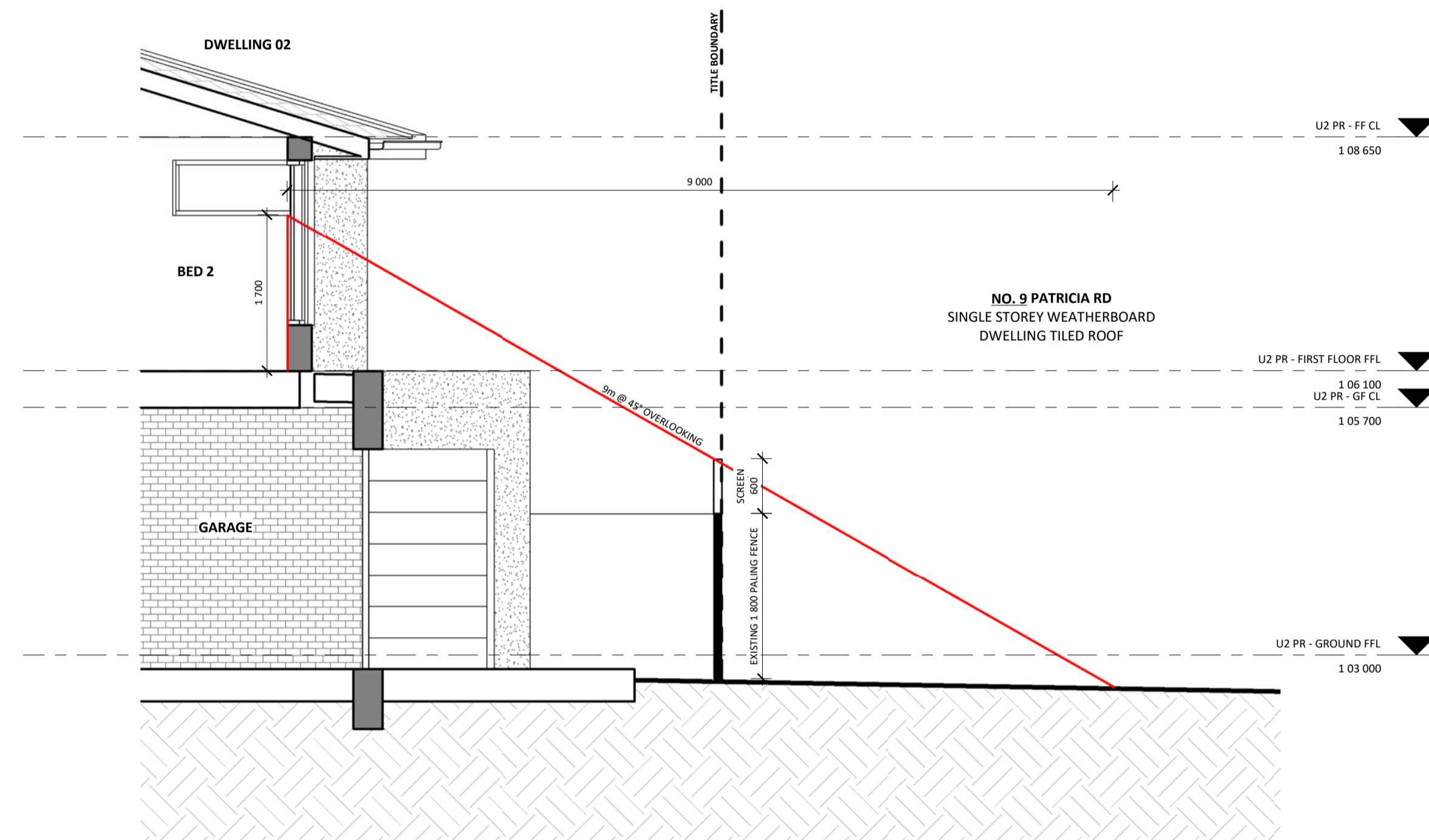
Scale: **1 : 100** Rev: **C**

Sheet: **TP 09**

Job Number:
17 048



1 Overlooking Section 1
1 : 50



2 Overlooking Section 2
1 : 50

ISSUE	REVISION DESCRIPTION	DATE
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Project Name:
TOWN PLANNING

Project Address:
**7 PATRICIA ROAD,
BLACKBURN**

Sheet Name:
**Proposed
Overlooking Section**

Checked:
Jim Kromidas

Drawn:
Harry Mangavilas

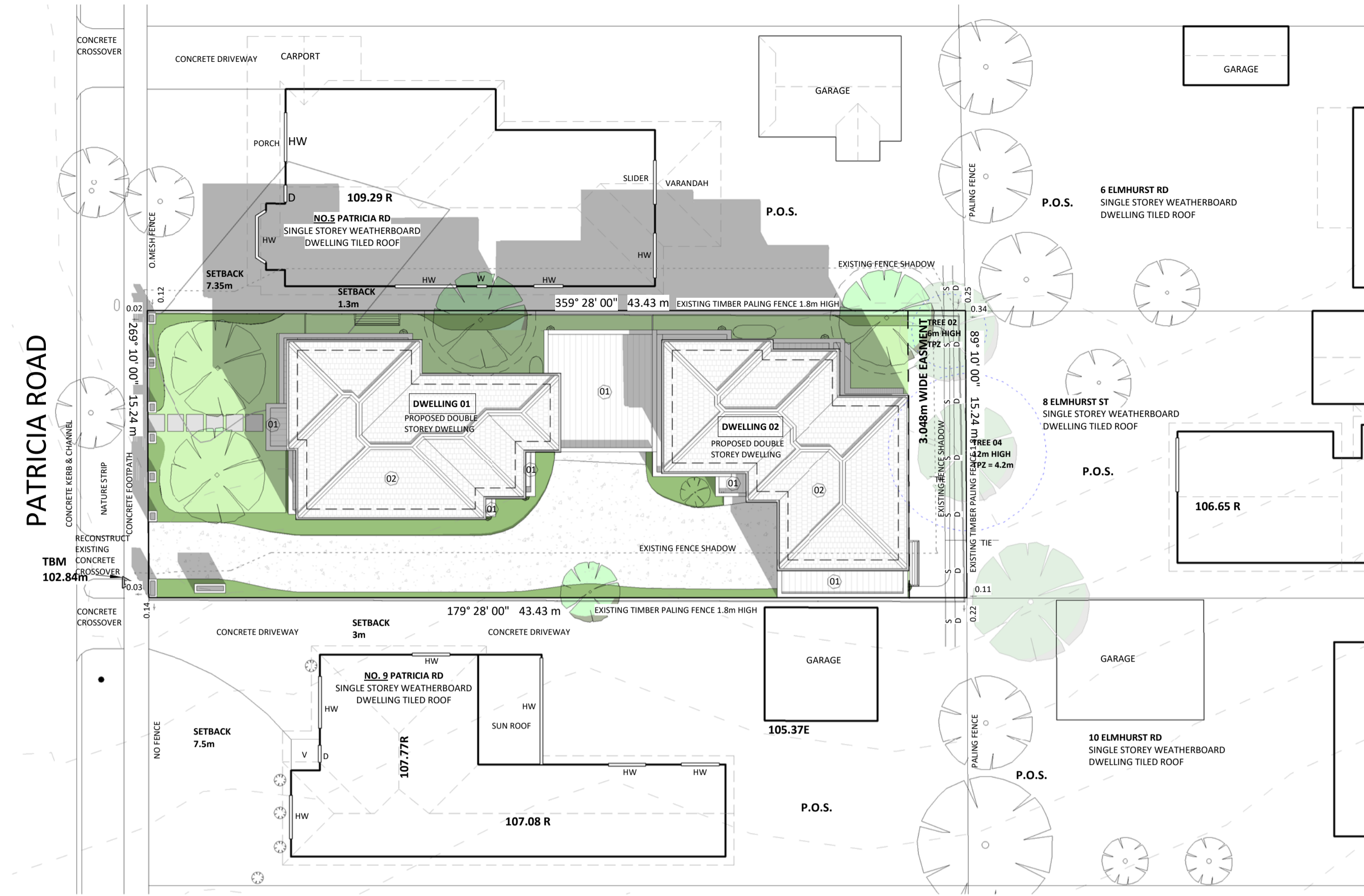
Date:
28/06/2018

Scale: **1 : 50** Rev: **C**

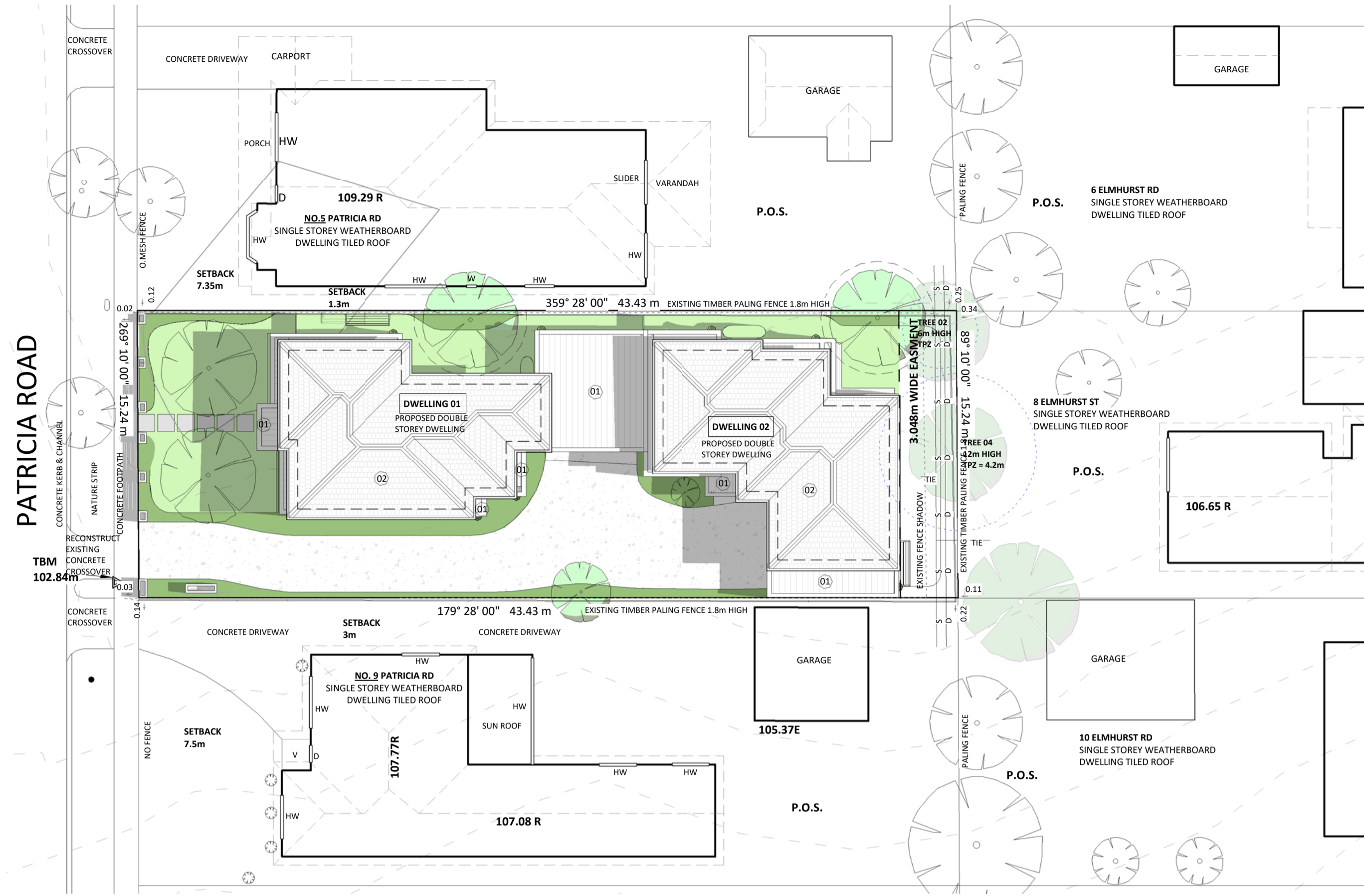
Sheet: **TP 10**

Job Number:
17 048

ISSUE	REVISION DESCRIPTION	DATE
A	CONCEPTS	06/04/2018
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C	FURTHER INFO: RESPONSE 1	28/06/2018

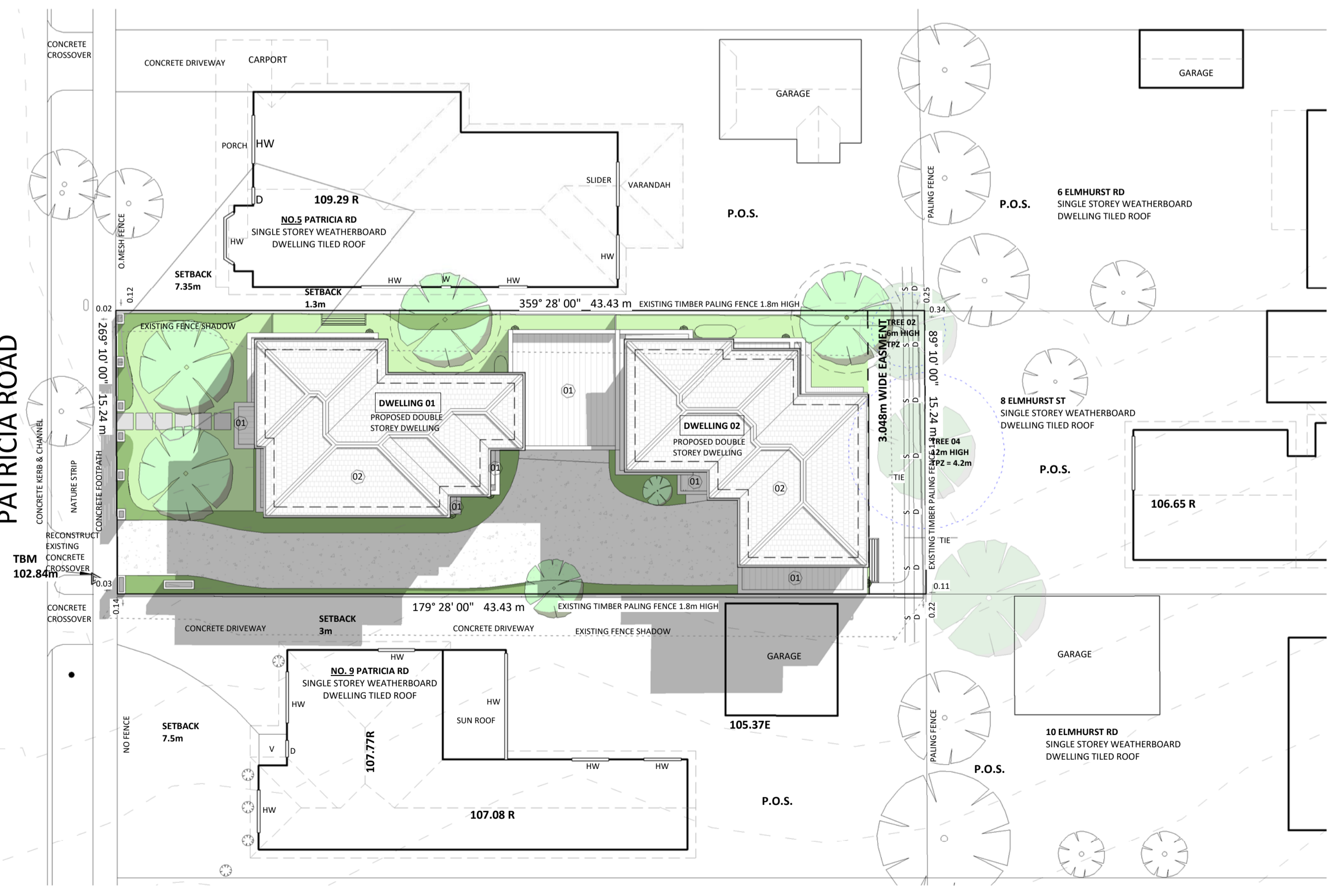


Proposed Shadow Diagram - 9am
22/09/2017
1 : 200



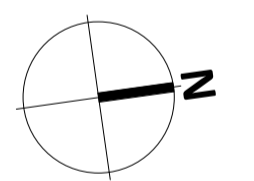
Proposed Shadow Diagram - 12pm
22/09/2017
1 : 200

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Proposed Shadow Diagram - 3pm
22/09/2017
1 : 200

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Project Name:
TOWN PLANNING

Project Address:
**7 PATRICIA ROAD,
BLACKBURN**

Sheet Name:
**Proposed Shadow
Diagrams**

Checked:
Jim Kromidas

Drawn:
Harry Mangavilas

Date:
28/06/2018

Scale: **1 : 200** Rev: **C**

Sheet: **TP 12**

Job Number:
17 048



1 3D View 1



2 3D View 2



4 3D View 4



3 3D View 3

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Project Name:
TOWN PLANNING

Project Address:
**7 PATRICIA ROAD,
 BLACKBURN**

Sheet Name:
Proposed 3D Views

Checked:
Jim Kromidas

Drawn:
Harry Mangavilas

Date:
28/06/2018

Scale: Rev: **C**

Sheet: **TP 13**

Job Number:
17 048