

0318-0529-02 - R002

December 2018

16 Spring Street **Box Hill**

Landscape & Public Realm Concept - Development Plan Report

CITY OF WHITEHORSE

Date: 29/1/2019

RECEIVED

QUALITY ASSURANCE

Quality Assurance Report Card	
Project Name	0318-0529-02_R002 16SS Development Plan_REV04
Document Number	R02
Revision (See below)	04
Prepared By	BH
Reviewed By	NP
Approved By	AW
Date of Issue	6th November 2018

Rev No.	Date	Brief Detail on Revisions	Prepared By	Approved By
00	31 August 2018	Development Plan Report	Bryce Hinton	Nigel Parker
01	4th September 2018	Development Plan Report	Bryce Hinton	Nigel Parker
02	6th September 2018	Development Plan Report	Bryce Hinton	Nigel Parker
03	17th September 2018	Development Plan Report	Robyn Oliver	Nigel Parker
04	6th November 2018	Development Plan Report	Bryce Hinton	Nigel Parker

Landscape and Public Realm Concept
Development Plan Report

16 Spring Street, Box Hill VIC 3128

Prepared by:

For:

Tract
Landscape Architects
Urban Designers
Town Planners



With Key Stakeholders:



&



CITY OF WHITEHORSE

Date: 29/1/2019

RECEIVED

CONTENTS

01	Box Hill institute Education Precinct	4
02	Site Analysis	5
03	Development Plan	6
04	Spring Street Extension Plan	7
03	Edge Treatments	9
04	Public Realm Material & Furniture Palette	10
05	Public Realm Planting Palette	11

01 BOX HILL INSTITUTE EDUCATION PRECINCT

“The City of Whitehorse accommodates some key institutions with the Box Hill Hospital, Box Hill Institute of TAFE and Deakin University being important social, cultural and economic activities..All of these facilities are important in ensuring that the City of Whitehorse is a prime residential location for families & students and are important to the economy of the City.”

Whitehorse Planning Scheme - 21.07 Economic Development

The development of the 16 Spring Street site offers the Box Hill Institute (BHI) the opportunity to remain as one of the key local institutions in facilitating a thriving local economy for the City of Whitehorse.

The “Plan Melbourne 2017 - 2035” growth strategy forms a strategic planning scheme for the growth of wider Melbourne. The strategy is based on a number of principles including the enhancement of Melbourne’s livability and creating a more connected and sustainable city. Plan Melbourne has identified Box Hill as a Metropolitan Activity Centre (MAC) and provides opportunities for businesses within the precinct to evolve as major regional activity institutions through development of retail, public transport, health, justice, education, entertainment and medium and higher density residential typologies.

With rapid growth of service-orientated industries within the Box Hill Metropolitan Activity Centre occurring in recent years and continued development, consolidation and densification of the BHI Elgar and Nelson Road Campus’ it is important for the wider precinct to be considered and to some extent master planned to ensure that future development occurs within an integrated campus approach.

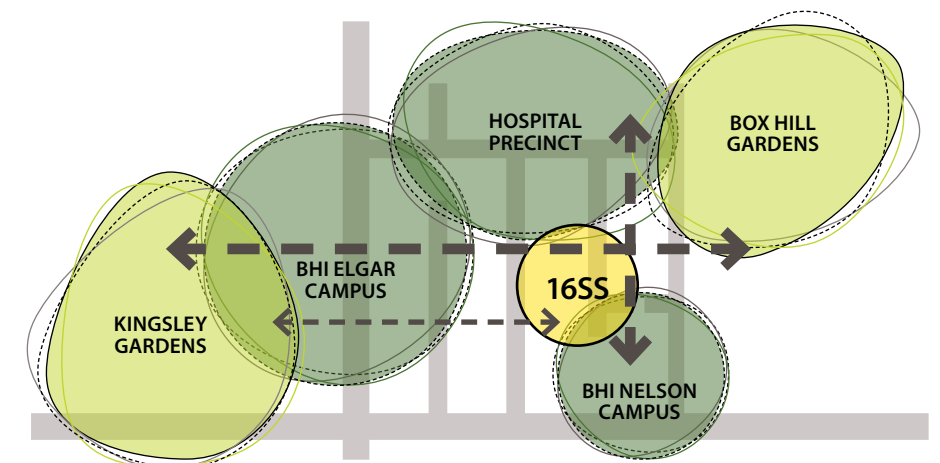
16 Spring Street lies in a strategic development zone for the Box Hill Institute with its location between the Nelson Road and Elgar Road Campuses. These two campuses are separated by Poplar Street and Wellington Street which predominately consist of small residential blocks. The wider BHI precinct is boarded by the Box Hill and Epworth Hospitals to the north, Box Hill Gardens in the north east and Kingsley Gardens to the south west. This results in a campus that is positioned between two major community spaces with a lack of integrated pedestrian connections between its two campuses and the northern hospital precinct.

By providing an innovative solution to public open space within the 16 Spring Street development proposal, the site will become the “missing link” for the precinct. With the BHI precinct being a campus between the gardens, the 16 Spring Street development will provide and enhance pedestrian connections for students and the broader community between the Box Hill and Kingsley Gardens. East-west connections will predominately consist of laneway enhancement programs while north-south connections will consist of larger public realm areas providing a number of institutional activation programs. The provision for nurses training facilities, consultation rooms and short stay accommodation within the architectural program of the 16 Spring Street Development will also provide a vital user connection with the Epworth and Box Hill Hospitals forming a northern edge to the BHI campus.

The landscape master plan and proposed program aims to complement the BHIG strategic plan of building community capacity and enriching the lives of young people and adults through lifelong learning and personal development. This will be achieved through the inclusion of inspiring outdoor learning spaces, provision for better entertainment zones and the general improvement in the quality of life within the Box Hill Institute precinct.

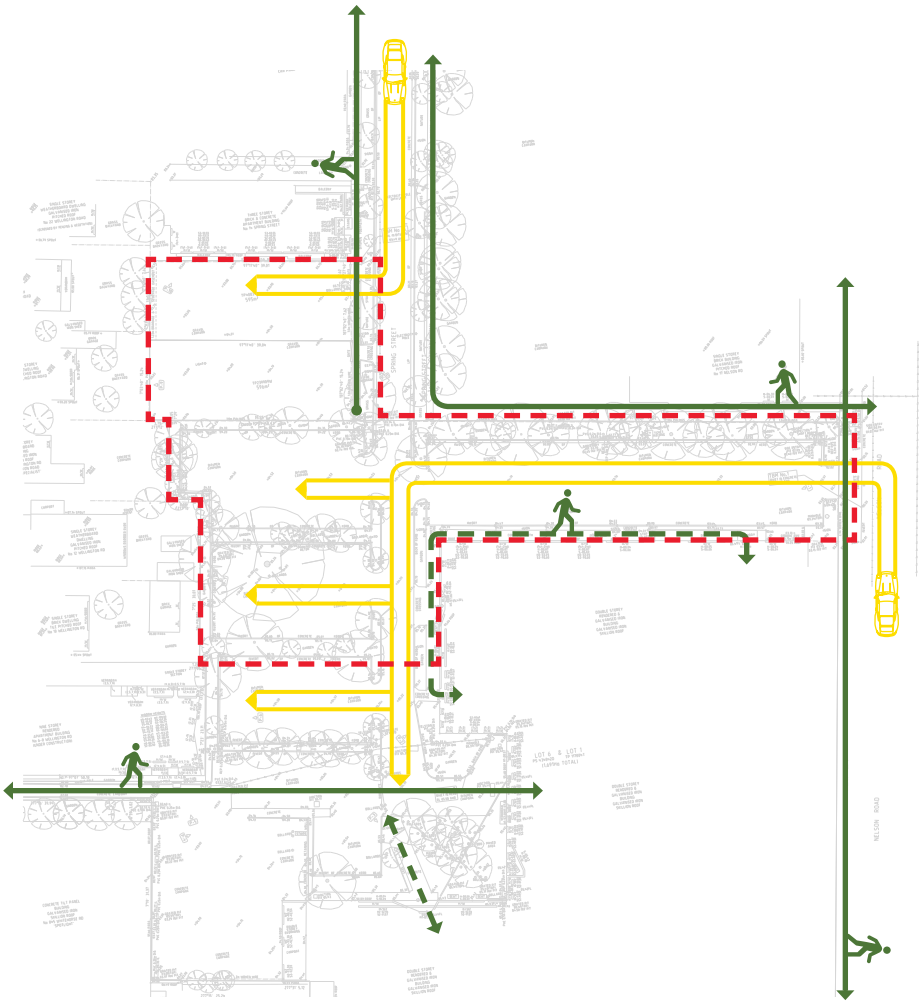
The following documents have been reviewed and considered in the preparation of the landscape master plan and program;

- i. Box Hill Institute Group Strategic Plan 2017-2020
- ii. Whitehorse Planning Scheme - Section 21.07 Economic Development 2016
- iii. Box Hill Transit City Activity Centre Structure Plan 2007
- iv. Box Hill Institute Spring Street Development - Rev 04 2017 - SJB



Box Hill Institute Precinct Diagram

02 SITE ANALYSIS



Circulation

The site is currently dominated by car parking with fences gated access. These significantly impact on pedestrian circulation through the site from Spring Street with many people utilising the private connection to Nelson Road on the southern side of the Salvation Army building.

Vehicle access into the site is predominately through the Nelson Road entrance allowing vehicles to park within the three western carparks as well as delivery access to existing built form.



Vegetation

There is a large number of existing trees on the site that delineate the different car parks and provide significant shade. The majority of the tree species within the site are *Eucalyptus sideroxylon* that have a dark trunk offset by grey green foliage.

It is expected that all existing trees outside of the built form extent will be retained within the landscape design proposal. This will enable good shade opportunities and amenity to the development of the site.



Existing Conditions



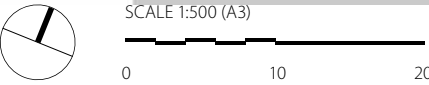
Legend

- 1 Outdoor dining opportunities
- 2 Raised timber seating platforms
- 3 Steel inlay delineating shared zone
- 4 Raised slow speed zone
- 5 BHI entry
- 6 Residential entry
- 7 Proposed deciduous tree planting
- 8 Proposed evergreen tree planting
- 9 Spring Street extension
- 10 90° Parking using existing kerb
- 11 Proposed parallel parking
- 12 WSUD opportunities
- 13 Proposed 1.5m wide path
- 14 Bike racks
- 15 Screen planting on boundary
- 16 New crossover connection
- 17 Existing trees to remain
- 18 Existing carpark
- 19 Existing parallel parking

Future Works

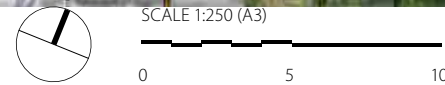
The design for the southern parcel of land has been considered during a master planning process with opportunities to be a part of a future application.

- 20 BHI university green
- 21 Proposed deciduous tree planting
- 22 Tree planting on carpark column grid
- 23 Enhanced walkable campus connections
- 24 Raised lawn
- 25 Seating opportunities



Development Plan

16 Spring Street - Box Hill



Spring Street Extension

16 Spring Street - Box Hill

PROJECT_DRG NO 0318-0529-02_D002

REV 04 DRWN BH

CHKD NP

APPROV AW

DATE 6 December 2018

Tract



Fig. 1 South west view of development site

05 EDGE TREATMENTS



Furniture

Elevated timber platforms will be built around existing trees will ensure continued health and vigour while providing numerous seating and gathering opportunities for residents and visitors to the development. These platforms will be framed by insitu concrete walls that form links to built form materiality and create a higher level of informal seating. Additional operator provided cafe furniture can be located at specific nodes outside of retail space for further street front activation.



WSUD

The extension of Spring Street to form connections with Nelson Road will provide a number of 90° and parallel parking spaces. Utilising the existing kerb and stormwater network on the northern edge of the carpark will be cost effective and provides the opportunity for the introduction of WSUD garden beds. These garden beds will have an engineered soil profile that filtrates, often polluted, surface runoff water collected from the carpark.



Steel Inlay

A steel inlay will be used within the public realm to create a visual and material change between the areas designed specifically for pedestrians and the elevated shared zone. This inlay will be a powdercoated mild steel providing contrasting colour to the surrounding stone pavement.

06 PUBLIC REALM MATERIAL & FURNITURE PALETTE

Public Realm | Materials

The material palette for the public realm aims to complement materials outlined in the City of Whitehorse Urban Design Guidelines for the surrounding precinct while forming links to the proposed built form. Bluestone paving of varying sizes will be used to differentiate pedestrian and vehicular low speed zones with the use of split face cobbles that will for a textural change and alert drivers that they are entering a space where a high level of pedestrian activity will occur. The use of a exposed coloured concrete will transition the pedestrian from areas of high activation into more traditional roadside pavements.

Steel inlays will form visual separations between pedestrian and low speed vehicle zones while large timber platforms and honed concrete walls will form physical barriers between the two areas. Broom finished grey concrete will be used for footpaths next to the proposed Spring Street extension.



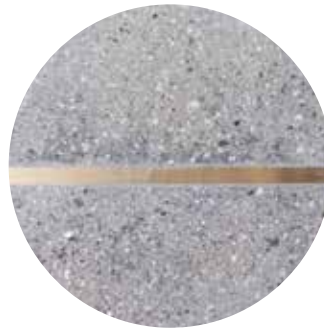
Exposed Aggregate Concrete



Stone Paving of varying size and texture



Site Specific Permeable Paving Patterns



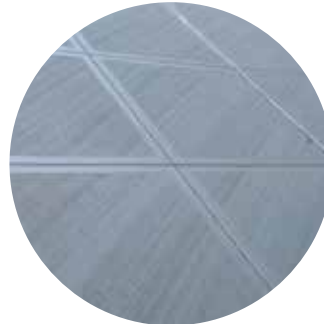
Steel inlay



Timber platforms



Honed white concrete seating walls



Broom finished concrete



Planting

Public Realm | Furniture

Furniture elements within the public realm will contribute to building a sense of community for the BHI precinct. The built form will also be reflected in the design of other elements such as bike hoops and the specification of loose cafe style furniture by F & B operators. Lighting will compliment the steel inlay by creating a degree of separation between pedestrian and shared zones after hours.



Sculptural bike hoops



Loose cafe style tables & chairs



Shared zone in ground lighting

07 PUBLIC REALM PLANTING PALETTE

Public Realm | Plant Species

	Botanical Name	Common Name
Trees	<i>Eucalyptus sideroxylon</i>	Red Ironbark
	<i>Lagerstroemia indica</i>	Crepe Myrtle
	<i>Magnolia grandiflora</i>	Bull Bay
	<i>Prunus 'Shimidsu Sakura'</i>	Japanese Flowering Cherry
	<i>Quercus palustris</i>	Pin Oak
	<i>Tristaniopsis laurina</i>	Water Gum
Shrubs:	<i>Leucophyta brownii</i>	Cushion Bush
	<i>Liriope muscari 'Royal Purple'</i>	Royal Purple Lily-turf
	<i>Lomandra 'Tanika'</i>	Fine-Leaf Lomandra
	<i>Strelitzia reginae</i>	Bird of Paradise
	<i>Westringia fruticosa 'Blue Gem'</i>	Native Rosemary
Groundcovers:	<i>Cotyledon orbiculata</i>	Silver Waves
	<i>Dianella revoluta</i>	Black Anther Flax Lily
	<i>Juniperus sabina 'Tamariscifolia'</i>	Juniper
	<i>Juniperus horizontalis</i>	Savin Juniper
	<i>Ophiopogon planiscapus</i>	Black Mondo Grass
WSUD:	<i>Carex appressa</i>	Tall Sedge
	<i>Carpobrotus rossii</i>	Native Pig Face
	<i>Convolvulus sabatius</i>	Ground Morning Glory
	<i>Hardenbergia violacea</i>	Purple Coral Pea
	<i>Kleinia mandraliscae</i>	Ieu Chalksticks
	<i>Limonium perezii</i>	Perennial Statice
	<i>Lomandra longifolia</i>	Creeping Boobialla
	<i>Phormium tenax</i>	New Zealand Flax

Trees:



Eucalyptus sideroxylon
Red Ironbark



Lagerstroemia indica
Crepe Myrtle



Magnolia grandiflora
Bull Bay



Prunus 'Shimidsu Sakura'
Japanese Flowering Cherry



Quercus palustris
Pin Oak

Shrubs:



Leucophyta brownii
Cushion Bush



Liriope muscari 'Royal Purple'
Royal Purple Lily-turf



Lomandra 'Tanika'
Fine-Leaf Lomandra



Strelitzia reginae
Bird of Paradise



Westringia fruticosa 'Blue Gem'
Native Rosemary

Groundcovers:



Cotyledon orbiculata
Silver Waves



Dianella revoluta
Black Anther Flax Lily



Juniperus sabina 'Tamariscifolia'
Juniper



Juniperus horizontalis
Savin Juniper



Ophiopogon planiscapus
Black Mondo Grass

WSUD:



Carex appressa
Tall Sedge



Carpobrotus rossii
Native Pig Face



Convolvulus sabatius
Ground Morning Glory



Hardenbergia violacea
Purple Coral Pea



Kleinia mandraliscae
Bleu Chalksticks



Limonium perezii
Perennial Statice



Lomandra longifolia
Spiny-headed Mat-rush



Myoporum parvifolium
Creeping Boobialla



Phormium tenax
New Zealand Flax

