

City of Whitehorse

PLANNING PERMIT

Permit Number: WH/2008/487
Planning Scheme: Whitehorse
Responsible Authority: City of Whitehorse

ADDRESS OF THE LAND

245-247 CANTERBURY ROAD, BLACKBURN (LOT 2 PS 604010G)

THE PERMIT ALLOWS

Use as a Place of Worship, waiver for on site car parking and removal of two trees, generally in accordance with the endorsed plans and subject to the following conditions.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

1. Before the use starts, or vegetation is removed, amended plans (three copies) shall be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale, with dimensions, and be generally in accordance with the plans submitted with the application but modified to show:
 - a) Deletion of the six (6) tandem car spaces within the access aisle for the existing car spaces and provision of three (3) additional parallel carspaces in the lawn area on the southern side of the accessway immediately east of the portico providing a total of 15 on-site spaces.
 - b) Reduction in the length of the island splitter in the accessway to allow vehicles to exit the three (3) new southern car spaces in a forward manner.
 - c) Provision of two bicycle spaces for visitors.
 - d) Notation on plans stating that windows and doors on the north and east elevations will remain closed during religious services.
 - e) A landscape plan in accordance with condition 4, but modified to show:
 - Consistency with the landscaping required under Planning Permit application WH/2008/670.
 - Additional buffer planting along the northern property boundary between the existing car park and the boundary fence consisting of large shrubs and/or small trees.
 - Two (2) trees capable of reaching 10 metres in height at maturity to be planted in open areas of the site. The planted trees must be clear of other tree canopies and 4 metres clear of any building.

26.10.09

Date

Planning and Environment Act 1987 Form 4


Signature for Responsible Authority

All of the above requirements must be to the satisfaction of the Responsible Authority.

Once approved these plans become the endorsed plans of this permit.

2. The layout of the site and the size, design and location of the buildings and works permitted must always accord with the endorsed plan and must not be altered or modified without the further written consent of the Responsible Authority.
3. No building or works shall be commenced (and no trees or vegetation shall be removed) until a landscape plan prepared by a suitably qualified and experienced person or firm has been submitted to and endorsed by the Responsible Authority. This plan when endorsed shall form part of this permit. This plan shall show –
 - * A survey of all existing vegetation, abutting street trees, natural features and vegetation.
 - * Buildings, outbuildings and trees in neighbouring lots that would affect the landscape design.
 - * Planting within and around the perimeter of the site comprising trees and shrubs capable of:
 - providing a complete garden scheme,
 - softening the building bulk,
 - providing some upper canopy for landscape perspective,
 - minimising the potential of any overlooking between habitable rooms of adjacent dwellings.
 - * A schedule of the botanical name of all trees and shrubs proposed to be retained and those to be removed incorporating any relevant requirements of condition No. 1.
 - * The proposed design features such as paths, paving, lawn and mulch.
 - * A planting schedule of all proposed vegetation (trees, shrubs and ground covers) which includes, botanical names, common names, pot size, mature size and total quantities of each plant.
 - * If Victoria is experiencing Water Restrictions, a drought tolerant or water efficient plant selection and an alternative to lawn that is not paving or gravel (such as mulch or ground cover plants), and indicate how water will be obtained in order to successfully establish plants, such as a rainwater tank or grey water system.

Landscaping in accordance with this approved plan and schedule shall be completed before the building is occupied.

Once approved these plans become the endorsed plans of this permit.

4. The garden areas shown on the endorsed plan and schedule shall only be used as gardens and shall be maintained in a proper, tidy and healthy condition to the satisfaction of the Responsible Authority. Should any tree or shrub be removed or destroyed it may be required to be replaced by a tree or shrub of similar size and variety.
5. Only those trees marked "Trees to be removed" (or similar notation) shall be allowed to be removed or destroyed. All existing vegetation to be retained shall be maintained to the satisfaction of the Responsible Authority including suitable management during any construction stage.

26.10.09

Date

Planning and Environment Act 1987 Form 4



Signature for Responsible Authority

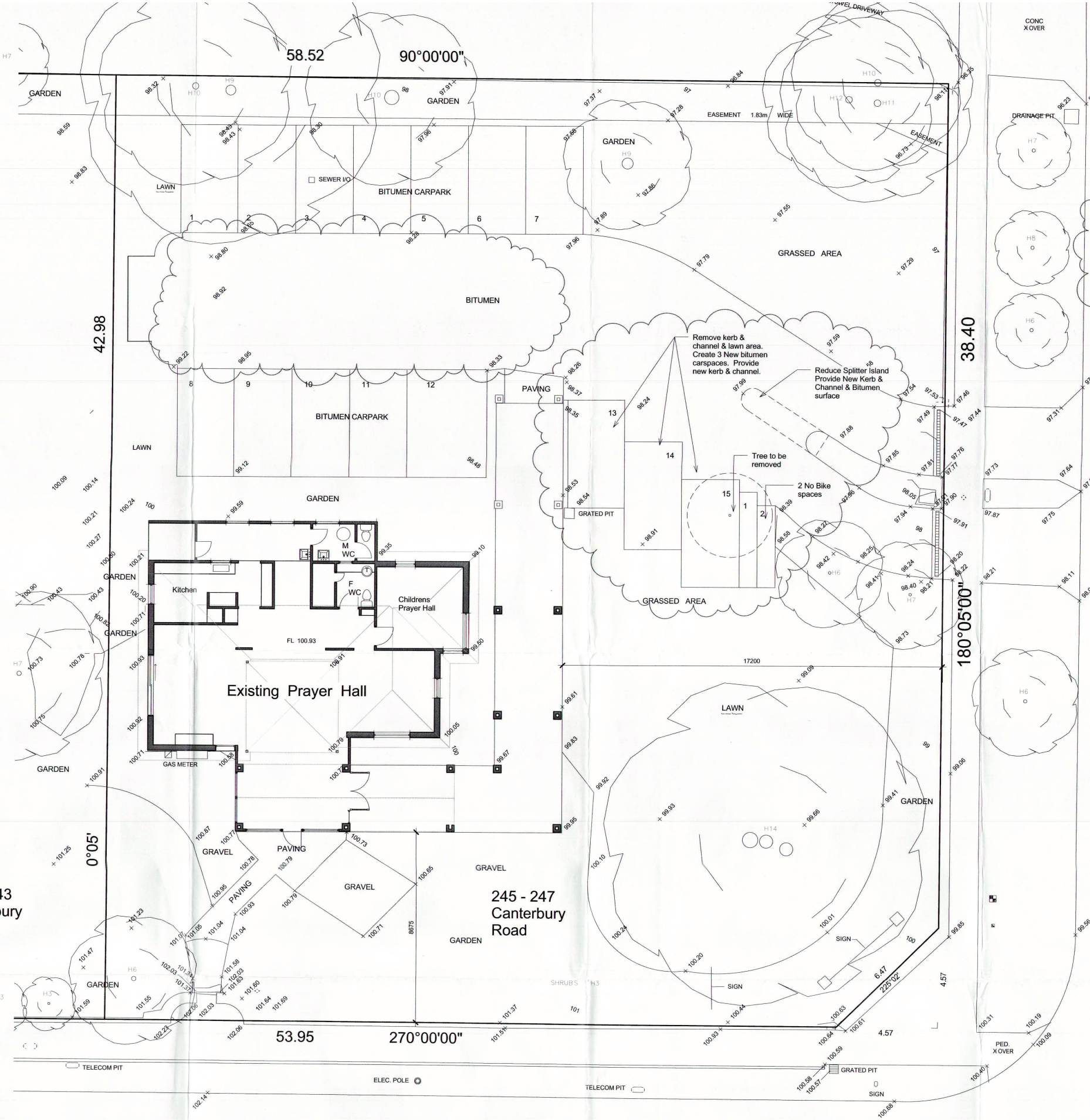
6. Within two (2) months of the issue date of this permit, a Car Parking Management Plan (CMP) shall be submitted for approval to the satisfaction of the Responsible Authority. Compliance with this CMP is required at all times during operation of the Place of Worship.
7. The Applicant/Owner shall be responsible to meet all costs associated with reinstatement and/or alterations to Council or other Public Authority assets deemed necessary by such Authorities as a result of the development. The Applicant/Owner shall be responsible to obtain an "Asset Protection Permit" from Council at least 7 days prior to the commencement of any works on the land and obtain prior specific written approval for any works involving the alteration of Council or other Public Authority assets.
8. The subject land must be drained to the satisfaction of the Responsible Authority.
9. Once the use is commenced it shall only be used for the above purpose, to the satisfaction of the Responsible Authority.
10. Alarms must be directly connected to a security service and must not produce noise beyond the premises.
11. All external lighting must be of a limited intensity to ensure no nuisance is caused to adjoining or nearby residents and must be provided with approved baffles, so that no direct light or glare is emitted outside the site.
12. Not more than 90 persons shall be present on the premises at any one time without the further written consent of the Responsible Authority.
13. The permitted use shall generally operate between the hours of 6am and 11pm.
14. The permitted use shall provide fifteen (15) car spaces on the site.
15. The car parking areas and accessways as shown on the endorsed plans shall be formed to such levels so that they may be used in accordance with the plan, and shall be properly drained and line-marked (where applicable). The car park and driveways shall be maintained to the satisfaction of the responsible Authority.
16. Prior to the commencement of any works associated with the construction of new car parking spaces, suitable tree barrier(s) must be erected around the nearest tree trunks of protected trees to be retained at least three (3) metres from their trunks to the satisfaction of the Responsible Authority.
17. Parking areas and access lanes must be kept available for these purposes at all times.
18. Provision shall be made for the storage and disposal of garbage to the satisfaction of the Responsible Authority. All garbage storage areas must be screened from public view and not be located in landscape areas, car parking spaces or vehicle accessways.
19. This permit will expire if one of the following circumstances applies:
 - a) the development and use is not commenced within two (2) years from the date of issue of this permit;
 - b) the development is not completed within four (4) years from the date of this permit.

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires or within three months afterwards.

26.10.09

Date
Planning and Environment Act 1987 Form 4


Signature for Responsible Authority



Windows & Doors to the North & East to remain closed during religious services

Landscape to Landscape Architects Drawings & Details

NOTES

Do Not scale. Written dimensions to take precedence over scale

PLANNING AND ENVIRONMENT ACT 1987
WHITEHORSE PLANNING SCHEME

This endorsed plan is in accordance with and forms Part of Planning Permit No. **WHP2008/1487**

Signature for the Responsible Authority: *[Signature]* Date: **23.12.09**

Sheet **1** of **5**

AREA ANALYSIS

TOTAL SITE AREA
245 - 247 Canterbury Road =
1609.43M2

TOTAL FLOOR AREA = 136.82M2

Revision A
2 November 2009 - general revision to condition 1 of planning permit

david anderson
ARCHITECT

506P / 191 Powlett Street T : 03 9029 4562
East Melbourne 3002 F : 03 8415 0894
Victoria, Australia M : 0407 823 569

Project Title
**Town Planning
Proposed Change of use
of Land to Place of
Worship**

**245 - 247
Canterbury Road
Forest Hill 3131**

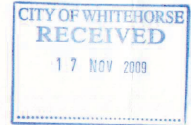
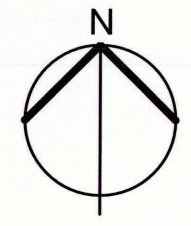
Drawing Title
**Site / Floor Plan
Carpark Layout**

Drawn By: David Anderson Architect 5689	Scale: 1:100
Date: January 2008	Project No: 2006 - 12 / A
Drawing No: TP1 of 2	

241 - 243
Canterbury
Road

245 - 247
Canterbury
Road

1 Floor / Site Plan
1 : 100



AREA ANALYSIS

TOTAL SITE AREA
245 - 247 Canterbury Road =
1609.43M2

TOTAL FLOOR AREA = 136.82M2



NOTE
Windows & Doors to the North & East to remain closed during religious services

Revision A
2 November 2009 - general revision to condition 1 of planning permit



506P / 191 Powlett Street T : 03 9029 4562
East Melbourne 3002 F : 03 8415 0894
Victoria, Australia M : 0407 823 569

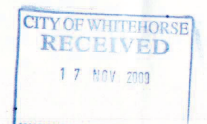
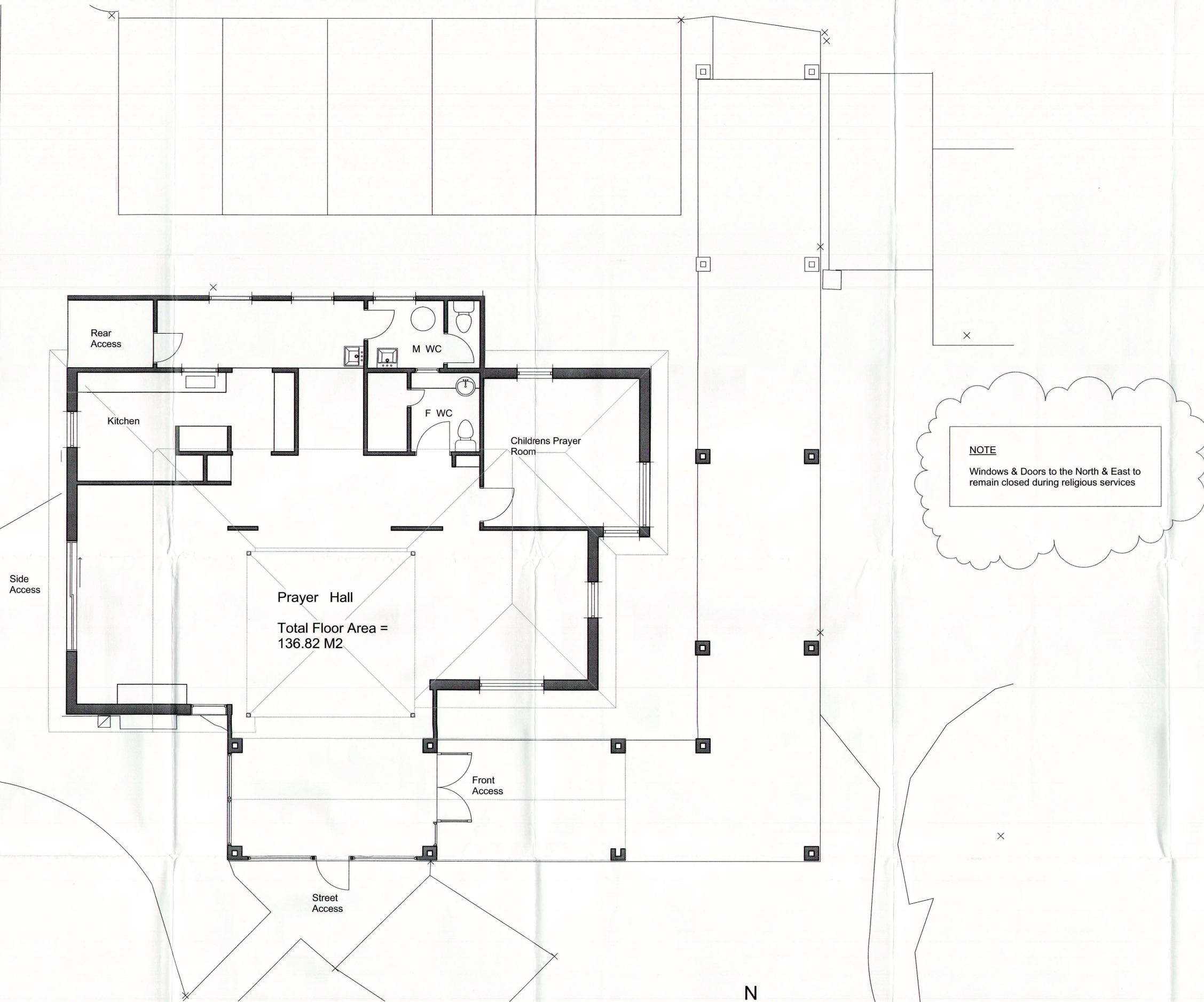
Project Title
Town Planning
Proposed Change of use of
Land to Place of Worship

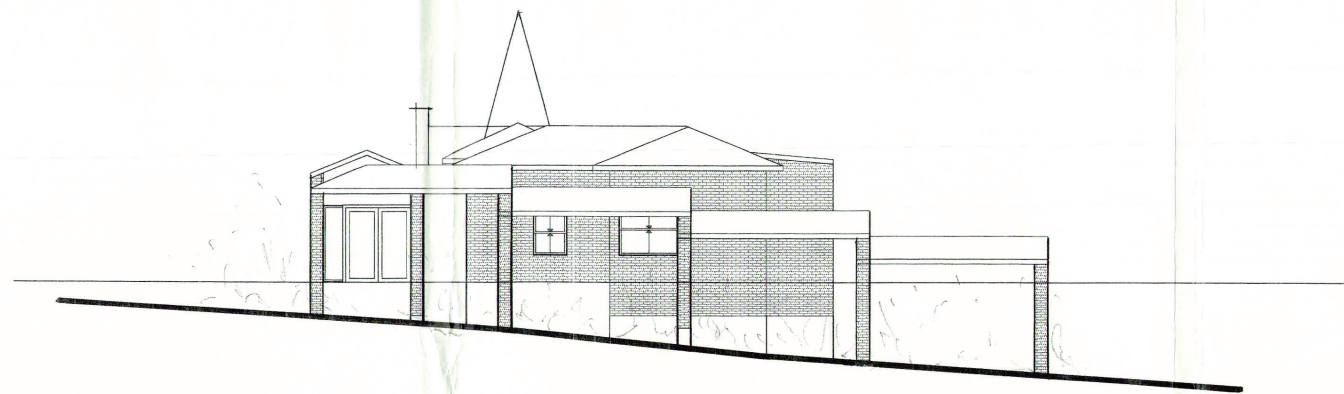
245 - 247
Canterbury Road
Forest Hill 3131

Drawing Title
Existing Floor Plan

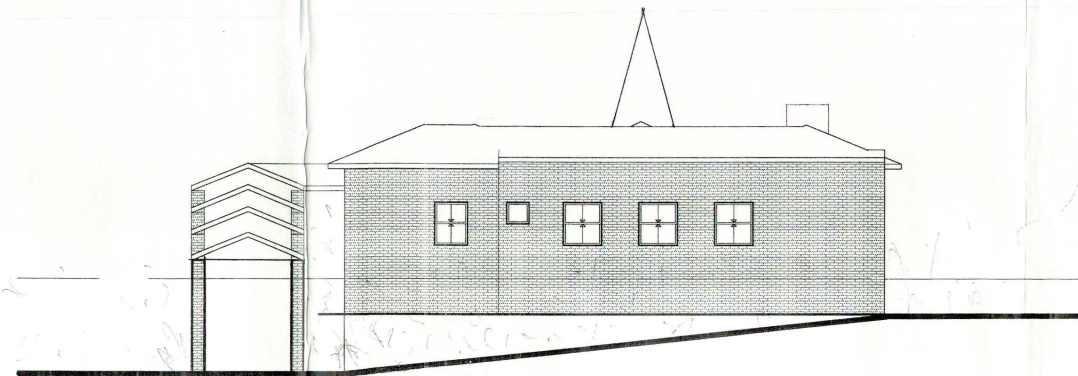
Drawn By: David Anderson Architect 5689	
Date: January 2008	Scale: 1:50
Drawing No: TP 2 of 2	Project No: 2006 - 12 / A

Existing Floor Plan
1 Plan

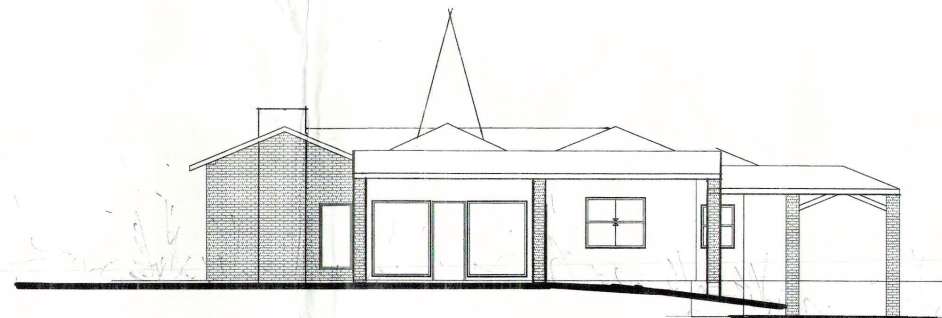




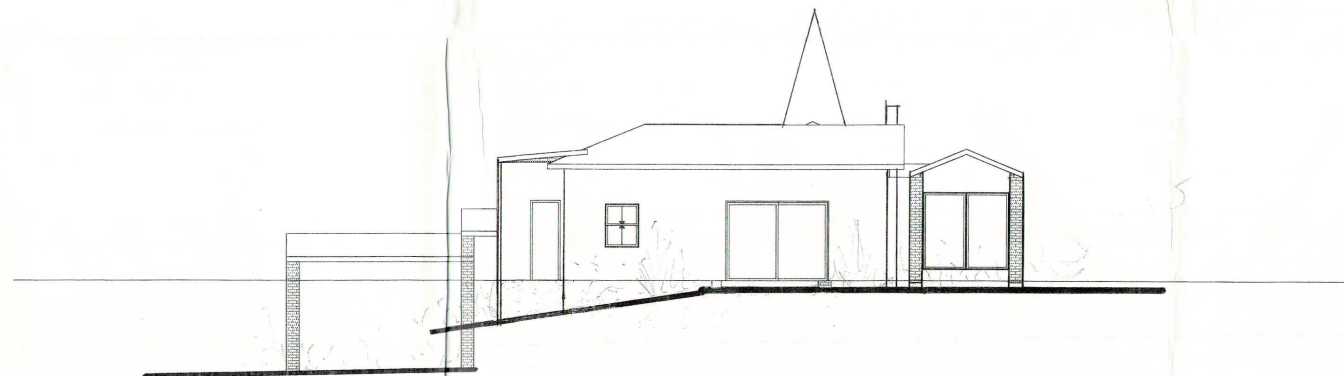
1 East Elevation
1:100



2 North Elevation
1:100



3 South Elevation
1:100



4 West Elevation
1:100

PLANNING AND ENVIRONMENT ACT 1987
WHITEHORSE PLANNING SCHEME
This endorsed plan is in
accordance with and forms
Part of Planning Permit No. W/1208/1487
[Signature]
Signature of the Responsible Authority
Sheet 3 of 5 Date 23.12.09

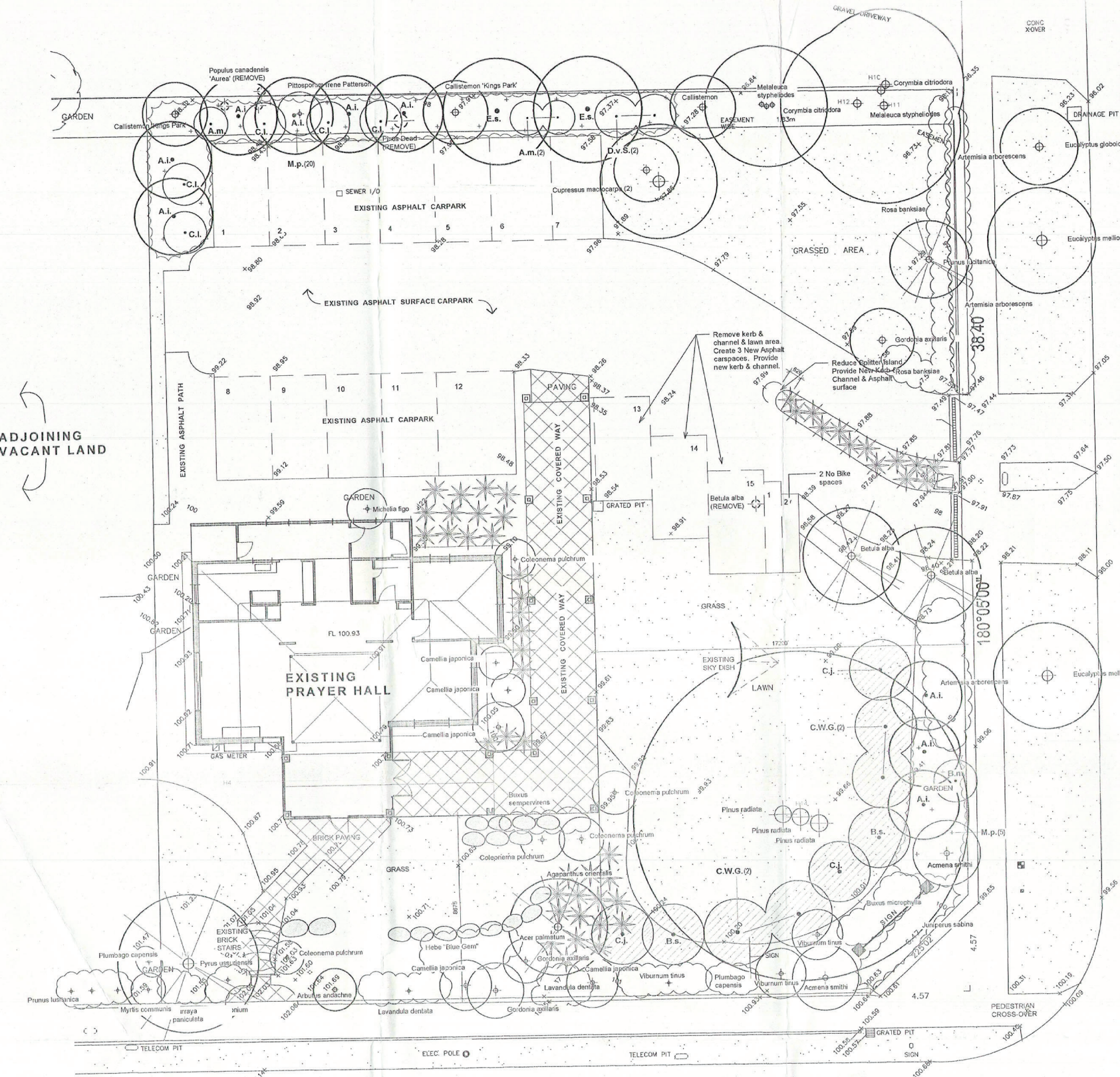
david anderson
ARCHITECT

506P / 191 Powlett Street T: 03 9029 4562
East Melbourne 3002 F: 03 8415 0894
Victoria, Australia M: 0407 823 569

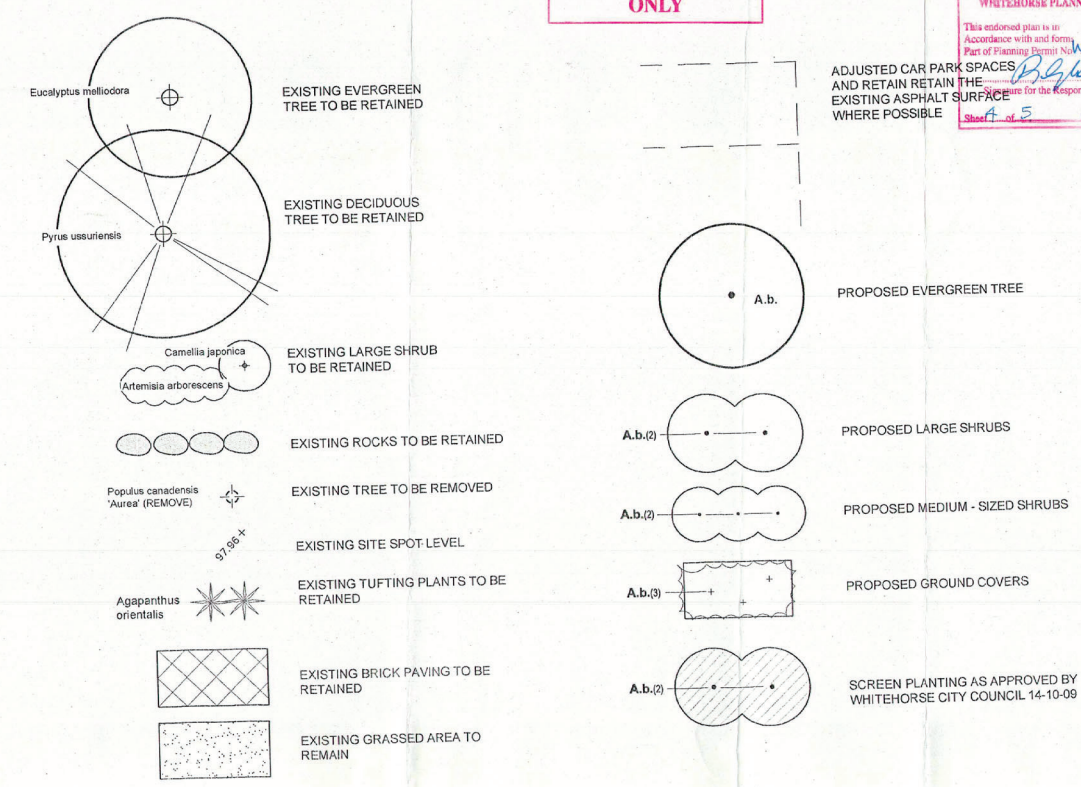
Project Title
Town Planning
Proposed Change of use of
Land to Place of Worship
245 - 247
Canterbury Road
Forest Hill 3131

Drawing Title
Elevations
CITY OF WHITEHORSE
RECEIVED
16 JUN 2008

Drawn By: David Anderson Architect, 5689	
Date: January 2008	Scale: 1:100
Drawing No: TP 3 of 3	Project No: 2006 - 12



LEGEND



LANDSCAPING PLAN ONLY

PLANNING AND ENVIRONMENT ACT 1997
 WHITEHORSE PLANNING SCHEME
 This endorsed plan is in accordance with and forms part of Planning Scheme No. 44/2008/1487
 ADJUSTED CAR PARK SPACES AND RETAIN THE EXISTING ASPHALT SURFACE WHERE POSSIBLE
 23.12.09

PLANT SCHEDULE AND QUANTITIES

HABIT	KEY	BOTANIC NAME	COMMON NAME	QTY	POT SIZE	HT. & SPR.
EVERGREEN TREES	A.I.	ACACIA IMPLEXA	LIGHTWOOD	9	150mm	8x3
	E.s.	EUCALYPTUS SCOPARIA	WALLANGARRA WHITE GUM	2	300mm	10x4
LARGE SHRUBS	B.m.	BANKSIA MARGINATA	SILVER BANKSIA	1	150mm	3x2.5
	C.I.	CASSINIA LONGIFOLIA	COMMON CASSINIA	5	160mm	2.5x2.0
	D.v.S.	DODONAEA VISCOSEA "SPATULATA"	HOP BUSH	2	150mm	2.5x1.5
	C.W.G.	CALLISTEMON "WESTERN GLORY"	BOTTLEBRUSH	4	150mm	4x3
	B.s.	BANKSIA SERRATA	SAW BANKSIA	2	150mm	4.5x2.5
MEDIUM SHRUBS	A.m.	ACACIA MYRTIFOLIA	WATTLE	3	150mm	2x1.5
	M.p.	MYOPORUM PARVIFOLIUM	CREEPING BOOBIALLA	25	150mm	0.1x1.0

Ht. x Spr. denotes height and spread at maturity in metres.

NOTES

- EXISTING TREES TO BE RETAINED:** Existing trees and shrubs to remain must be adequately protected during site works.
- CULTIVATION:** Prior to spreading topsoil to the areas of new planting, cultivate site soil to 150mm depth by mechanical means.
- IRRIGATION:** Install an in-ground automatic class 12 poly pipe and drip/emitter irrigation system to the areas of new planting with one emitter (minimum) to clusters / groups of plants of two square metres. Provide in-line filter system at take off point and at each valve.
- TOPSOIL:** To garden areas spread imported topsoil to a lightly rolled depth of 150mm layer over cultivated site soil. Imported topsoil to be a 50/50 mix of black sandy loam and medium textured gray-brown loam, pH range 6-7.
- PLANTS AND PLANTING:** All plants to be healthy disease-free specimens. Over-excavate all plant holes by at least three times the pot volume. Spread osmotic fertiliser to each plant hole at the following rates; 300mm pots 50gms/ea. and 150mm pots 25 gms/ea. Stake and tie trees by one 2100x32x32 pointed H.W. stake and large shrubs with one 1800x25x25 pointed H.W. stake. All ties to be flexible rubber or canvas ties in figure 8" configuration. Immediately after planting water-in all plants and maintain regular follow-up watering during establishment period.
- MAINTENANCE:** Maintain all garden beds in a neat and tidy condition. Regularly water garden beds and lawn areas during establishment period and during dry spells. Eradicate any weed growth.

This drawing is the copyright of, and may not be reproduced or transmitted without prior consent of Michael Smith and Associates Landscape Architecture and Urban Design

Amendments:
 17-12-09 additional screen planting

Print Issue: 5N° B1 Dr Khozema Kaka

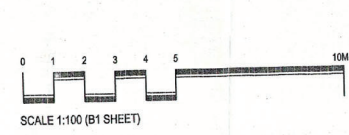
Title : LANDSCAPE DEVELOPMENT PLAN FOR 245-247 CANTERBURY ROAD, FORREST HILL

Client : Anjuman - E - Burhani

MICHAEL SMITH AND ASSOCIATES
 Landscape Architecture and Urban Design
 5 Jervis Street, Camberwell 3124
 Tel: 9830 0414, 9889 6106
 Fax: 9830 2555
 Mobile: 0418 172 863
 Email: mike@msalandurb.com.au

Drawn : P.C
 Date : 9.11.2009
 Project No. : 09-073
 Cad File : MSA Canterbury Road
 Drawing No. : Sheet 1 of 1

RECEIVED
 22 Oct 2009
 BY:



**LANDSCAPE DEVELOPMENT PLAN
 245-247 CANTERBURY ROAD, FORREST HILL**

PLANNING AND ENVIRONMENT ACT 1987
WHITEHORSE PLANNING SCHEME

This endorsed plan is in
accordance with and forms
Part of Planning Permit No. WH/2008/487

[Signature]
Signature for the Responsible Authority

Sheet 5 (4 pages) of 5 Date 23.12.09

CAR PARKING MANAGEMENT PLAN

Effective date: 1st November 2008

Address: 245-247 Canterbury Road, Blackburn

RECEIVED
22 DEC 2009
BY:

Purpose:

The purpose of this plan is to establish a firm set of requirements for Car parking that will form part of the rules to be abided by every member of Anjuman-e-Burhani during attendance at prayer meetings at “The Masjid” at 245-247 Canterbury Road, Blackburn.

1) Parking within the complex

There will be only 15 reserved spaces for Car parking within the complex and they will be allocated by Khozema Kaka, Property Development Manager, which will be renewable a yearly basis.

These 15 spaces will be allocated along the following guidelines:

- 8 spaces reserved for the Trustees of the Anjuman
- 3 spaces reserved for the Old and Aged members of the Anjuman
- 1 space reserved for the Host of the day
- 3 spaces reserved for the key volunteers allocated to the prayer meeting and for those who actively do car pooling

2) Parking outside the complex

All other members who do not park within the Markaz complex and also do not travel by Public Transport to the Markaz are to use only the available public spaces in the immediate vicinity of the Masjid complex. There are in excess of 25 such public spaces identified in the Traffic Management Plan.

Under no circumstances is any member permitted to park their car on either side of the street in Forest Road during prayer meetings as it causes a significant level of inconvenience to our neighbors and public buses regularly using Forest Road.

Car pooling arrangements that have been created since this plan was put in place will allow all members of the Anjuman who live near each other but far away from the Masjid, to share their cars. This minimizes travels costs for the members and limits the impact to the environment by simply reducing the cars on the road at any given time. It has been observed that the number of cars coming to the Masjid and parking outside the Masjid complex has been reduced by 65% as a result of this exercise which has proven to be very effective,

3) Members using Public transport

All members using public transport (trains, taxis and buses) to come to prayer meetings at the Masjid are required to enter from the pedestrian entrance located on Canterbury Road to minimize traffic at the car park entrance in Forest Road.

Those members who use public transport may avail of the car pick up arrangements put in place by the Trustees from the major railway stations of Blackburn and Nunawading.

Those using the bus services are able to access the Masjid by foot as the bus drop off is on Forest Road and the Forest Hill Chase Shopping Center on the opposite side of Canterbury Road.

4) Members using Bicycles

Members using bicycles are required to park in the allocated newly created bicycle spaces within the complex.

5) Visitors

The above plan encompasses all possible scenarios as regards members of the Anjuman attending prayer meetings. Prayer meetings are only attended by the members of the Anjuman and visitors are generally by invitation only. In the event that there are invitees to prayer meetings (during Idd-ul-Fitr and Open Days), the Property Development Manager will do a special allocation of onsite car parking spaces for the particular prayer meeting.

Communication with Members:

The plan outlined here will be communicated to all members of the Anjuman in the following manner:

- All members (including the aged) who have reserved car parking spaces within the complex will be informed of this individually by email.
- The Host of the day and the volunteers are allocated in advance for each prayer meeting and they will as a result take up their quota of

parking onsite for the duration of the prayer meeting they are in charge.

- When the email notice is sent out to all members there will be a reminder sent out as an automatically generated note in every notice and will read as follows “All members to strictly abide the car parking restrictions during prayer meetings at the Masjid”.
- There will also be a notice on the Anjuman notice board with the Masjid that will remind members of the car parking rules that are to be followed.
- The Trustees of they Anjuman will reserve the right to ask anyone not following the car parking rules to immediately leave the meeting and move their car to abide by the rules.

Conclusion:

This Car Parking Management Plan has now been implemented for more than 12 months and the Trustees have observed the following:

- No member has parked on either side of Forest Road
- Some members who do not have allocated spaces with the Masjid complex, park in available public spaces in the surrounding area without causing any disturbance to the neighbours or public buses accessing Forest Road.
- Some members who do not have allocated spaces with the Masjid complex, have car pooling arrangements in place which has reduced car usage by the members by >60%
- In the unusual circumstance that a member not having an allocated car park is late for a prayer meeting they do park within the complex and this generally causes minimal disturbance as a couple of members with reserved parking are not present on the day and these vacant spots are then occupied.
- Most of the student members use public transport either rail or bus and almost all of them access the Masjid complex by foot.
- One member living close uses a bicycle.

In light of the above and the continuous reminders and reinforcement of the car parking requirements to the members of the Anjuman, this Car Parking Management Plan has proved to be already functional over a sustained period of time and will continue to serve the Anjuman well into the future.