



EXISTING SITE & DEMOLITION PLAN 1:100

MULTI DWELLING DEVELOPMENTS
 CLIENT: RICHMON CORPORATION PTY LTD
 LOCATION: 199 CANTERBURY ROAD BLACKBURN



LY KEYS PROJECTS
 LEVEL 1, 1236 NEPEAN HIGHWAY, CHELTENHAM
 CONTACT: 95834783
 MOBILE: 0406 065 135

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 residential & commercial design and development
 PO BOX 66,
 BOX HILL, VIC, 3128
 MOBILE: 0498 998 888
 EMAIL: jack.zhong@u-designstudio.com.au

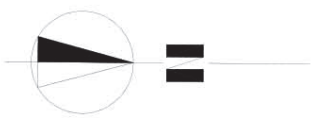
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Amendments:

DATE: DEC 2019 JOB NO: U018059
 DRAWN: JZ SCALES: AS SHOWN
 SHEET: 1 OF 13 CODE: TP



PROPOSED SITE & GROUND FLOOR PLAN 1:100



MULTI DWELLING DEVELOPMENTS
CLIENT: RICHMON CORPORATION PTY LTD
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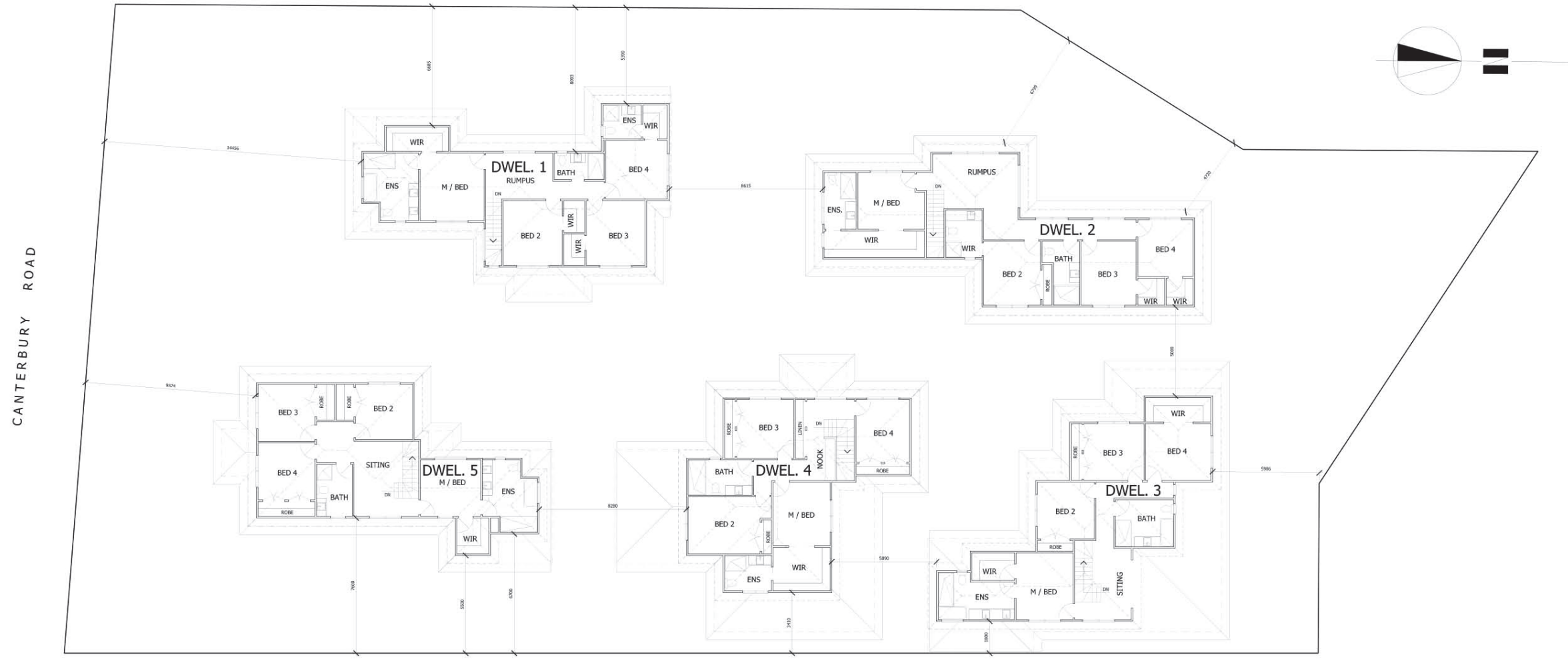
DATE: DEC 2019
DRAWN: JZ
SHEET: 2 OF 13
JOB NO: U018059
SCALES: AS SHOWN
CODE: TP

SITE ANALYSIS:

DWELLING "1"	DWELLING "2"	DWELLING "3"	DWELLING "4"	DWELLING "5"	TOTAL
TOTAL SITE AREA: 2037.65 M ²					
GROUND FLOOR AREA: 96.15 M ² / 10.35 SQ%	GROUND FLOOR AREA: 102.37 M ² / 11.03 SQ%	GROUND FLOOR AREA: 139.44 M ² / 15.01 SQ%	GROUND FLOOR AREA: 135.86 M ² / 10.36 SQ%	GROUND FLOOR AREA: 93.32 M ² / 10.04 SQ%	TOTAL GROUND BUILDING AREA: 747.79 M ²
FIRST FLOOR AREA: 194.87 M ² / 11.29 SQ%	FIRST FLOOR AREA: 114.98 M ² / 12.36 SQ%	FIRST FLOOR AREA: 104.28 M ² / 11.22 SQ%	FIRST FLOOR AREA: 98.14 M ² / 10.14 SQ%	FIRST FLOOR AREA: 96.95 M ² / 10.41 SQ%	TOTAL FIRST FLOOR BUILDING AREA: 519.22 M ²
GARAGE AREA: 37.35 M ² / 4.02 SQ%	GARAGE AREA: 37.10 M ² / 3.99 SQ%	GARAGE AREA: 37.28 M ² / 4.01 SQ%	GARAGE AREA: 36.95 M ² / 3.98 SQ%	GARAGE AREA: 37.46 M ² / 4.03 SQ%	PAVING HARD SURFACE AREA: 406.12 M ²
PORCH AREA: 3.94 M ² / 0.42 SQ%	PORCH AREA: 4.21 M ² / 0.45 SQ%	PORCH AREA: 4.45 M ² / 0.48 SQ%	PORCH AREA: 5.01 M ² / 0.29 SQ%	PORCH AREA: 3.91 M ² / 0.42 SQ%	PAVING HARD SURFACE SITE COVERAGE: 19.98%
TOTAL AREA: 242.32 M ² / 26.08 SQ%	TOTAL AREA: 258.66 M ² / 27.84 SQ%	TOTAL AREA: 285.43 M ² / 30.72 SQ%	TOTAL AREA: 275.96 M ² / 29.70 SQ%	TOTAL AREA: 231.64 M ² / 24.93 SQ%	TOTAL BUILDING AND PAVING HARD SURFACE COVERAGE: 45.47%
					TOTAL GARDENING AREA: 1344.16 M ² / 45.09%

BUILDING MATERIALS, FINISHES & COLOURS

MATERIAL	FINISH	COLOUR
ROOF CLADDING	TILE ROOF	GREY
RENDER CLADDING	RENDERED EXTER	CREAM
FASCIA	ALUMINIUM FASCIA	CREAM
SPOULTING	GRAND SPONTING	CREAM
WINDOWS	POWDER COATED ALUMINIUM FRAME	BLACK
ENTRY DOOR	TIMBER	TAN / BROWN
GARAGE DOOR	COLOURED	CREAM
FRONT FENCING / WALL	BRICK	BROWN / STAINED BRK



PROPOSED SITE & FIRST FLOOR PLAN 1:100

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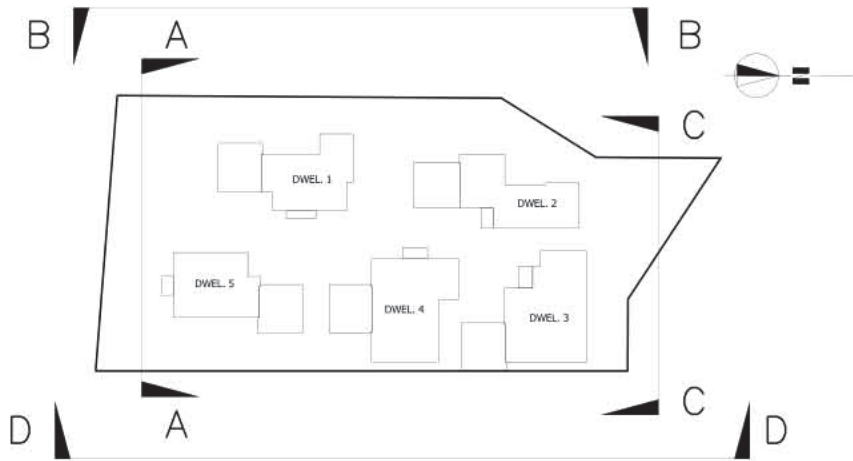
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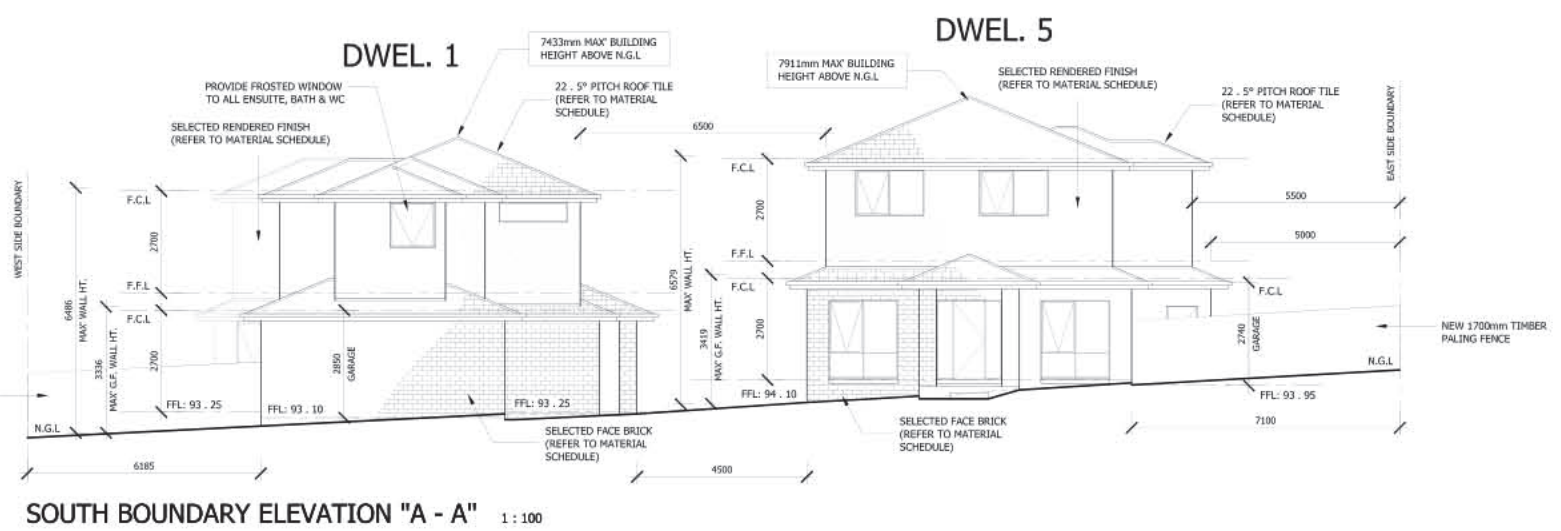
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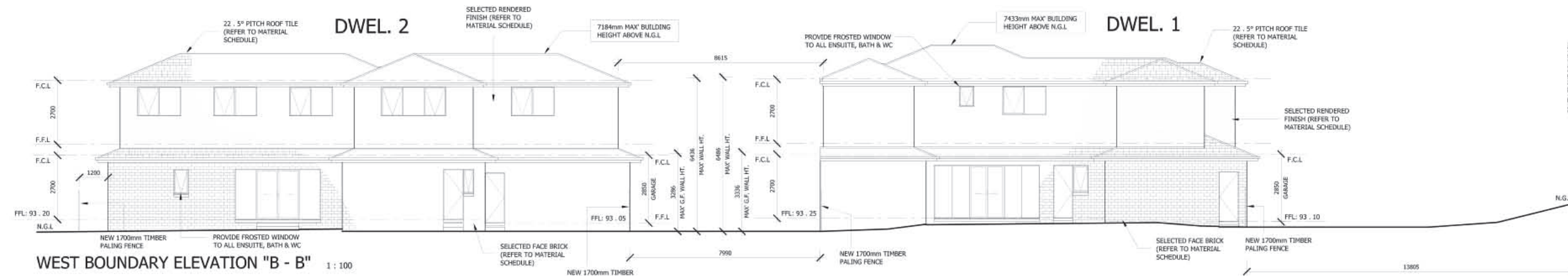
DATE: DEC 2019
 DRAWN: JZ
 SHEET: 3 OF 13
 JOB NO: U018059
 SCALES: AS SHOWN
 CODE: TP



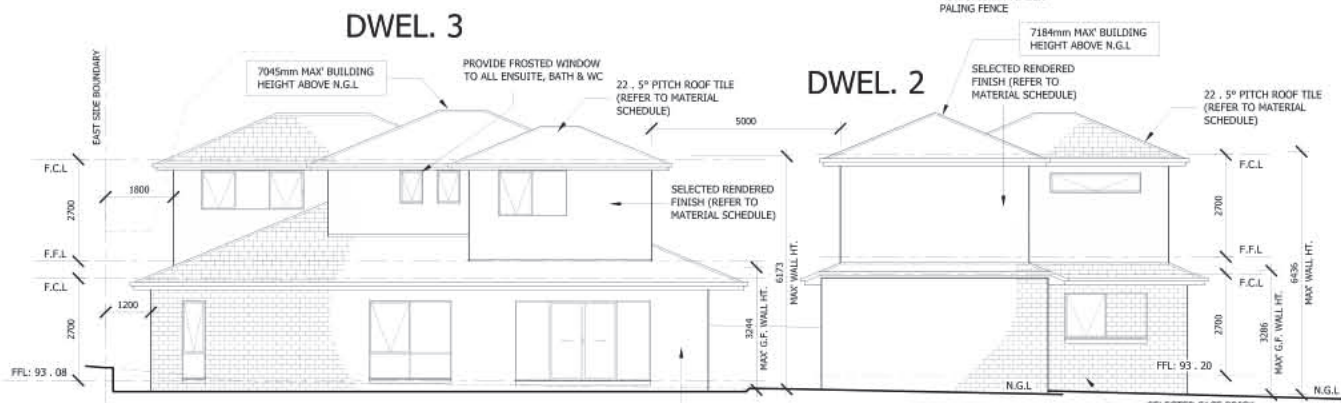
ELEVATION LOCATION PLAN 1:100
(NOT TO SCALE)



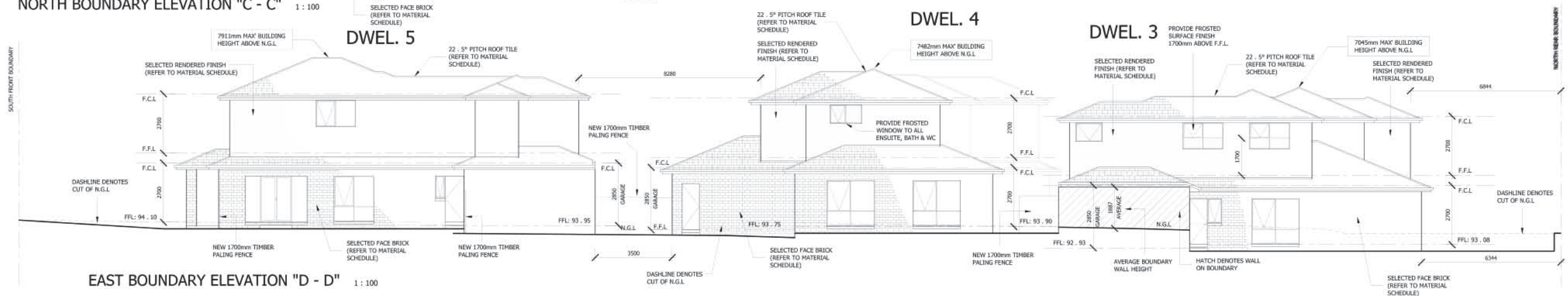
SOUTH BOUNDARY ELEVATION "A - A" 1:100



WEST BOUNDARY ELEVATION "B - B" 1:100



NORTH BOUNDARY ELEVATION "C - C" 1:100



EAST BOUNDARY ELEVATION "D - D" 1:100

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DRAWING PRODUCED BY
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residential & commercial design and development
PO BOX 68
BOX HILL, VIC 3128
MOBILE: 0498 918 880
EMAIL: jack.thou@udesignstudio.com.au

ELEVATION

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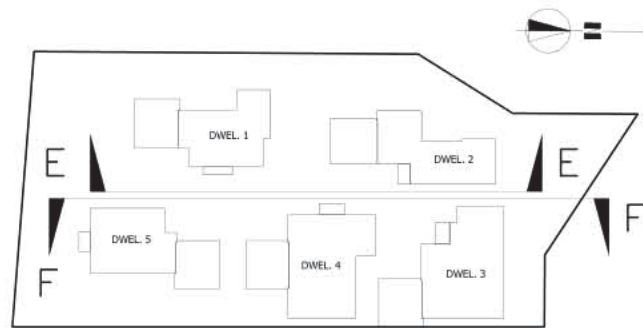
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SHEET: 4 OF 13

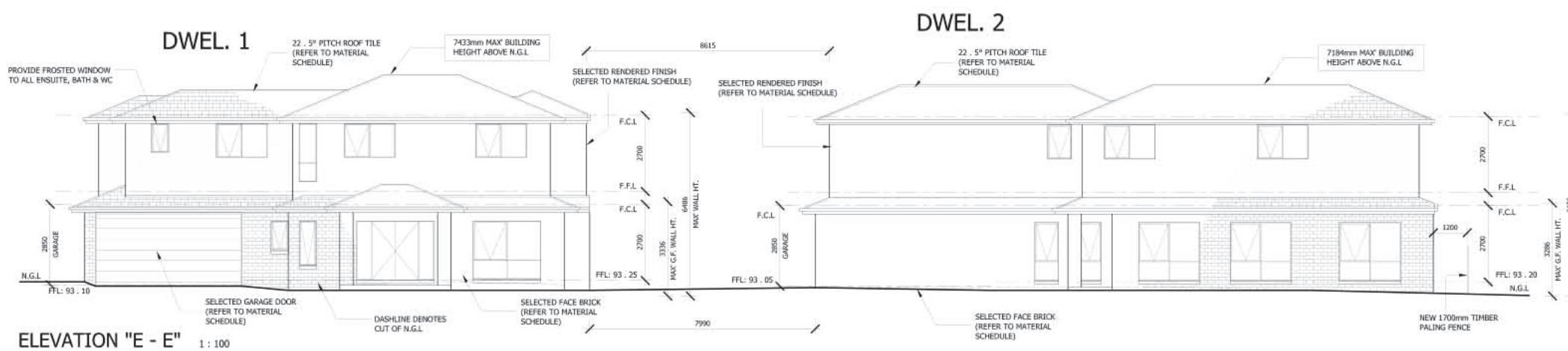
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SCALE: AS SHOWN

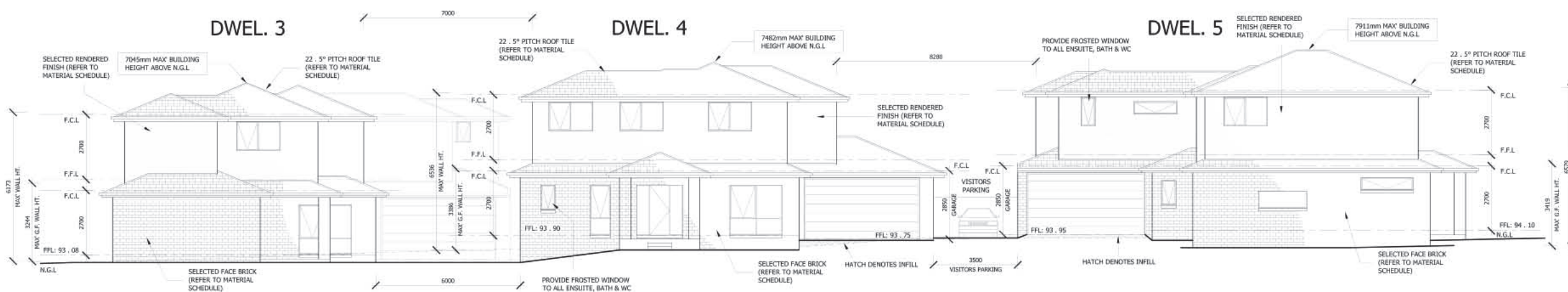
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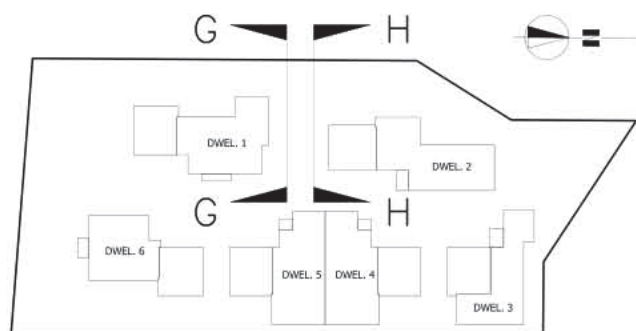
ELEVATION LOCATION PLAN 1:100
(NOT TO SCALE)



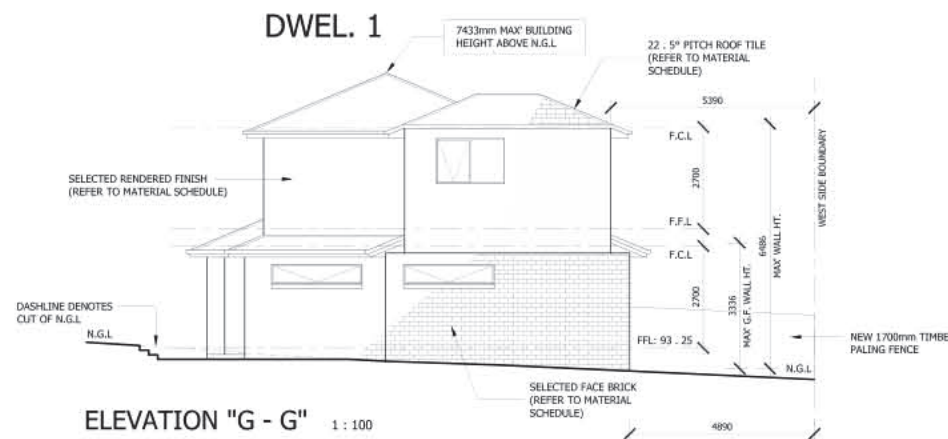
ELEVATION "E - E" 1:100



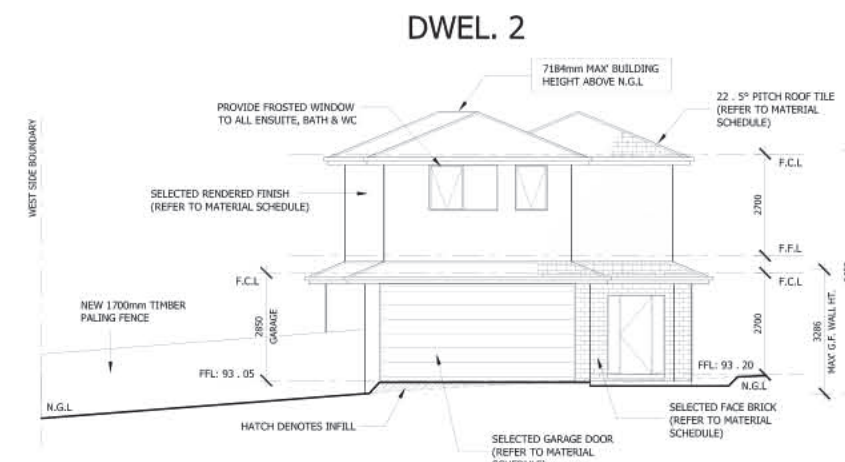
ELEVATION "F - F" 1:100



ELEVATION LOCATION PLAN 1:100
(NOT TO SCALE)



ELEVATION "G - G" 1:100



ELEVATION "H - H" 1:100

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 U DESIGN STUDIO
 residential & commercial design and development
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 BOX HILL, VIC 3128
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 EMAIL: jack.thoult@udesignstudio.com.au

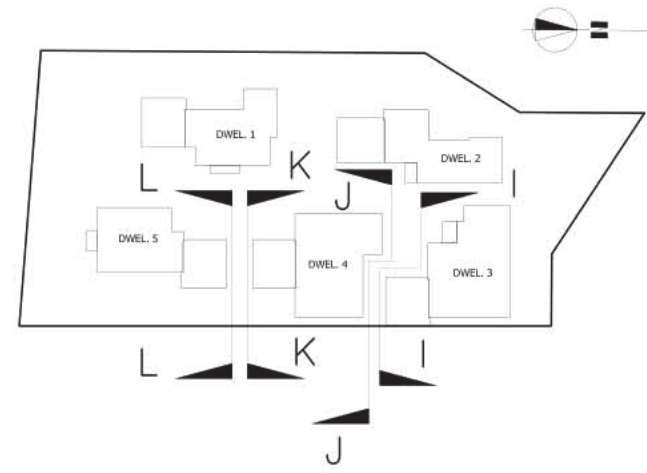
ELEVATION

DRAWING SHEET: A1 = 1:100 DRAWING SHEET: A3 = 1:200

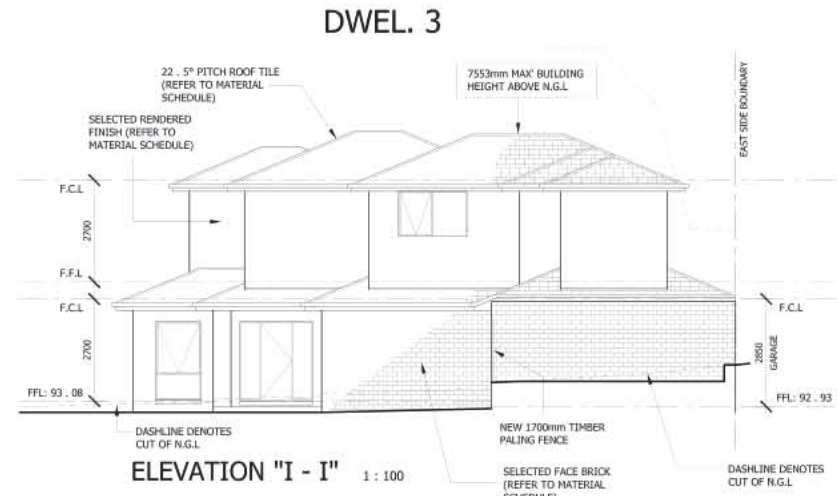
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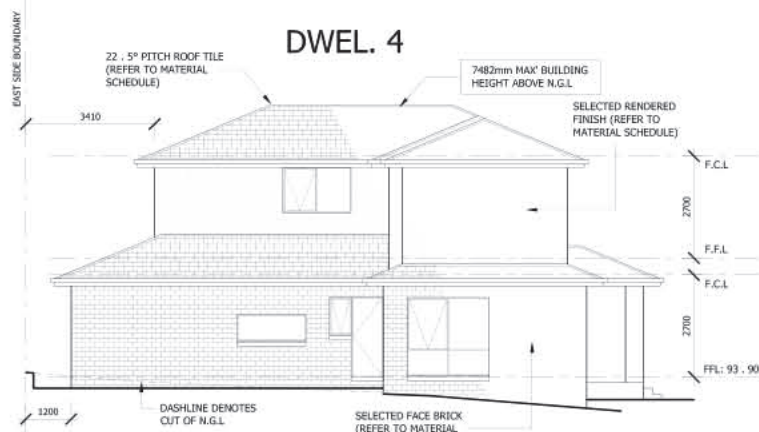
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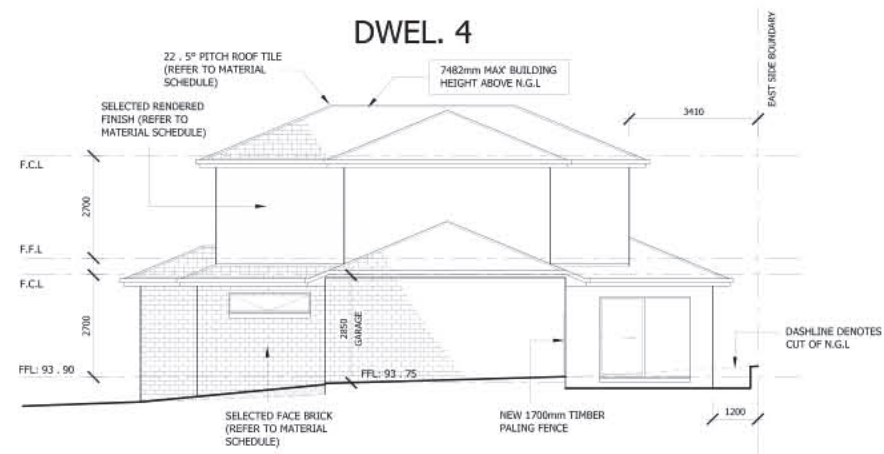
ELEVATION LOCATION PLAN 1 : 100
(NOT TO SCALE)



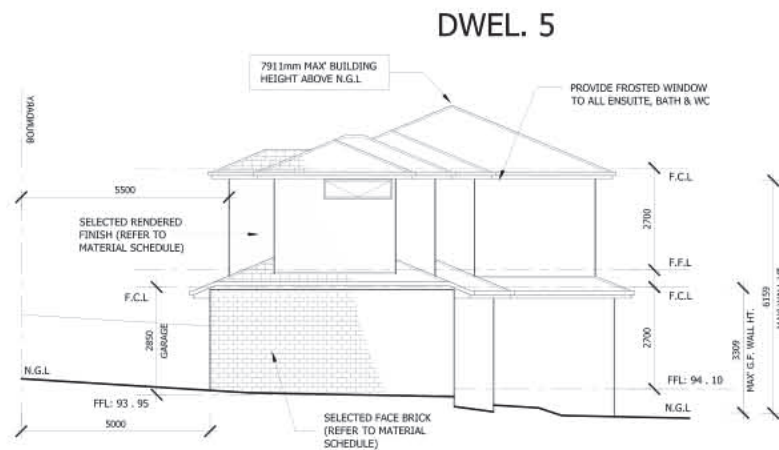
ELEVATION "I - I" 1 : 100



ELEVATION "J - J" 1 : 100



DWEL. 4



ELEVATION "L - L" 1 : 100

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ELEVATION

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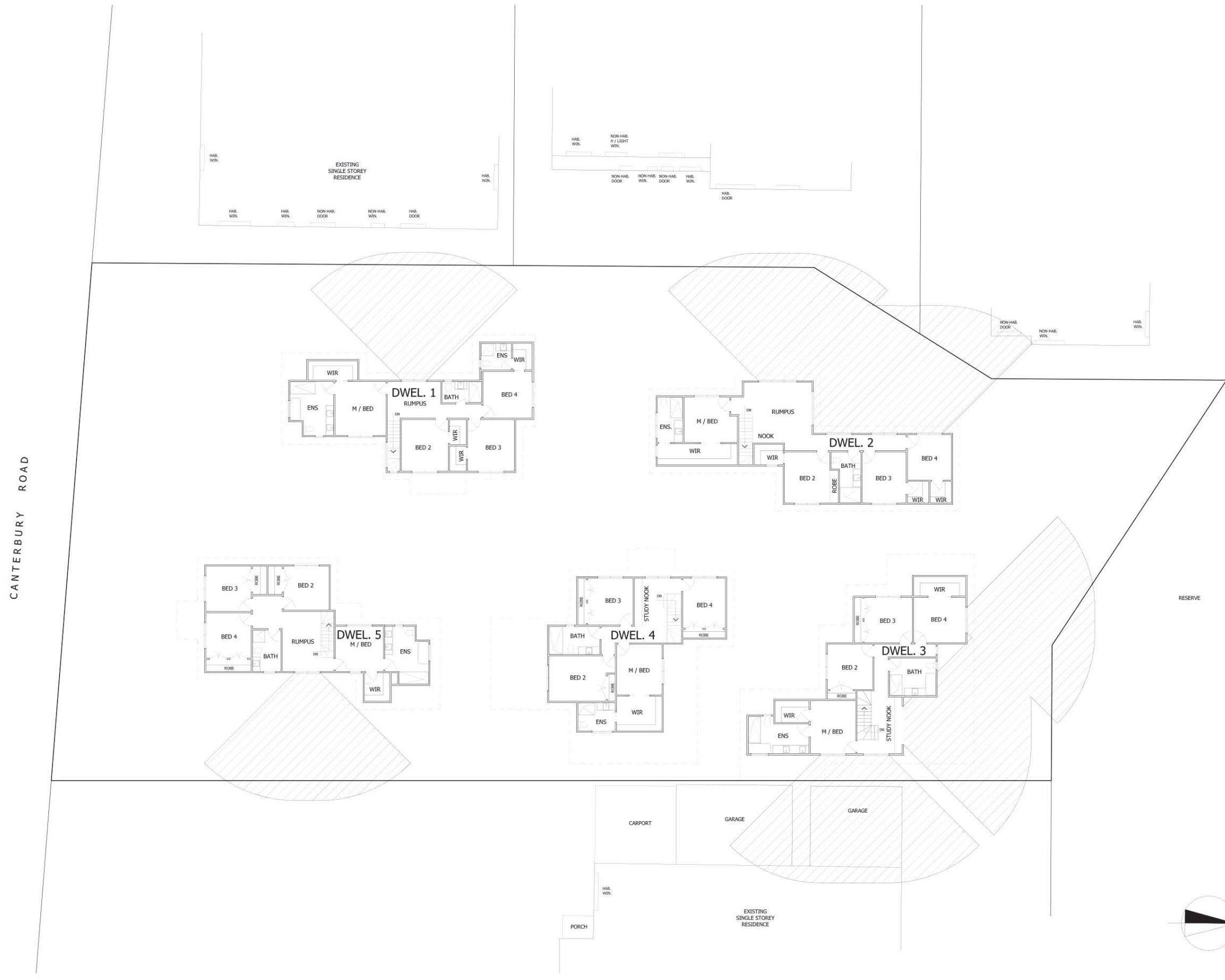
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SHEET: 6 OF 13 CODE: TP

LEGEND

 9000MM OVERLOOKING ZONE



PROPOSED SITE & FIRST FLOOR OVERLOOKING ANALYSIS 1:100

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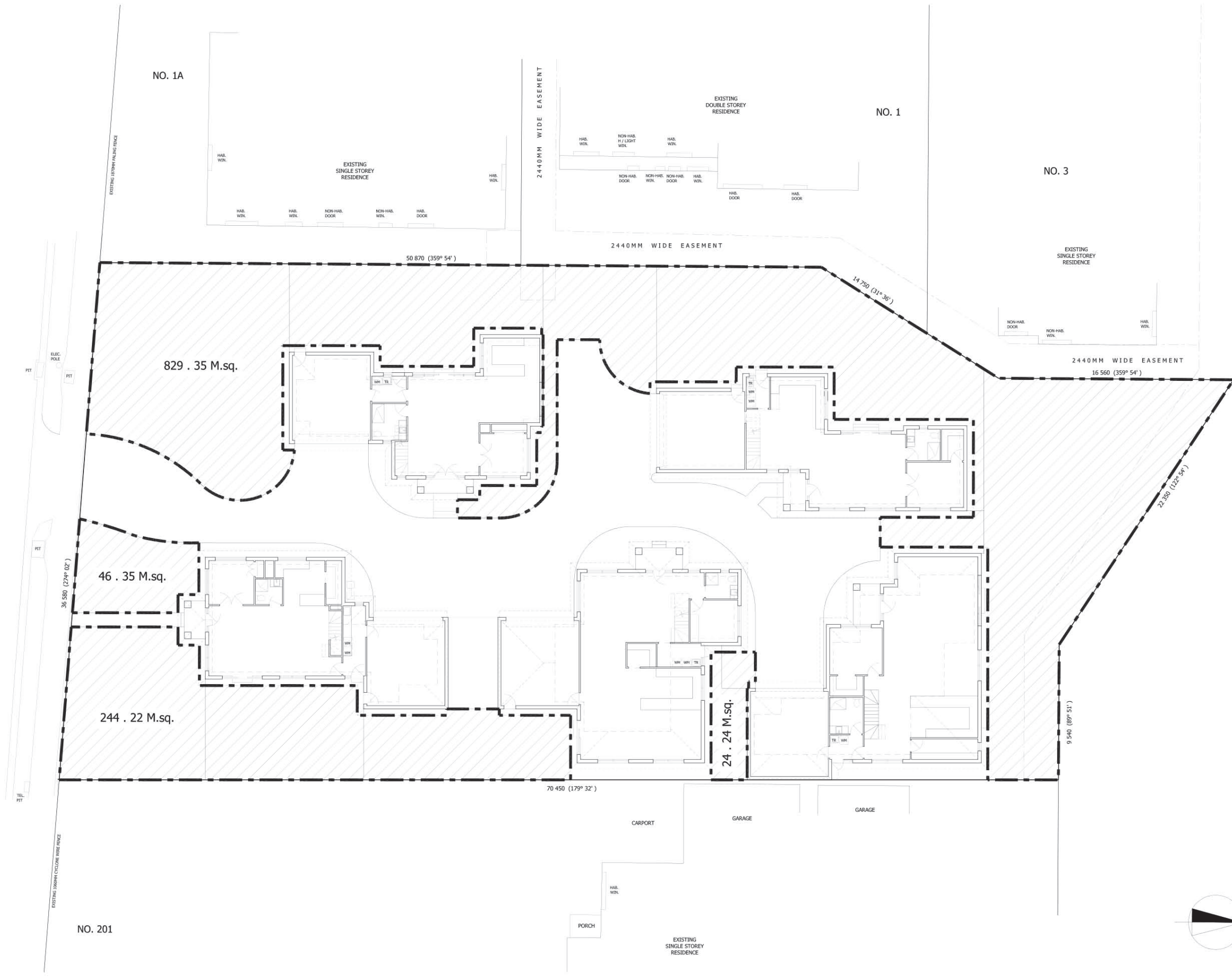
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 SHEET: 7 OF 13 CODE: TP

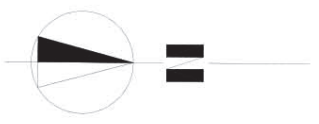
SITE GARDEN AREA ANALYSIS:

TOTAL SITE AREA: 2537 . 66 M.sq.
 35 % GARDENING AREA: 888 . 18 M.sq.
 TOTAL PROPOSED GARDENING AREA: 1144 . 16 M.sq.
 GARDENING AREA: 45 . 99 %

CANTERBURY ROAD



GARDEN AREA ANALYSIS PLAN 1:100



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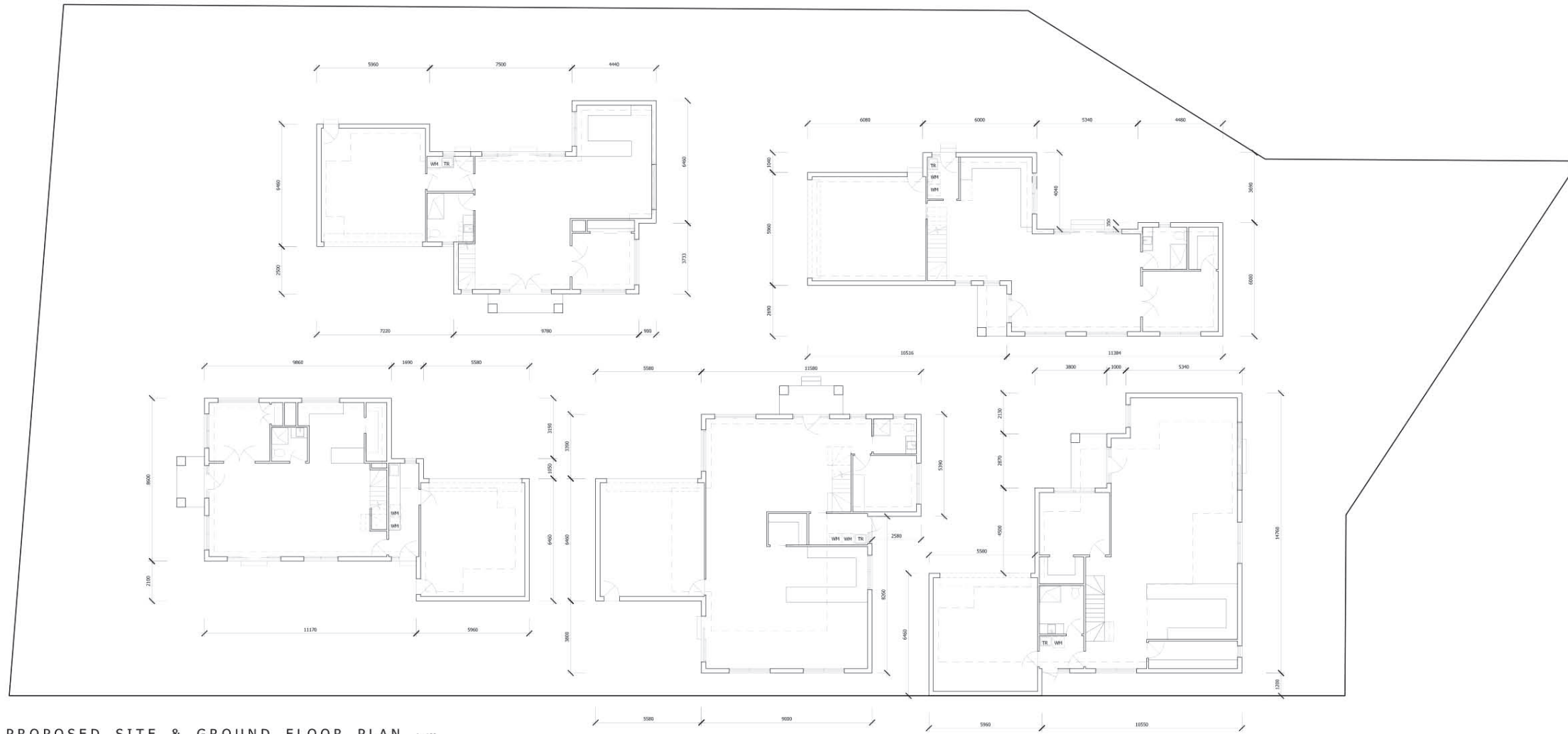


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 SHEET: 8 OF 13 CODE: TP



PROPOSED STREETScape ELEVATION 1:100



PROPOSED SITE & GROUND FLOOR PLAN 1:100

MULTI DWELLING DEVELOPMENTS

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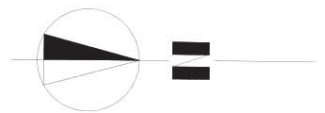
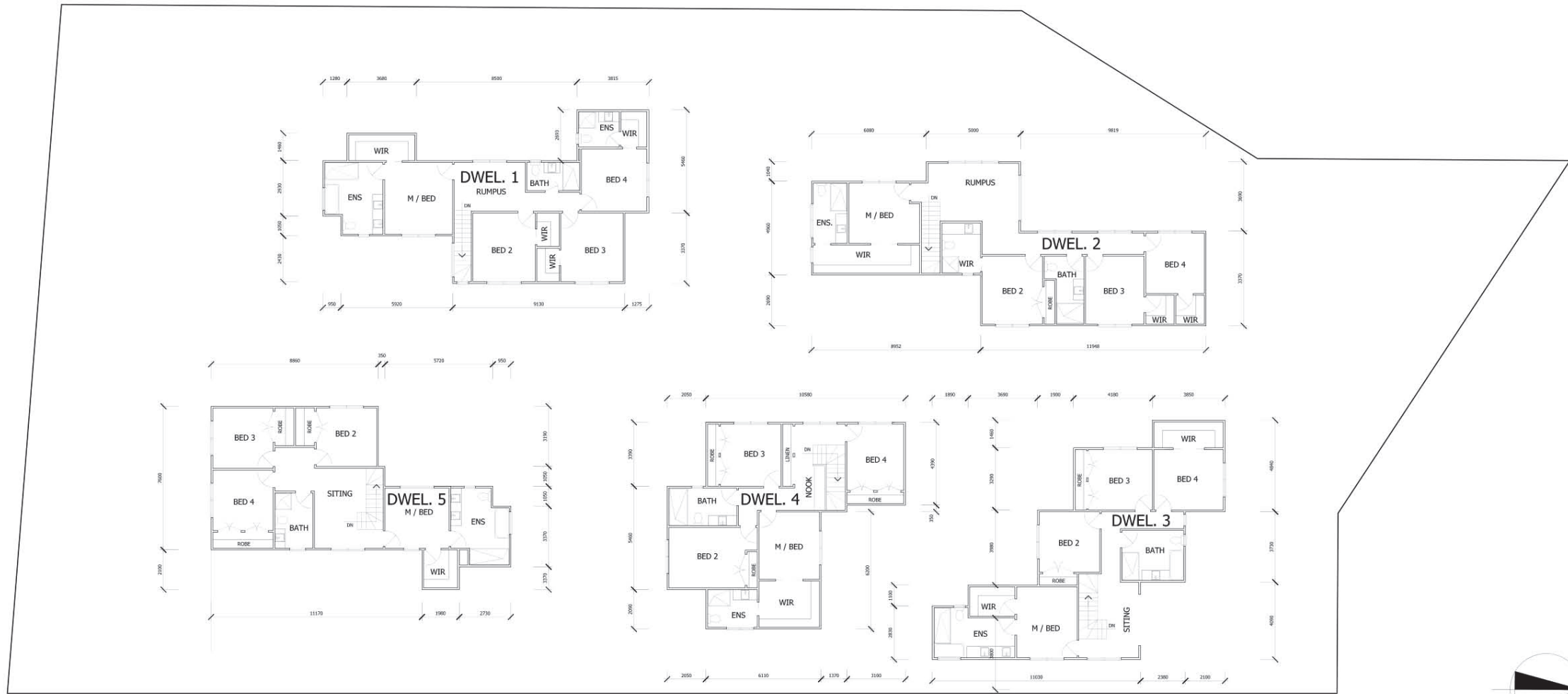
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CANTERBURY ROAD



PROPOSED SITE & FIRST FLOOR PLAN 1 : 100

MULTI DWELLING DEVELOPMENTS

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9 : 00 AM SHADOW DIAGRAM

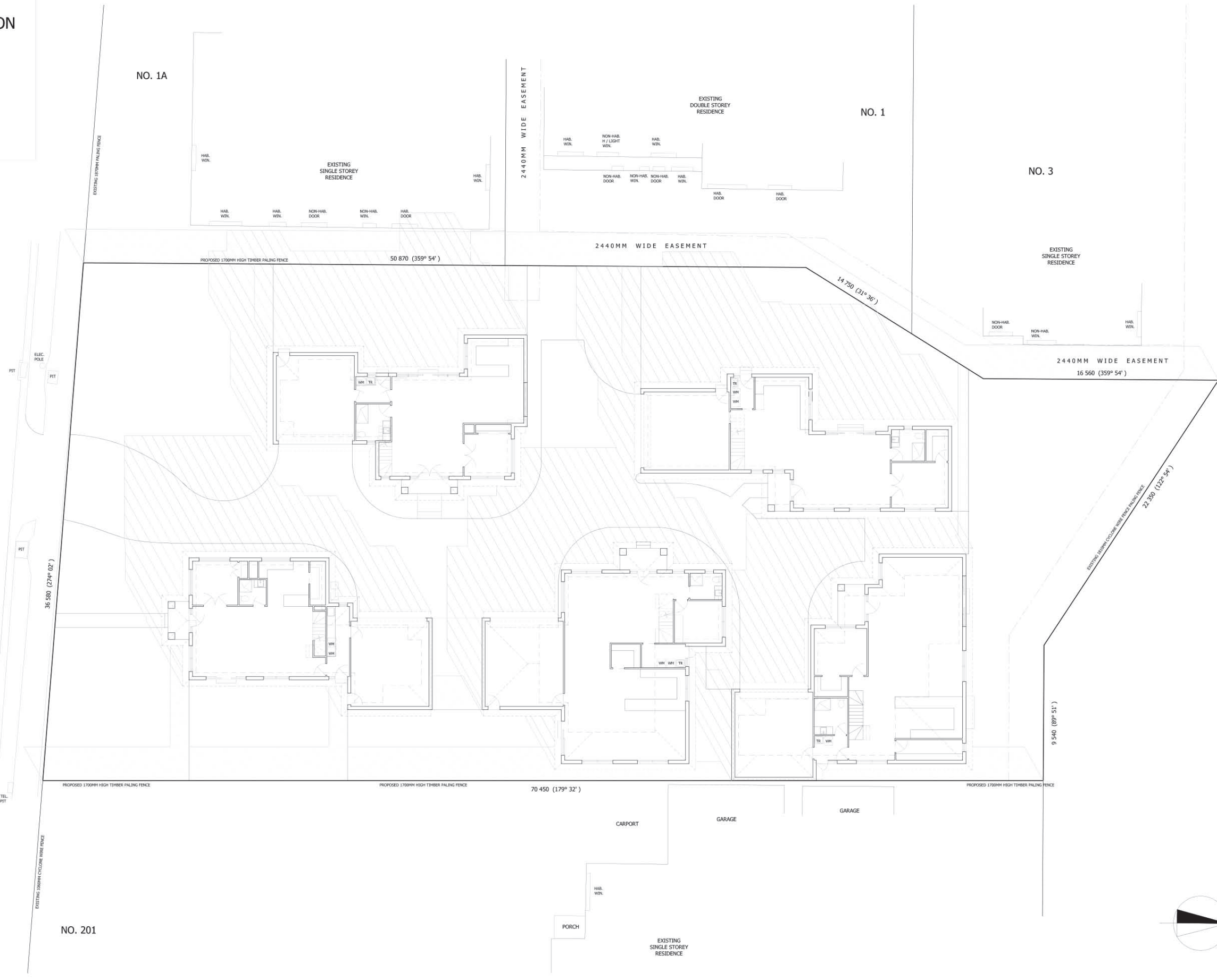
SHADOW INFORMATION

22nd SEPTEMBER
 9 : 00 AM
 ALTITUDE: 31°
 AZIMUTH: N 61° E

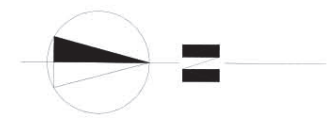
LEGEND

-  PROPOSED DWELLING SHADOW
-  PROPOSED & EXISTING FENCE SHADOW

CANTERBURY ROAD



BAGDSEARSATFANALYOSJNFLANLQQR PLAN 1:100



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12 : 00 PM SHADOW DIAGRAM

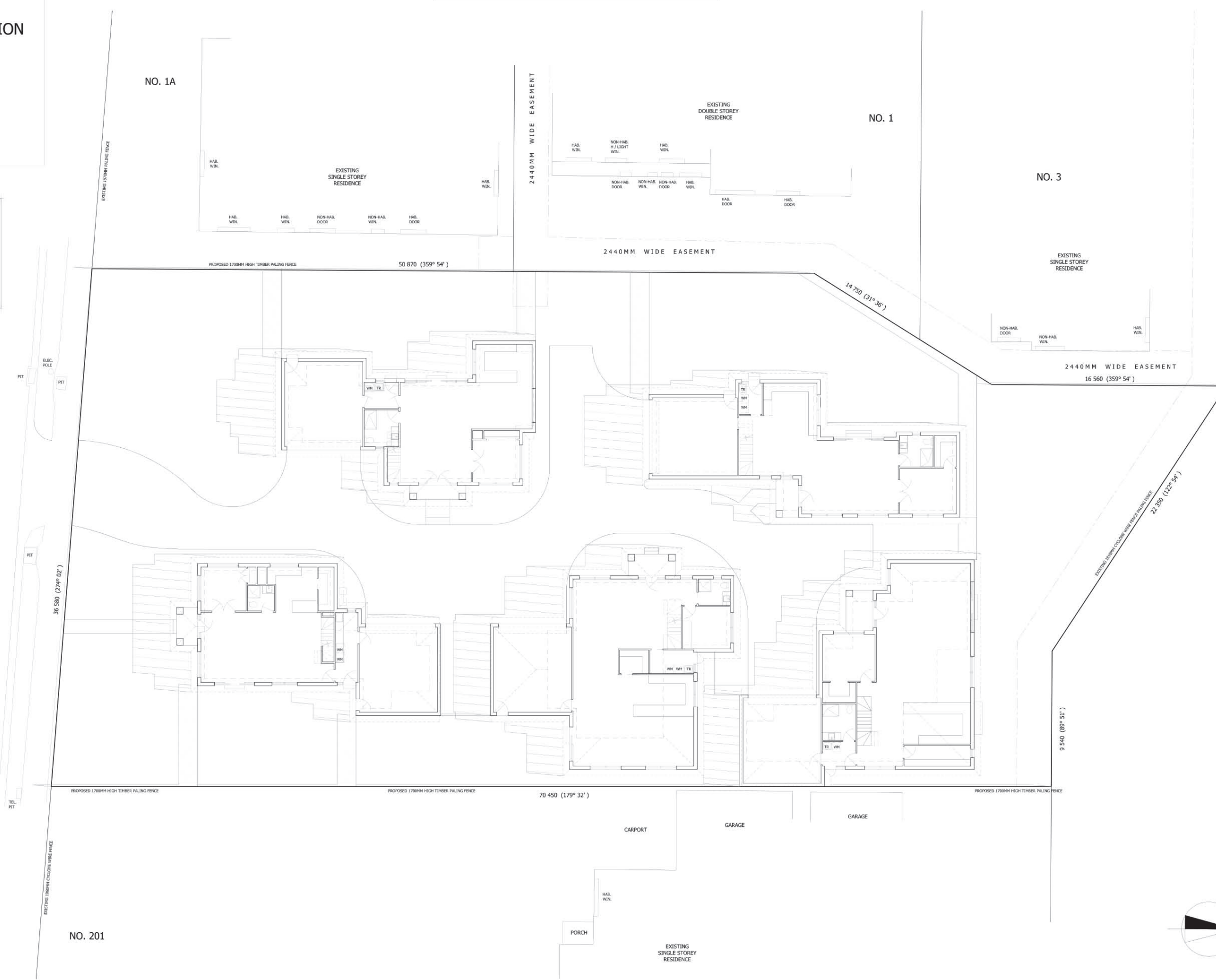
SHADOW INFORMATION

22nd SEPTEMBER
 12 : 00 PM
 ALTITUDE: 52°
 AZIMUTH: N 6° E

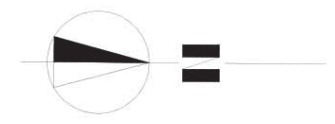
LEGEND

-  PROPOSED DWELLING SHADOW
-  PROPOSED & EXISTING FENCE SHADOW

CANTERBURY ROAD



BAGDSEARSATFANALYOSJNFLANLQQR PLAN 1:100



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3 : 00 PM SHADOW DIAGRAM

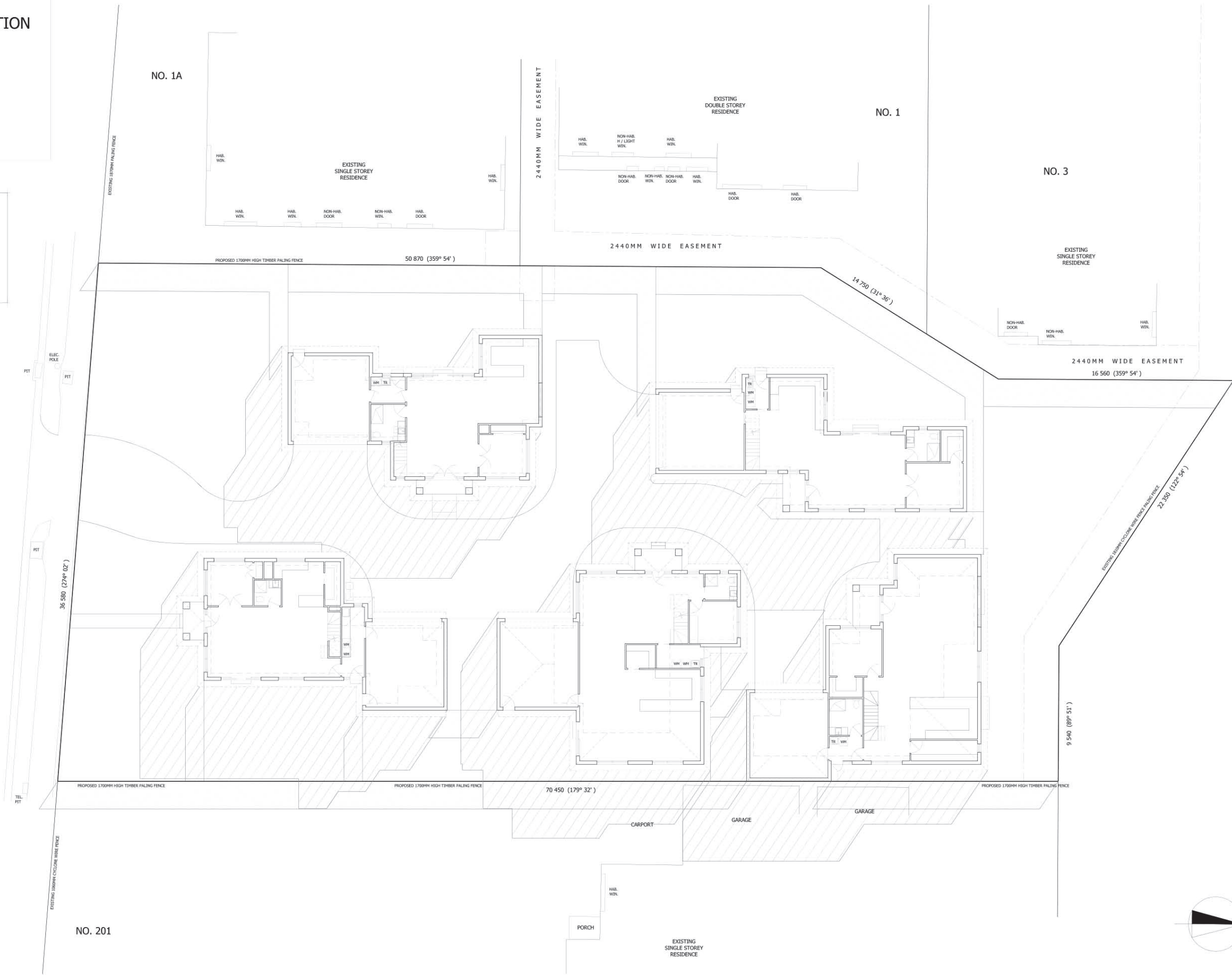
SHADOW INFORMATION

22nd SEPTEMBER
3 : 00 PM
ALTITUDE: 36°
AZIMUTH: N 56° W

LEGEND

-  PROPOSED DWELLING SHADOW
-  PROPOSED & EXISTING FENCE SHADOW

CANTERBURY ROAD



BAGDSEARSATFANALYOSJNPLANLQQR PLAN 1:100

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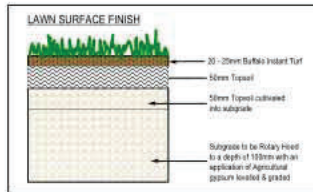
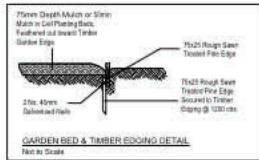
DRAWING SHEET: **A0 = 1:100** DRAWING SHEET:

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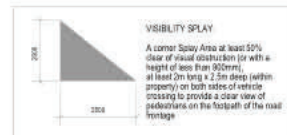
C

Amendments:

DATE:	DEC 2019	JOB NO:	U018059
DRAWN:	JZ	SCALES:	AS SHOWN
SHEET:	13 OF 13	CODE:	TP



PLANTING SCHEDULE						
	ID	Qty	Common Name	Botanical Name	Height x Width @ Maturity (m)	Pot Size @ Install (cm)
Trees						
	Al	2	Lightwood	Acacia implexa	8.0 x 5.0	30
	CFL	2	Dwarf Flowering Gum	Corymbia ficifolia 'Lollypops'	7.0 x 4.0	30
	Epo	2	Red Box	Eucalyptus polyanthemos	15 x 8.0	30
	Er	2	Narrow-leaved Peppermint	Eucalyptus radiata	15 x 8.0	30
Shrubs & Groundcovers						
	Aa	22	Gold Dust Wattle	Acacia acinacea	2.0 x 1.5	20
	ALL	7	Dwarf Bower Wattle	Acacia cognata 'Limeight'	1.2 x 1.2	20
	B'BC	23	Birthday Candles	Banksia 'Birthday Candles'	0.3 x 0.8	14
	Bo'M	19	Boronia	Boronia heterophylla 'Moon glow'	1.0 x 1.5	14
	C'S'	23	Slim	Callistemon 'Slim'	3.0 x 1.0	20
	C'DB'	30	Dusky Bells	Correa 'Dusky Bells'	0.2 x 1.0	tubestock
	Cr	20	Common Correa	Correa reflexa	1.5 x 0.9	14
	Go	21	Hop Goodenia	Goodenia ovata	1.0 x 1.0	14
	Mp'Y'	43	Creeping Boobialla	Myoporum 'Yareena'	0.1 x 1.0	tubestock
	Or	21	Twiggy Daisy Bush	Olearia ramulosa	0.7 x 0.7	14
	S'BR'	45	Lily Pilly	Syzygium 'Big Red'	3.0 x 1.5	20
	W'WG'	26	Wynabbie Gem	Westringia 'Wynabbie Gem'	1.2 x 1.0	14
Grasses						
	DI	84	Pale Flax Lily	Dianella longifolia	0.6 x 0.6	tubestock
	Dta	22	Tasman Flax Lily	Dianella tasmanica	1.0 x 1.0	tubestock
	L'LV'	66	Lime Wave	Lomandra 'Lime Wave'	0.5 x 0.5	tubestock
	L'LC'	64	Little Con	Lomandra 'Little Con'	0.3 x 0.3	tubestock



LANDSCAPE CONSTRUCTION SPECIFICATIONS

SUBGRADE PREPARATION:
Site preparation to be carried out under suitable conditions and in accordance with standard horticulture practice. The use of machinery and tools that may damage soil structure is not acceptable. Garden bed and lawn sub-grade is to be cultivated to a depth of 150mm and shaped to achieve drainage falls prior to adding topsoil. If gypsum is required, this is to be distributed and cultivated into the sub-grade as per the manufacturer's instructions. Weeds are to be removed prior to sub-grade preparation, top-soiling and planting.

SOIL PREPARATION:
Imported topsoil is to be supplied by an approved supplier to a depth of approximately 150-300mm (as required) for garden beds. Do not spread in muddy conditions. The topsoil is to be a light to medium friable loam (capable of being compressed into a soil by hand when moist yet can be broken apart immediately after). It's PH will be 6.0 - 7.5 and free from perennial weeds and building rubble. The finished top level after settlement should be 75mm below the edging level to allow for mulch. Imported topsoil for lawn areas to be supplied to a depth of approximately 100mm (or as required).

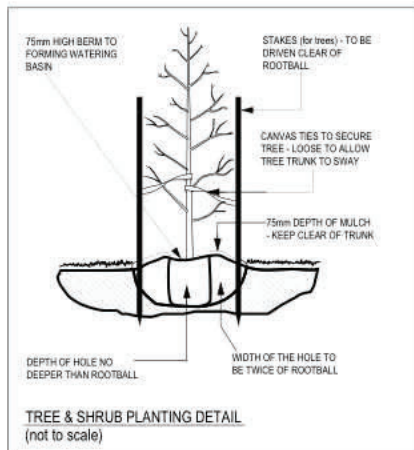
TIMBER EDGING:
Timber edging is to be installed to separate all lawn, planting areas and hydro topping / pebble areas. The treated pine timber (or similar) is to be 75mm x 25mm in size, secured with 300mm long stakes at 1000mm spacing.

PLANTS AND PLANTING:
Trees and plants supplied are to be healthy and free from insects, diseases and weeds. The pot sizes indicated in the plant schedule are the minimum size to be supplied and installed. When each planting area is prepared, if soil is dry, fill with water and allow to drain away completely. Plant roots are to be teased outwards if roots are matted in pot. Place plant in centre of hole and ensure that the top of the rootball is flush with the surrounding soil surface and the trunk is vertical. Soil is to be backfilled firmly into the hole and thoroughly watered in. Trees are to be staked with two hardwood stakes driven firmly into the ground but not through the rootball. Trees are to be secured with strong but flexible tree ties that are tight enough to support the trees in windy conditions but loose enough to stimulate good tree growth and development. The tree ties must not injure tree bark or restrict tree growth for at least the first three years of tree growth. A slow release fertiliser (e.g. Osmocote or similar) is to be applied to all garden beds as specified by the manufacturer and be kept away from the plant trunks and then watered immediately. A layer of aged organic mulch to a minimum depth of 75mm is to be applied to all planting areas after planting is completed.

IRRIGATION:
An in-ground drip irrigation system is to be installed to water all planting areas.

DRAINAGE:
Surface and sub-surface drainage is to be specified by a certified consulting engineer.

TREE REGENERATION NOTES:
Under Clause 22.04 (Tree Conservation), a New Tree must meet the following conditions:
i) Separated by a distance of 3 metres from a building
ii) Situated in an area of 25m² of open ground with a minimum dimension of 5 metres that is free of buildings and impervious surfaces and of tree canopies, to minimise competition and facilitate normal growth.
iii) Is not within land encumbered by an easement.



- STRUCTURAL ROOT ZONE
- TREE PROTECTION ZONE
- TREES TO BE REMOVED
- EXISTING TREES
- STEPPING STONES
- GRAVEL
- DROUGHT TOLERANT LAWN (Buffalo or similar)
- GRASSCRETE & CONCRETE Maximum - 50% CONCRETE
- COLOURED CONCRETE
- IN-GROUND DRIP IRRIGATION SYSTEM INSTALLED TO WATER GARDEN BEDS
- TIMBER EDGING INSTALLED TO SEPARATE LAWN, GARDEN BEDS & GRAVEL
- ALL GARDEN BEDS TO HAVE MINIMUM 75MM LAYER OF DARK-COLOURED COMPOSTED MULCH (e.g. Black Pine Bark or Mushroom Compost)

D	12/19	Rev 3
C	10/19	Rev 2
B	06/19	Rev 1
A	03/19	Design 1

NO DATE NOTE
THE BUILDER IS RESPONSIBLE FOR THE SETTING OUT OF THE WORKS, THE CHECKING OF ALL DIMENSIONS AND LEVELS ON SITE, AND THE REPORTING OF ANY DISCREPANCIES TO THE PROPRIETOR PRIOR TO COMMENCEMENT OF WORK. DO NOT SCALE FROM DRAWINGS.

Client
Richmon Corp. Pty. Ltd.

Address
199 Canterbury Road
Blackburn

Project
Multi Dwelling
Development
Drawing
Landscape Plan

Zenith Concepts
Landscape Design
171 Abbott Street, Sandringham
PO Box 9087
P 03 9598 2129
M 0411 399 937
E landscaper@zenithconcepts.com

Scale 1:200	
Date December 2019	
Rev.	Dwg No.
D	Sheet 1 of 1 (A1)