

SUSTAINABLE MANAGEMENT PLAN NOTES

THE REQUIREMENTS OF THE SUSTAINABLE MANAGEMENT PLAN ARE INCORPORATED INTO THE PROPOSED BUILDING.

THIS INCLUDES THE REQUIREMENTS LISTED BELOW:

1. INDOOR ENVIRONMENTAL QUALITY
2. ENERGY EFFICIENCY
3. WATER EFFICIENCY
4. STORM WATER MANAGEMENT
5. BUILDING MATERIALS
6. TRANSPORT
7. WASTE MANAGEMENT
8. URBAN ECOLOGY
9. ONGOING BUILDING AND SITE MANAGEMENT.

THE SPECIFIC REQUIREMENTS OF FOLLOWING ASSESSMENTS LISTED IN SMP ARE ALSO IMPLEMENTED.

- A. GREEN STAR SCORECARD
- B. FIRST RATES ENERGY RATINGS
- C. STORM RESULTS

REFER TO THE ESO REPORT, PREPARED BY BESTEC FOR DETAILS RELATING TO SUSTAINABILITY INITIATIVES.

ALSO NOTE:

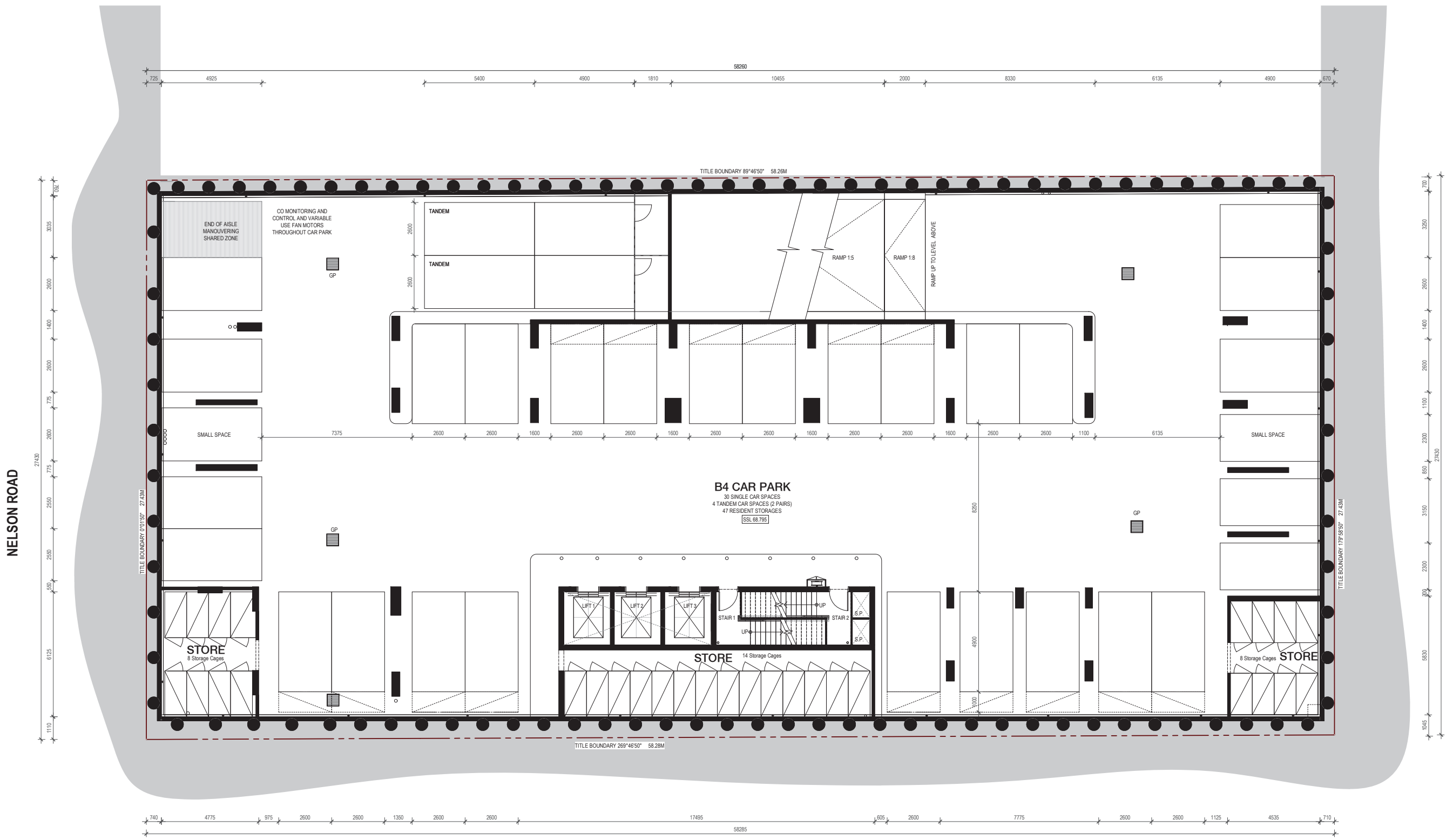
- i. ALL FIXTURES AND APPLIANCES INSTALLED IN THE APARTMENTS, COMMUNAL AMENITIES AND COMMERCIAL TENANCIES AS PART OF THE BASE BUILDING ARE SELECTED IN ACCORDANCE WITH THE SMP PRESCRIBED PERFORMANCE STANDARDS FOR ENERGY SERVICES.
- ii. ALL APARTMENTS TO USE WATER EFFICIENT FIXTURES IN ACCORDANCE WITH THE SMP
- iii. A RAINWATER HARVESTING SYSTEM IS USED FOR TOILET FLUSHING
- iv. FIRE SYSTEM WATER STORAGE FOR A MINIMUM OF 80% OF TEST WATER FOR RE-USE
- v. ALL INTERIOR PAINTS, ADHESIVES, SEALANT AND FLOOR COVERINGS WILL BE LOW VOC.
- vi. A MINIMUM OF 5% OF TIMBER WILL BE RECYCLED OR FROM ACCREDITED SUSTAINABLE HARVESTED PLANTATION SOURCES.
- vii. BUILDING MATERIALS

FLOOR TYPE: SUSP CONCRETE SLAB
 FLOOR INSULATION: APARTMENTS: R1.9
 CEILING/ROOF INSUL.: APART EXTERIOR AREAS: R3.0
 WALL INSUL.: EXTERNAL WALLS R2.7
 CORRIDOR WALLS R2.5
 WALL ADJACENT TO LIFTS R1.5
 INTERTENANCY WALLS R1.5

viii. HOLLAND BLINDS INSTALLED TO ALL APARTMENTS

REFER TO THE CAR PARK MANAGEMENT PLAN, PREPARED BY MGA FOR DETAILS OF: SIGNAGE, SIGNAGE LOCATIONS AND CAR PARKING ALLOCATION

REFER TO THE GREEN TRAVEL PLAN, PREPARED BY MGA FOR DETAILS OF THE SUSTAINABLE TRANSPORT INITIATIVES



PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME

This endorsed plan is in accordance with and forms part of Planning Permit Number: WH/2015/715

Patrick Sutton
 Signature for Responsible Authority

Sheet: 1 of 26 Date: 9/07/2019

26/02/2018 6:34:14 PM
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The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled works that SJB



Rev.	Date	Revision	By	Chk.
T 1	20/07/2015	ISSUED FOR TOWN PLANNING	TX	MM
T 2	01/10/2015	ISSUED FOR TOWN PLANNING	HW	TW
T 3	28/07/2016	ISSUED FOR APPROVAL BY COUNCIL	KB	DH
T 4	22/09/2016	ISSUED FOR TOWN PLANNING	MM	DH
T 5	15/06/2017	ISSUED FOR ENDORSEMENT	TN	DH
T 6	26/02/2018	ISSUED FOR APPROVAL	MR	DH

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC

Drawing
 BASEMENT 4

Date
 -

Scale
 1 : 100

Sheet Size
 @ A1

Drawn
 MR

Chk.
 DH

Job No.
 21165

Drawing No.
 SD02

Revision
 T 6

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8. URBAN ECOLOGY
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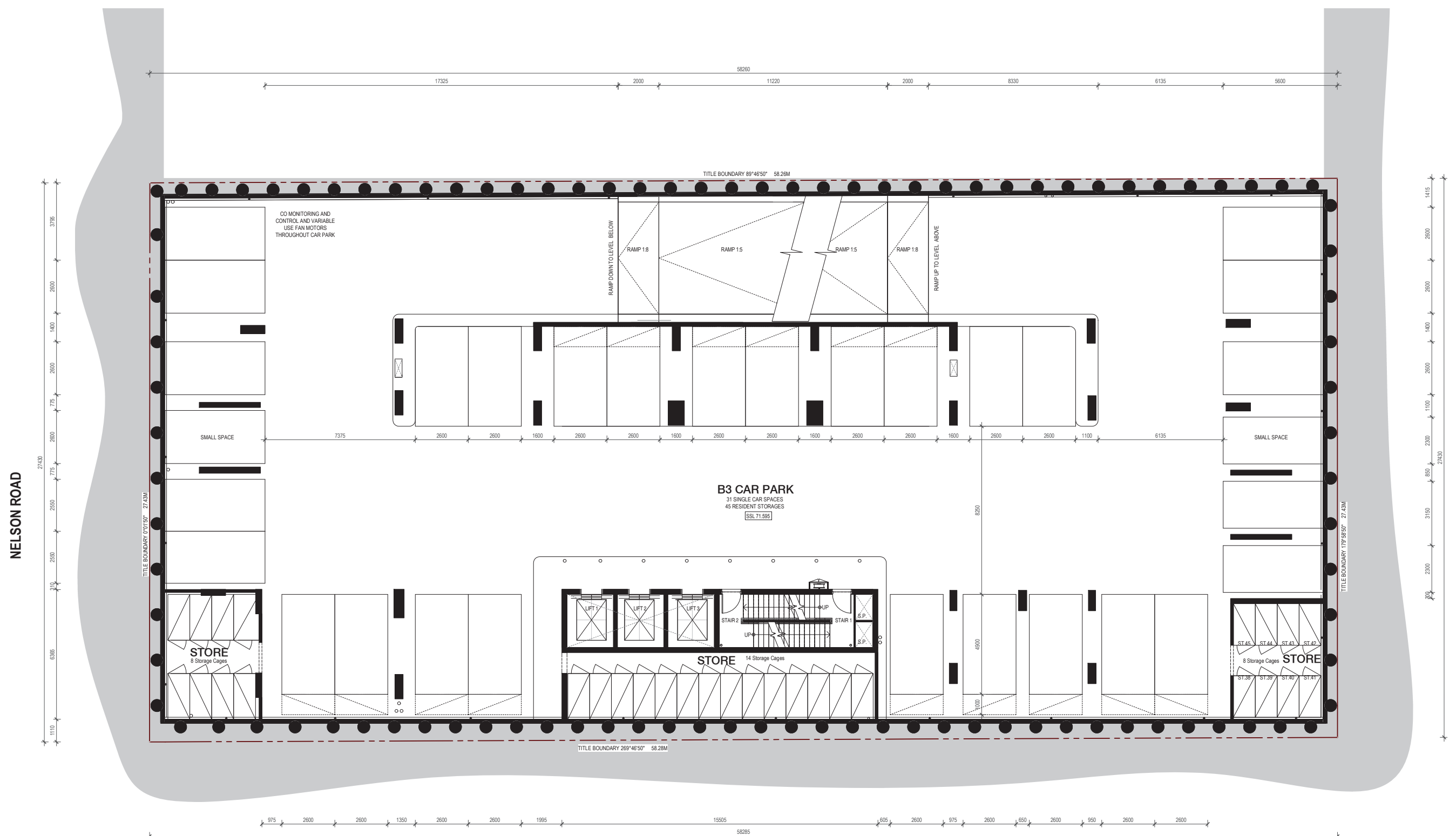
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- iii. A RAINWATER HARVESTING SYSTEM IS USED FOR TOILET FLUSHING
- iv. FIRE SYSTEM WATER STORAGE FOR A MINIMUM OF 80% OF TEST WATER FOR RE-USE
- v. ALL INTERIOR PAINTS, ADHESIVES, SEALANT AND FLOOR COVERINGS WILL BE LOW VOC.
- vi. A MINIMUM OF 95% OF TIMBER WILL BE RECYCLED OR FROM ACCREDITED SUSTAINABLE HARVESTED PLANTATION SOURCES.
- vii. BUILDING MATERIALS

- FLOOR TYPE: SUSP CONCRETE SLAB
- FLOOR INSULATION: APARTMENTS: R1.9
- CEILING/ROOF INSUL.: APART EXTEROOF AREAS: R3.0
- WALL INSUL.: EXTERNAL WALLS: R2.7
- CORRIDOR WALLS: R1.5
- WALL ADJACENT TO LIFTS: R1.5
- INTERTENANCY WALLS: R1.5
- viii. HOLLAND BLINDS INSTALLED TO ALL APARTMENTS

REFER TO THE CARP PARKING MANAGEMENT PLAN, PREPARED BY MGA FOR DETAILS OF SIGNAGE, SIGNAGE LOCATIONS AND CAR PARKING ALLOCATION

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PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME

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T 6	26/02/2018	ISSUED FOR APPROVAL	MR	DH

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC

Drawing
 BASEMENT 3

Date
 -

Scale
 1 : 100

Drawn
 MR

Job No.
 21165

Drawing No.
 SD03

Sheet Size
 @ A1

Chk.
 DH

Revision
 T 6

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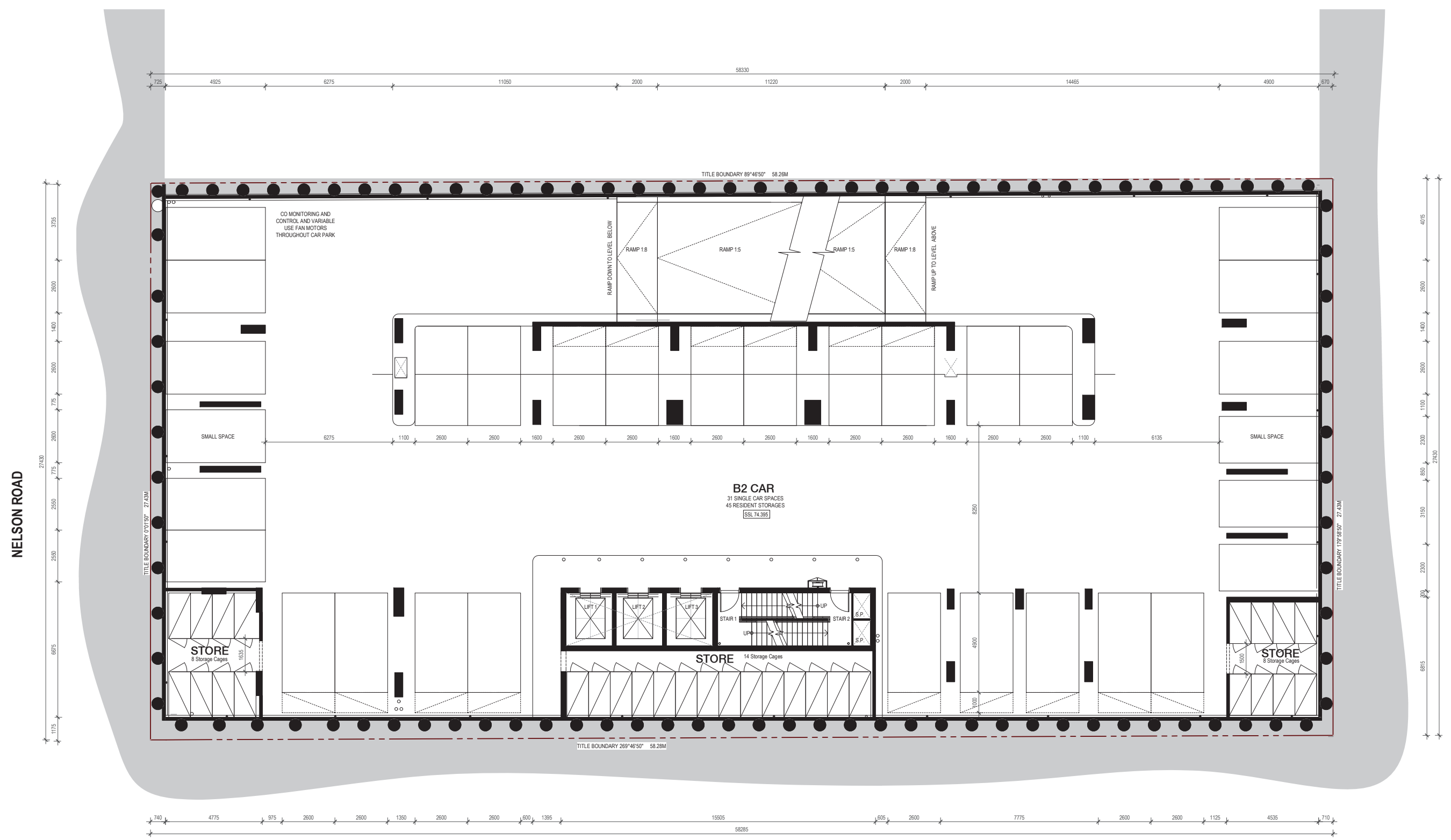
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- iv. FIRE SYSTEM WATER STORAGE FOR A MINIMUM OF 80% OF TEST WATER FOR RE-USE
- v. ALL INTERIOR PAINTS, ADHESIVES, SEALANT AND FLOOR COVERINGS WILL BE LOW VOC.
- vi. A MINIMUM OF 55% OF TIMBER WILL BE RECYCLED OR FROM ACCREDITED SUSTAINABLE HARVESTED PLANTATION SOURCES.
- vii. BUILDING MATERIALS

- FLOOR TYPE: SUSP CONCRETE SLAB
 FLOOR INSULATION: APARTMENTS: R1.9
 CEILING / ROOF INSUL.: APART EXTERIOR AREAS: R3.0
 WALL INSUL.: EXTERNAL WALLS: R2.7
 CORRIDOR WALLS: R1.5
 WALL ADJACENT TO LIFTS: R1.5
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**PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME**

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Sheet: 3 of 26 Date: 9/07/2019

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T 5	15/06/2017	ISSUED FOR ENDORSEMENT	TN	DH
T 6	26/02/2018	ISSUED FOR APPROVAL	MR	DH

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC
 Drawing
 BASEMENT 2

Date
 -
 Scale
 1 : 100
 Drawn
 MR
 Job No.
 21165
 Drawing No.
 SD04
 Sheet Size
 @ A1
 Chk.
 DH
 Revision
 T6

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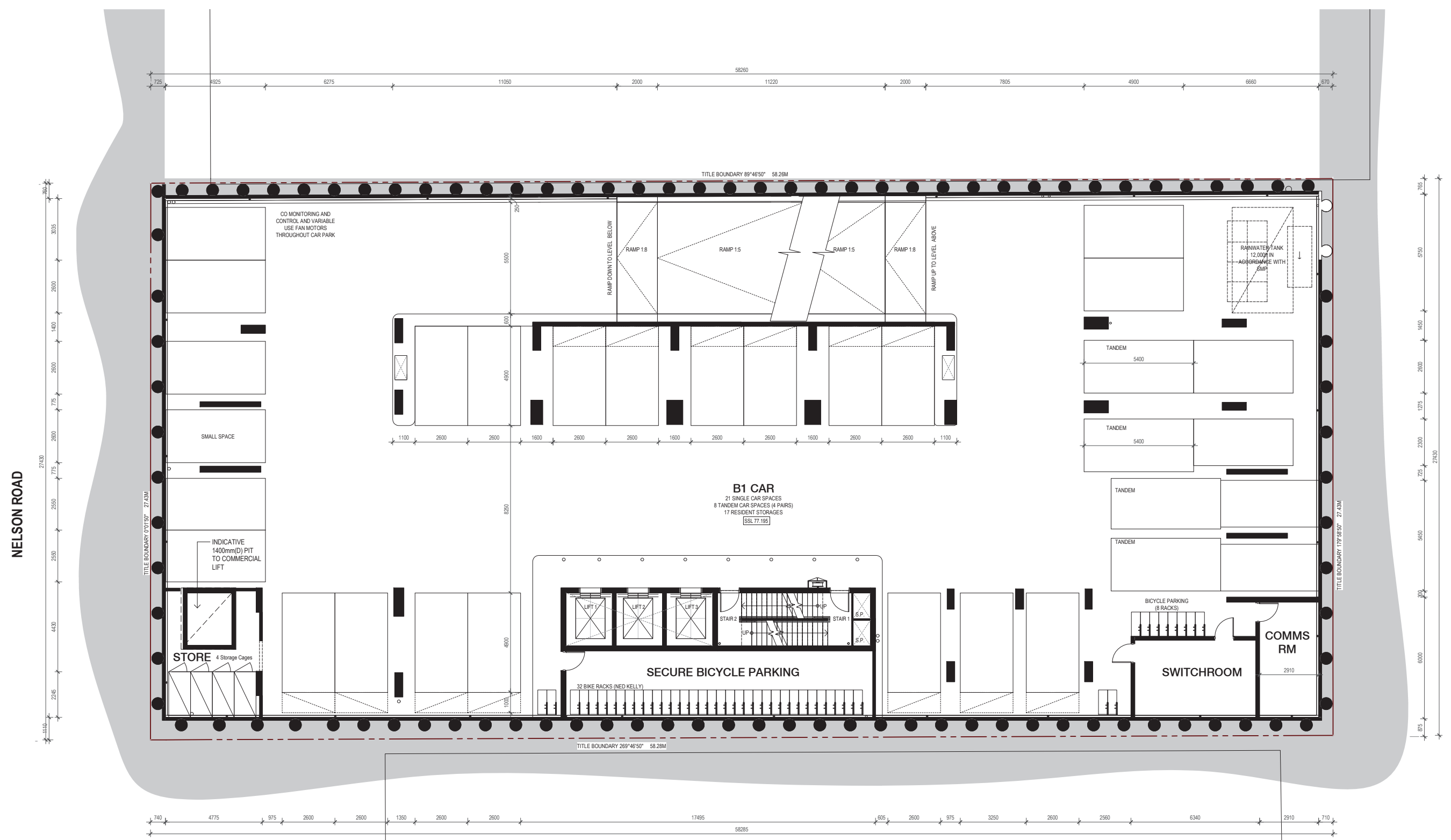
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- iv. FIRE SYSTEM WATER STORAGE FOR A MINIMUM OF 80% OF TEST WATER FOR RE-USE
- v. ALL INTERIOR PAINTS, ADHESIVES, SEALANT AND FLOOR COVERINGS WILL BE LOW VOC.
- vi. A MINIMUM OF 85% OF TIMBER WILL BE RECYCLED OR FROM ACCREDITED SUSTAINABLE HARVESTED PLANTATION SOURCES.
- vii. BUILDING MATERIALS

FLOOR TYPE: SUSP CONCRETE SLAB
 FLOOR INSULATION: APARTMENTS: R1.9
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PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME

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Sheet: 4 of 26 Date: 9/07/2019

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T 5	15/06/2017	ISSUED FOR ENDORSEMENT	TN	DH
T 6	26/02/2018	ISSUED FOR APPROVAL	MR	DH

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC

Drawing
 BASEMENT 1

Date
 -

Scale
 1 : 100

Sheet Size
 @ A1

Drawn
 MR

Job No.
 21165

Drawing No.
 SD05

Chk.
 DH

Revision
 T6

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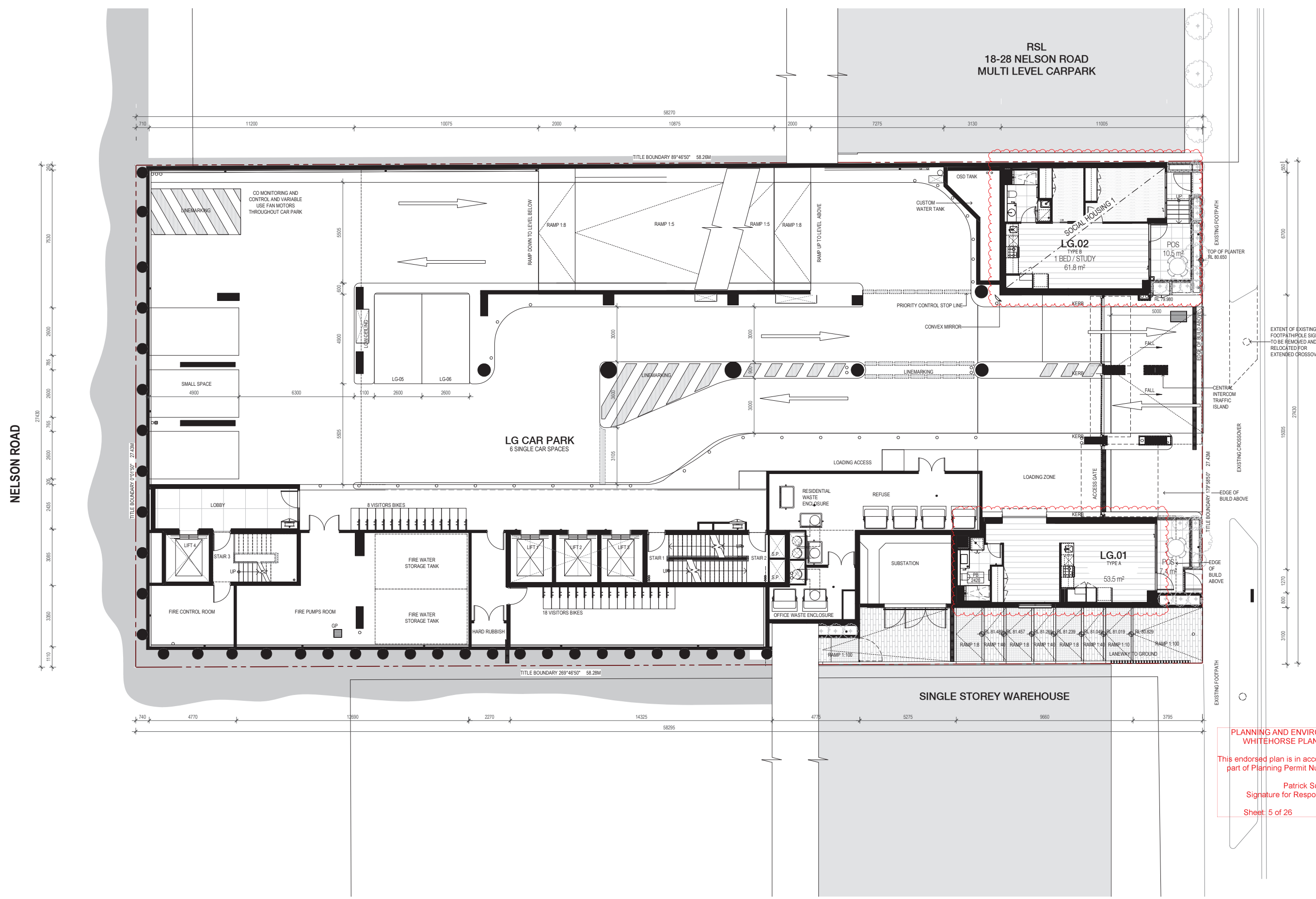
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 - vii. BUILDING MATERIALS
 - viii. FLOOR TYPE: SUSP CONCRETE SLAB
 - ix. FLOOR INSULATION: APARTMENTS: R1.9
 - x. CEILING/ROOF INSUL.: APART EXTERIOR AREAS: R3.0
 - xi. WALL INSUL.: EXTERNAL WALLS R2.7
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 WHITEHORSE PLANNING SCHEME**
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T 7	28/03/2019	ISSUED FOR TOWN PLANNING	JZ	FC

Project
CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC
 Drawing
LOWER GROUND PLAN

Date
 -
 Scale
1 : 100
 Drawn
 PT
 Job No.
21165
 Drawing No.
SD06

Sheet Size
@ A1
 Chk.
 NM
 Revision
7

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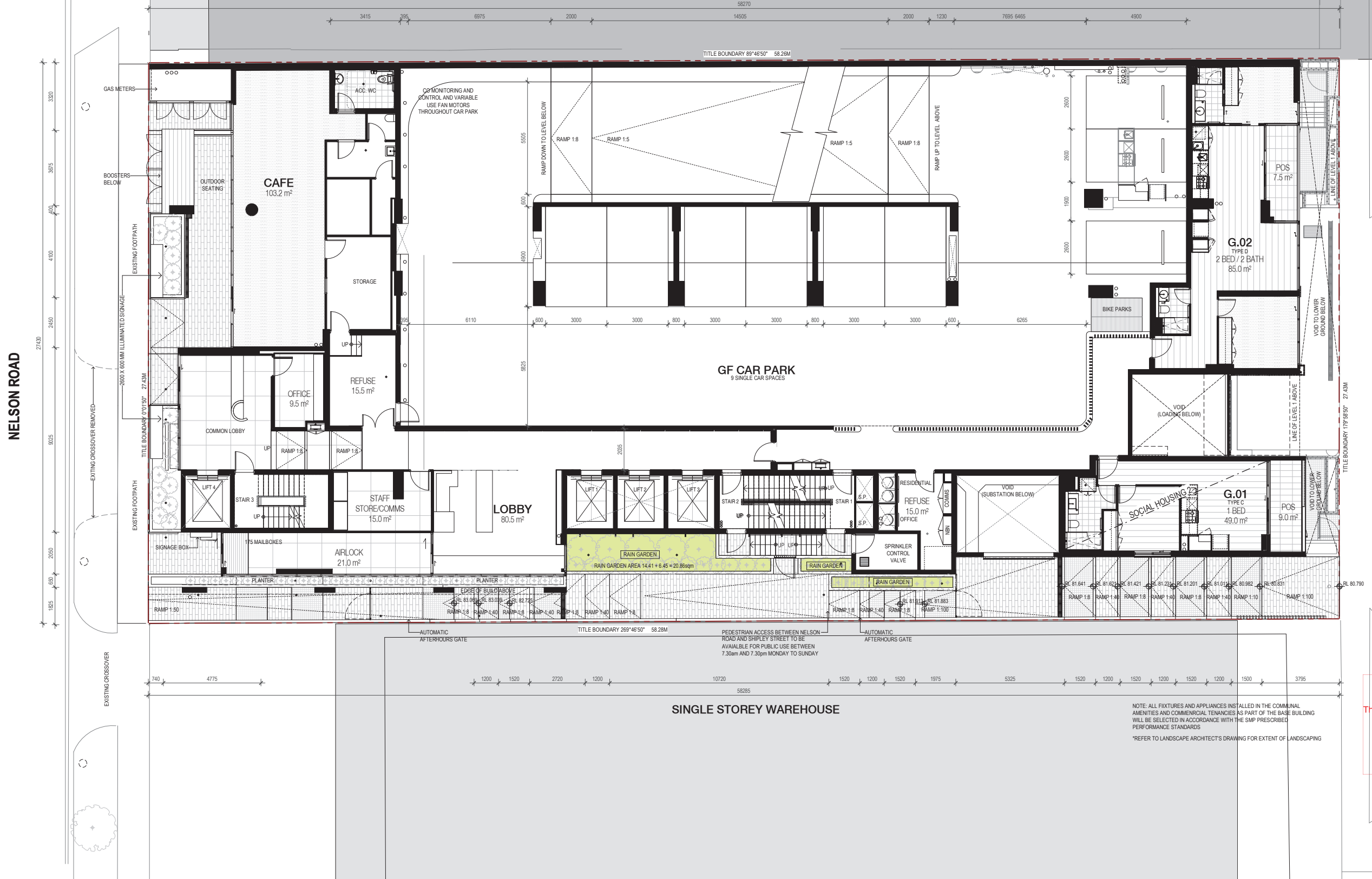
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**RSL
18-28 NELSON ROAD
MULTI LEVEL CARPARK**



SHIPLEY STREET

NELSON ROAD

**PLANNING AND ENVIRONMENT ACT 1987
WHITEHORSE PLANNING SCHEME**

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Patrick Sutton
Signature for Responsible Authority

Sheet: 6 of 26 Date: 9/07/2019

NOTE: ALL FIXTURES AND APPLIANCES INSTALLED IN THE COMMUNAL AMENITIES AND COMMERCIAL TENANCIES AS PART OF THE BASE BUILDING WILL BE SELECTED IN ACCORDANCE WITH THE SMP PRESCRIBED PERFORMANCE STANDARDS

*REFER TO LANDSCAPE ARCHITECT'S DRAWING FOR EXTENT OF LANDSCAPING

26/02/2018 6:35:19 PM
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T 5	15/06/2017	ISSUED FOR ENDORSEMENT	TN	DH
T 6	26/02/2018	ISSUED FOR APPROVAL	MR	DH

Project
CENTRAL PARK
12 - 14 NELSON RD, BOX HILL, VIC

Drawing
GROUND FLOOR PLAN

Date
-

Scale
1 : 100

Sheet Size
@ A1

Drawn
MR

Chk.
DH

Job No.
21165

Drawing No.
SD07

Revision
T6

Sheet Size
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SUSTAINABLE MANAGEMENT PLAN NOTES

THE REQUIREMENTS OF THE SUSTAINABLE MANAGEMENT PLAN ARE INCORPORATED INTO THE PROPOSED BUILDING.

THIS INCLUDES THE REQUIREMENTS LISTED BELOW:

1. INDOOR ENVIRONMENTAL QUALITY
2. ENERGY EFFICIENCY
3. WATER EFFICIENCY
4. STORM WATER MANAGEMENT
5. BUILDING MATERIALS
6. TRANSPORT
7. WASTE MANAGEMENT
8. URBAN ECOLOGY
9. ONGOING BUILDING AND SITE MANAGEMENT.

THE SPECIFIC REQUIREMENTS OF FOLLOWING ASSESSMENTS LISTED IN SMP ARE ALSO IMPLEMENTED.

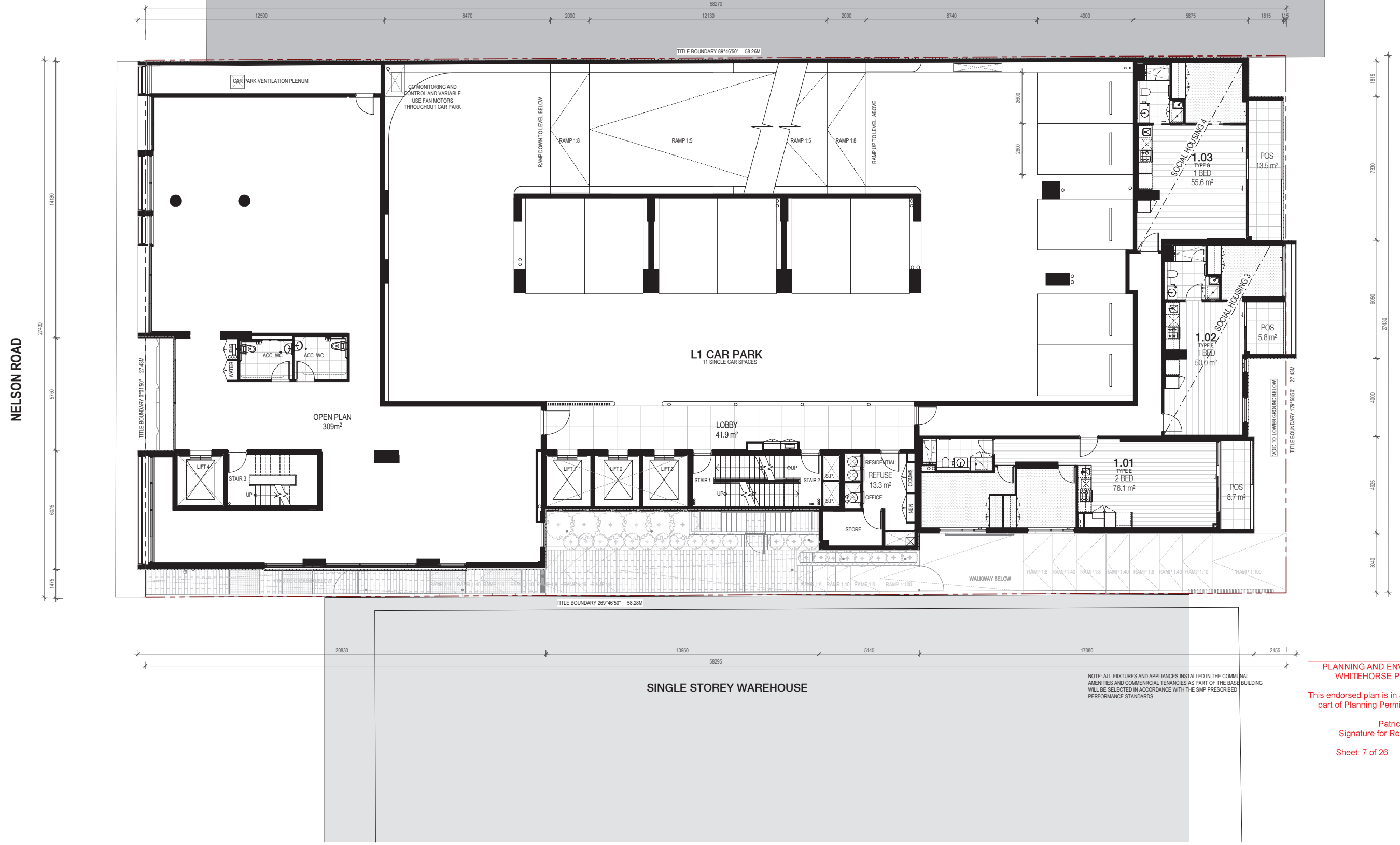
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- C. STORM RESULTS

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 - iv. FIRE SYSTEM WATER STORAGE FOR A MINIMUM OF 80% OF TEST WATER FOR RE-USE
 - v. ALL INTERIOR PAINTS, ADHESIVES, SEALANT AND FLOOR COVERINGS WILL BE LOW VOC
 - vi. A MINIMUM OF 50% OF TIMBER WILL BE RECYCLED OR FROM ACCREDITED SUSTAINABLE HARVESTED PLANTATION SOURCES.
 - vii. BUILDING MATERIALS
 - viii. FLOOR TYPE: SUSP CONCRETE SLAB
 - ix. FLOOR INSULATION: APARTMENTS: R1.9
 - x. CEILING/ROOF INSUL.: APART. EXTERIOR AREAS: R3.0
 - xi. WALL INSUL.: EXTERNAL WALLS R2.7
 - xii. CORRIDOR WALLS R2.5
 - xiii. WALL ADJACENT TO LIFTS R1.5
 - xiv. INTERTENANCY WALLS R1.5
 - xv. HOLLAND BLINDS INSTALLED TO ALL APARTMENTS
- REFER TO THE CAR PARK MANAGEMENT PLAN, PREPARED BY MGA FOR DETAILS OF: SIGNAGE, SIGNAGE LOCATIONS AND CAR PARKING ALLOCATION
- REFER TO THE GREEN TRAVEL PLAN, PREPARED BY MGA FOR DETAILS OF THE SUSTAINABLE TRANSPORT INITIATIVES

**RSL
18-28 NELSON ROAD
MULTI LEVEL CARPARK
(BELOW)**



SHIPLEY STREET

NELSON ROAD

**PLANNING AND ENVIRONMENT ACT 1987
WHITEHORSE PLANNING SCHEME**

This endorsed plan is in accordance with and forms part of Planning Permit Number: WH/2015/715

Patrick Sutton
Signature for Responsible Authority

Sheet: 7 of 26 Date: 9/07/2019

NOTE: ALL FIXTURES AND APPLIANCES INSTALLED IN THE COMMUNAL AMENITIES AND COMMERCIAL TENANCIES AS PART OF THE BASE BUILDING WILL BE SELECTED IN ACCORDANCE WITH THE SMP PRESCRIBED PERFORMANCE STANDARDS

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T 7	03/07/2019	OFFICE AREAS AMENDED	PW	PW

Project
**CENTRAL PARK
12 - 14 NELSON RD, BOX HILL, VIC**

Drawing
LEVEL 1 PODIUM FLOOR PLAN

Date
11.06.19

Scale
1 : 100

Sheet Size
@ A1

Job No.
21165

Drawing No.
SD08

Sheet No
7

Revision
NM

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- C. STORM RESULTS

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- viii. FLOOR TYPE: SUSP CONCRETE SLAB
- ix. FLOOR INSULATION: APARTMENTS: R1.9
- x. CEILING/ROOF INSUL.: APART EXTROOF AREAS: R3.0
- xi. WALL INSUL.: EXTERNAL WALLS: R2.7
- xii. CORRIDOR WALLS: R1.5
- xiii. WALL ADJACENT TO LIFTS: R1.5
- xiv. INTERTENANCY WALLS: R1.5
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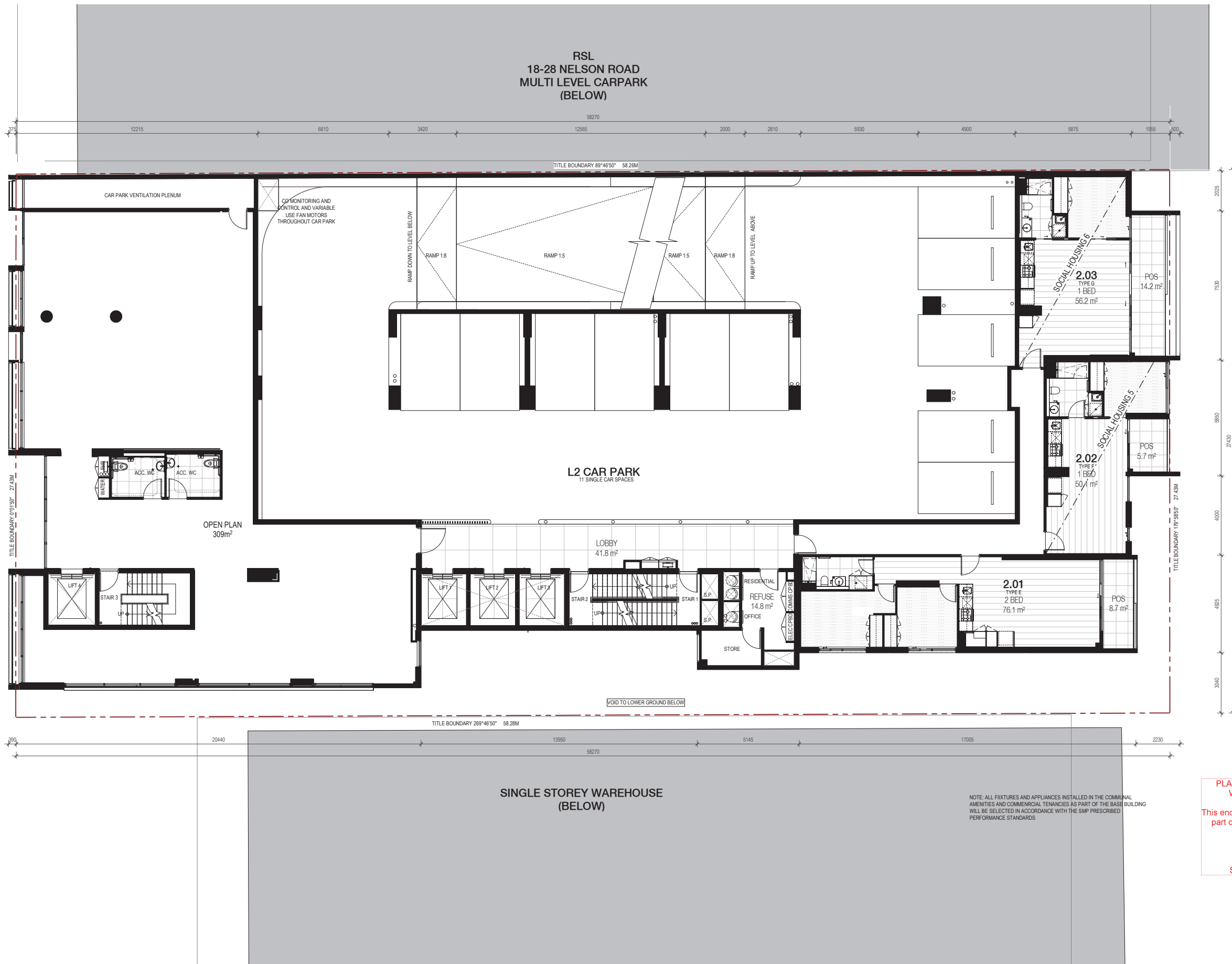
NELSON ROAD

SHIPLEY STREET

**RSL
18-28 NELSON ROAD
MULTI LEVEL CARPARK
(BELOW)**

**L2 CAR PARK
11 SINGLE CAR SPACES**

**SINGLE STOREY WAREHOUSE
(BELOW)**



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**PLANNING AND ENVIRONMENT ACT 1987
WHITEHORSE PLANNING SCHEME**

This endorsed plan is in accordance with and forms part of Planning Permit Number: WH/2015/715

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Signature for Responsible Authority

Sheet: 8 of 26 Date: 9/07/2019

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T 7	03/07/2019	OFFICE AREAS AMENDED	PW	PW

Project
**CENTRAL PARK
12 - 14 NELSON RD, BOX HILL, VIC**

Drawing
LEVEL 2 PODIUM FLOOR PLAN

Date
11.06.19

Scale
1 : 100

Sheet Size
@ A1

Job No.
21165

Drawing No.
SD09

Sheet Size
@ A1

Chk.
NM

Revision
7

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 FLOOR INSULATION: APARTMENTS: R1.9
 CEILING/ROOF INSUL.: APART EXTROROF AREAS: R3.0
 WALL INSUL.: EXTERNAL WALLS: R2.7
 CORRIDOR WALLS: R1.5
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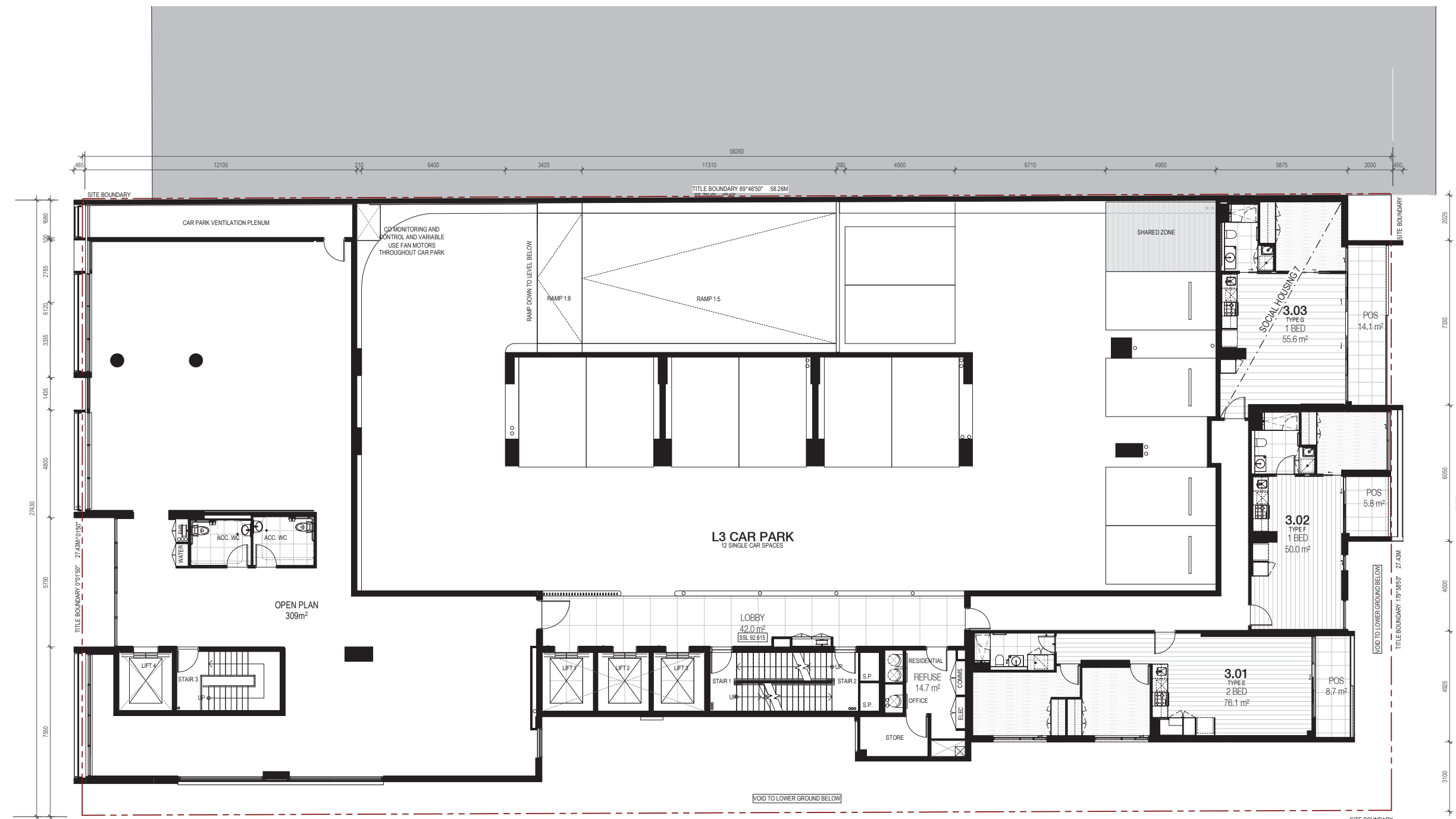
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NELSON ROAD

SHIPLEY STREET



PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME

This endorsed plan is in accordance with and forms part of Planning Permit Number: WH/2015/7/15

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 Signature for Responsible Authority

Sheet: 9 of 26 Date: 9/07/2019

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T 7	03/07/2019	OFFICE AREAS AMENDED	PW	PW

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC

Drawing
 LEVEL 3 PODIUM FLOOR PLAN

Date
 11.06.19

Scale
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Sheet Size
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Job No.
 21165

Drawing No.
 SD10

Revision
 7

Sheet Size
 @ A1

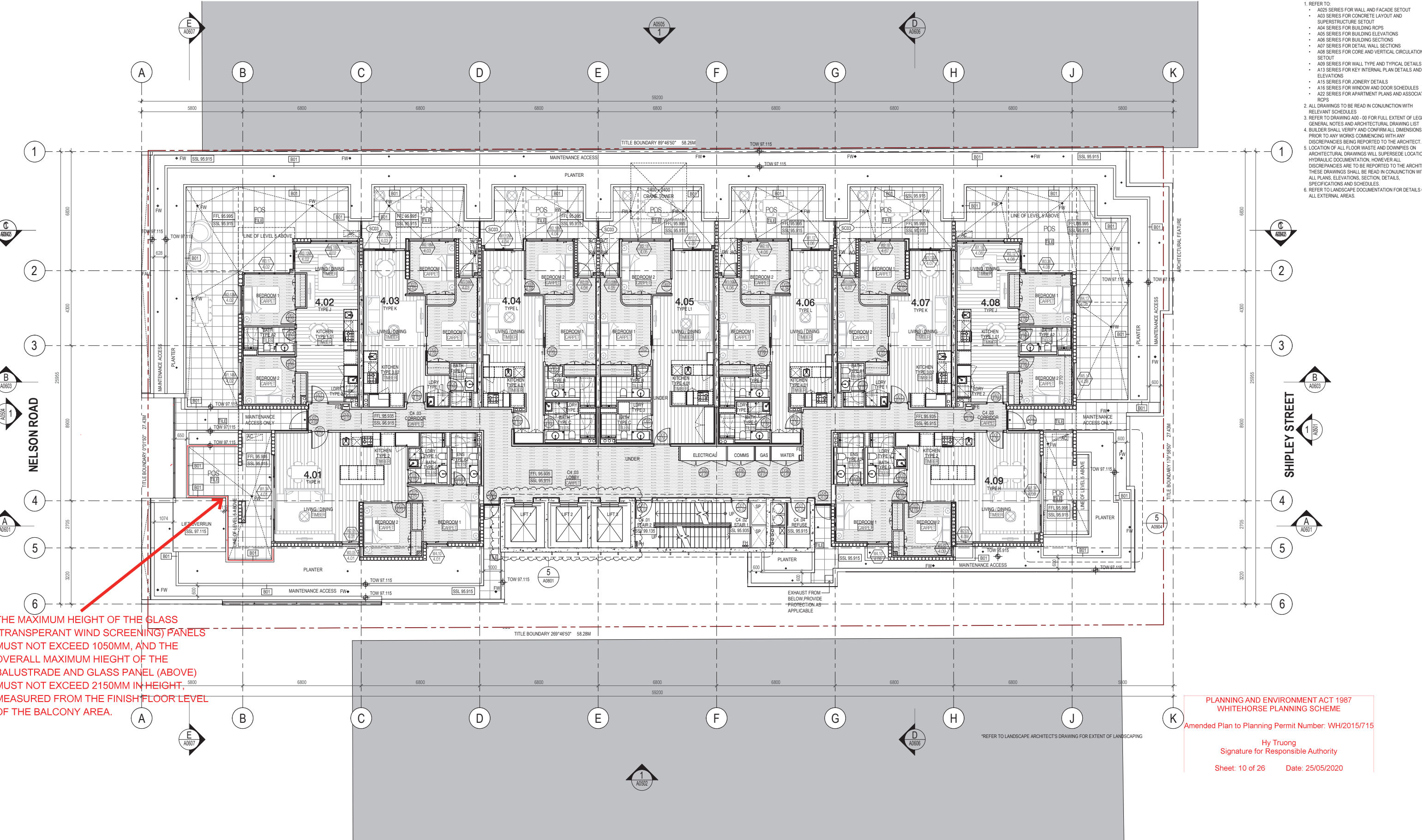
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 NM

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 7

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GENERAL NOTES

- REFER TO:
 - A025 SERIES FOR WALL AND FACADE SETOUT
 - A03 SERIES FOR CONCRETE LAYOUT AND SUPERSTRUCTURE SETOUT
 - A04 SERIES FOR BUILDING RCPS
 - A05 SERIES FOR BUILDING ELEVATIONS
 - A06 SERIES FOR BUILDING SECTIONS
 - A07 SERIES FOR DETAIL WALL SECTIONS
 - A08 SERIES FOR CORE AND VERTICAL CIRCULATION SETOUT
 - A09 SERIES FOR WALL TYPE AND TYPICAL DETAILS
 - A13 SERIES FOR KEY INTERNAL PLAN DETAILS AND ELEVATIONS
 - A15 SERIES FOR JOINERY DETAILS
 - A16 SERIES FOR WINDOW AND DOOR SCHEDULES
 - A22 SERIES FOR APARTMENT PLANS AND ASSOCIATED RCPS
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT SCHEDULES
- REFER TO DRAWING A03-00 FOR FULL EXTENT OF LEGEND, GENERAL NOTES AND ARCHITECTURAL DRAWING LIST
- BUILDER SHALL VERIFY AND CONFIRM ALL DIMENSIONS PRIOR TO ANY WORKS COMMENCING WITH ANY DISCREPANCIES BEING REPORTED TO THE ARCHITECT. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL PLANS, ELEVATIONS, SECTION, DETAILS, SPECIFICATIONS AND SCHEDULES
- REFER TO LANDSCAPE DOCUMENTATION FOR DETAILS OF ALL EXTERNAL AREAS.



THE MAXIMUM HEIGHT OF THE GLASS (TRANSPARENT WIND SCREENING) PANELS MUST NOT EXCEED 1050MM, AND THE OVERALL MAXIMUM HEIGHT OF THE BALUSTRADE AND GLASS PANEL (ABOVE) MUST NOT EXCEED 2150MM IN HEIGHT, MEASURED FROM THE FINISH FLOOR LEVEL OF THE BALCONY AREA.

PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME
 Amended Plan to Planning Permit Number: WH/2015/715
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 Signature for Responsible Authority
 Sheet: 10 of 26 Date: 25/05/2020

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T	26/05/2017	ISSUED FOR TENDER	TN	DH
H	29/05/2017	ISSUED FOR TENDER	TN	DH
J	07/07/2017	ISSUED FOR TENDER	TN	DH
K	14/07/2017	ISSUED FOR CONSTRUCTION	TN	DH
L	14/11/2017	ISSUED FOR CONSTRUCTION	TN	DH
M	21/11/2017	ISSUED FOR CONSTRUCTION	TN	DH
N	11/12/2017	ISSUED FOR CONSTRUCTION	TB	DH
O	25/01/2018	ISSUED FOR CONSTRUCTION	TB	DH
P	25/01/2018	ISSUED FOR CONSTRUCTION	TB	DH
Q	04/04/2018	ISSUED FOR CONSTRUCTION	ME	DH
R	19/08/2018	ISSUED FOR CONSTRUCTION	ME	DH

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC
 Drawing
 LEVEL 04 PLAN

Date
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 Scale
 1 : 100
 Drawn
 ME
 Job No.
 21165
 Drawing No.
 A0210

Sheet Size
 @ A1
 Chk.
 DH
 Revision
 R

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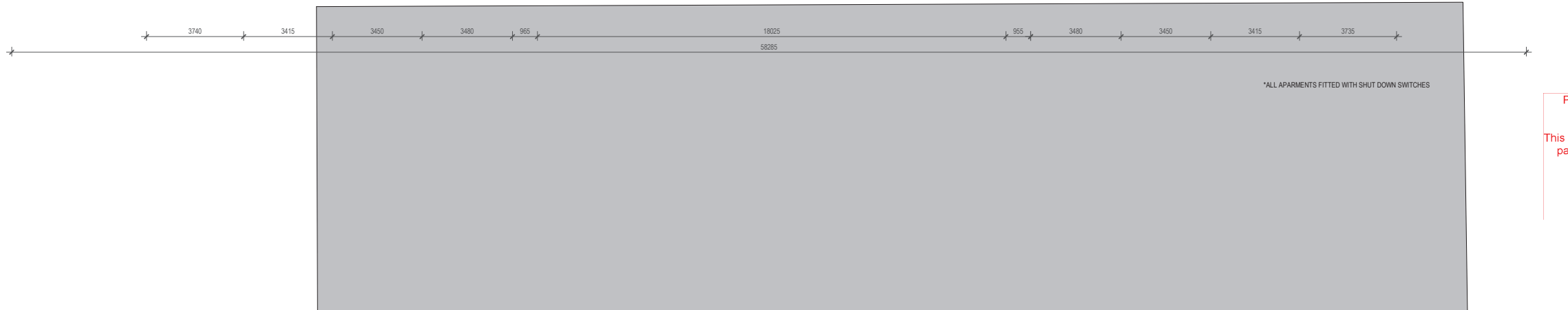
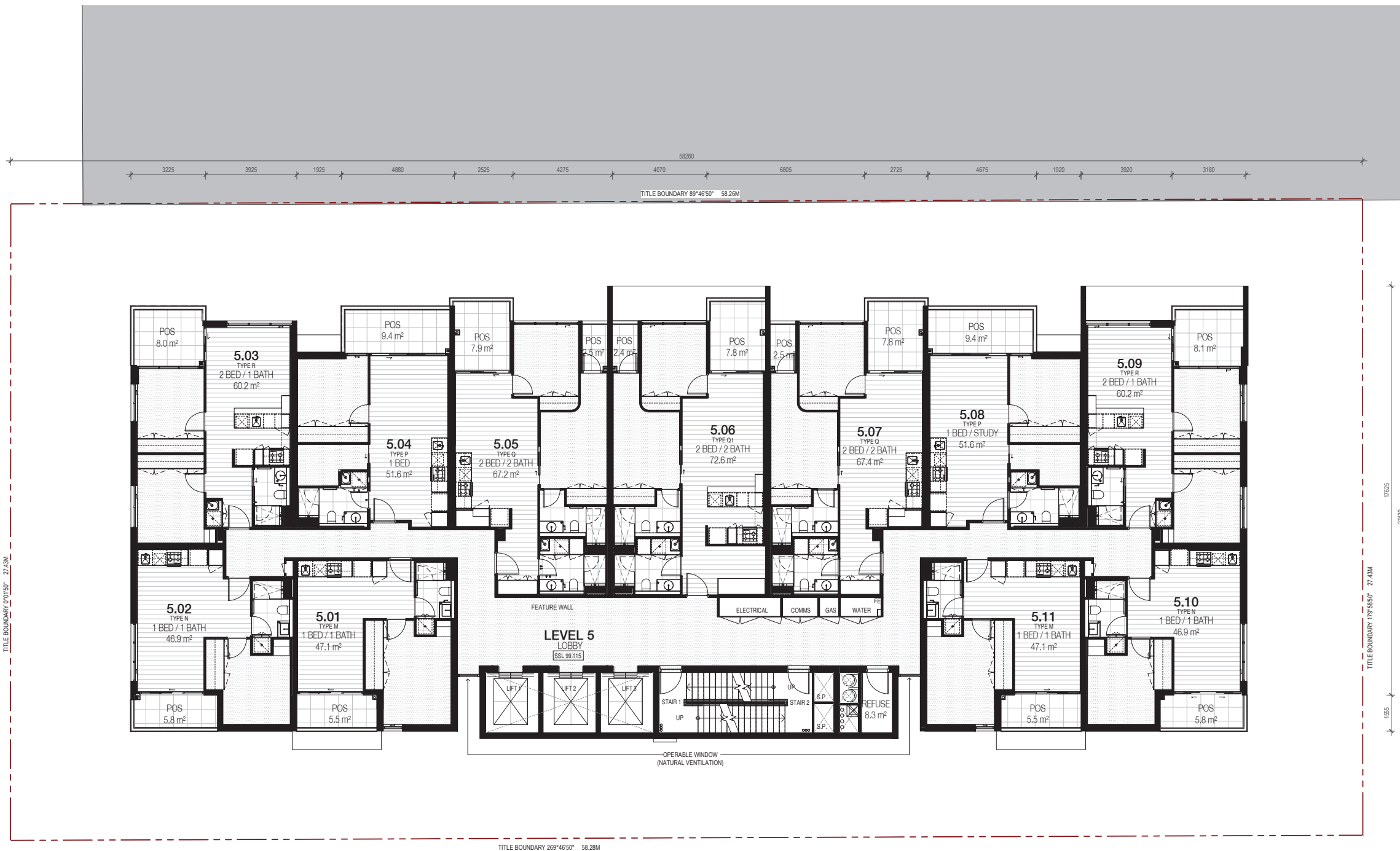
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NELSON ROAD

SHIPLEY STREET



PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME
 This endorsed plan is in accordance with and forms part of Planning Permit Number: WH/2015/715
 Patrick Sutton
 Signature for Responsible Authority
 Sheet: 11 of 26 Date: 9/07/2019

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T 7	28/03/2019	ISSUED FOR TOWN PLANNING	JZ	FC

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC
 Drawing
 LEVEL 5, 7-8 FLOOR PLAN

Date	Scale	Sheet Size	SJB Architects
-	1:100	@ A1	
	Drawn	Chk.	
	TX	NM	
Job No. 21165	Drawing No. SD12	Revision 7	



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 - vii. BUILDING MATERIALS

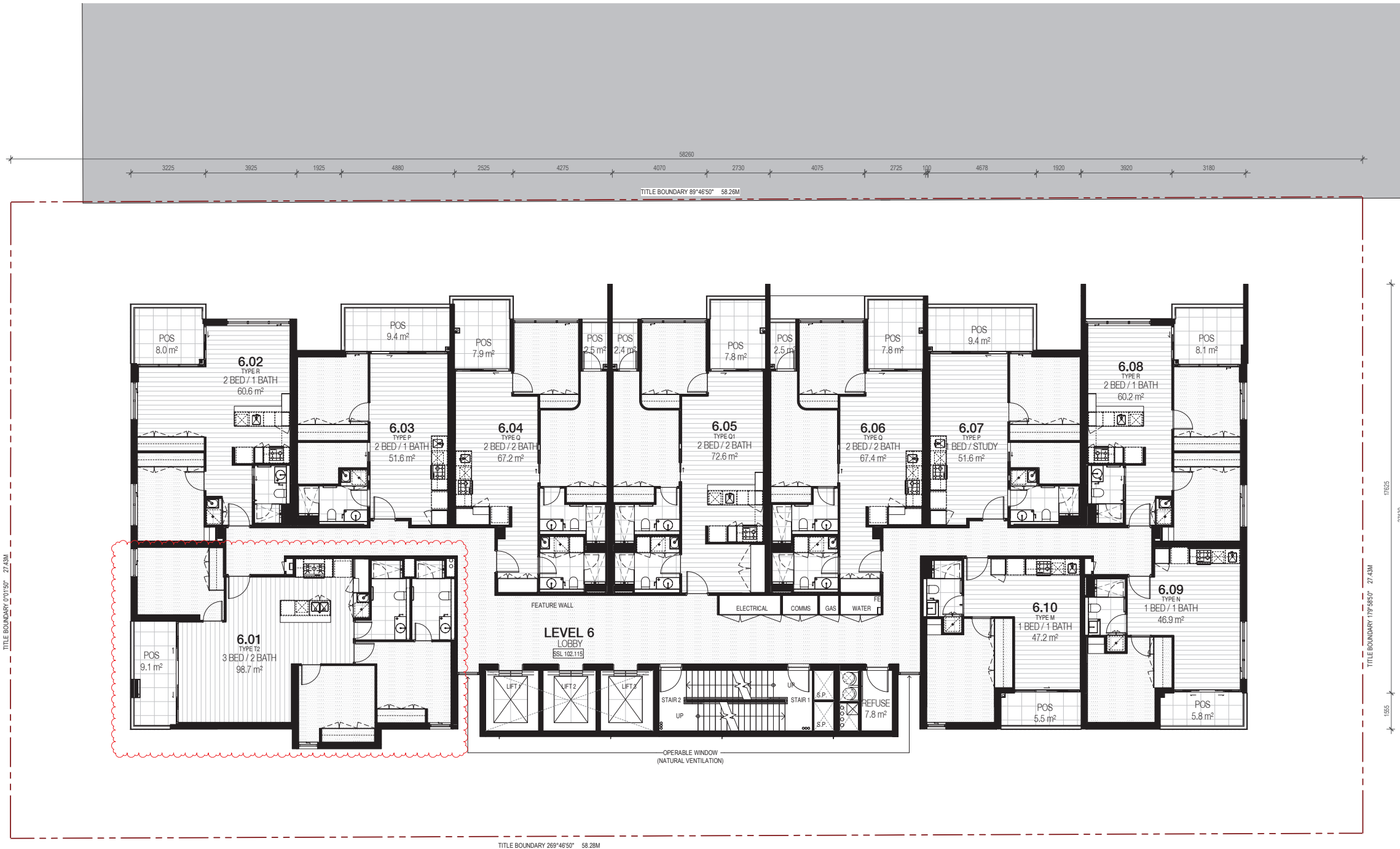
- FLOOR TYPE: SUSP CONCRETE SLAB
- FLOOR INSULATION: APARTMENTS: R1.9
- CEILING/ROOF INSUL.: APART EXTROROF AREAS: R2.7
- WALL INSUL.: EXTERNAL WALLS: R2.5
- CORRIDOR WALLS: R1.5
- WALL ADJACENT TO LIFTS: R1.5
- INTERTENANCY WALLS: R1.5
- viii. HOLLAND BLINDS INSTALLED TO ALL APARTMENTS

REFER TO THE CARP PARKING MANAGEMENT PLAN, PREPARED BY MGA FOR DETAILS OF: SIGNAGE, SIGNAGE LOCATIONS AND CAR PARKING ALLOCATION

REFER TO THE GREEN TRAVEL PLAN, PREPARED BY MGA FOR DETAILS OF THE SUSTAINABLE TRANSPORT INITIATIVES

NELSON ROAD

SHIPLEY STREET



**PLANNING AND ENVIRONMENT ACT 1987
WHITEHORSE PLANNING SCHEME**

This endorsed plan is in accordance with and forms part of Planning Permit Number: WH/2015/715

Patrick Sutton
Signature for Responsible Authority

Sheet: 12 of 26 Date: 9/07/2019

28-Mar-19 12:47:33 PM
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Rev.	Date	Revision	By	Chk.
T 1	28/03/2019	ISSUED FOR TOWN PLANNING	JZ	FC

Project
CENTRAL PARK
12 - 14 NELSON RD, BOX HILL, VIC

Drawing
LEVEL 6 FLOOR PLAN

Date	Scale	Sheet Size
-	1 : 100	@ A1
	Drawn	Chk.
	TX	NM
Job No.	Drawing No.	Revision
21165	SD12A	1

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SUSTAINABLE MANAGEMENT PLAN NOTES

THE REQUIREMENTS OF THE SUSTAINABLE MANAGEMENT PLAN ARE INCORPORATED INTO THE PROPOSED BUILDING.

THIS INCLUDES THE REQUIREMENTS LISTED BELOW:

1. INDOOR ENVIRONMENTAL QUALITY
2. ENERGY EFFICIENCY
3. WATER EFFICIENCY
4. STORM WATER MANAGEMENT
5. BUILDING MATERIALS
6. TRANSPORT
7. WASTE MANAGEMENT
8. URBAN ECOLOGY
9. ONGOING BUILDING AND SITE MANAGEMENT.

THE SPECIFIC REQUIREMENTS OF FOLLOWING ASSESSMENTS LISTED IN SMP ARE ALSO IMPLEMENTED.
 A. GREEN STAR SCORECARD
 B. FIRST RATES ENERGY RATINGS
 C. STORM RESULTS

REFER TO THE ESO REPORT, PREPARED BY BESTEC FOR DETAILS RELATING TO SUSTAINABILITY INITIATIVES.

ALSO NOTE:

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- ii. ALL APARTMENTS TO USE WATER EFFICIENT FIXTURES IN ACCORDANCE WITH THE SMP
- iii. A RAINWATER HARVESTING SYSTEM IS USED FOR TOILET FLUSHING
- iv. FIRE SYSTEM WATER STORAGE FOR A MINIMUM OF 80% OF TEST WATER FOR RE-USE
- v. ALL INTERIOR PAINTS, ADHESIVES, SEALANT AND FLOOR COVERINGS WILL BE LOW VOC
- vi. A MINIMUM OF 50% OF TIMBER WILL BE RECYCLED OR FROM ACCREDITED SUSTAINABLE HARVESTED PLANTATION SOURCES.
- vii. BUILDING MATERIALS

FLOOR TYPE: SUSP CONCRETE SLAB
 FLOOR INSULATION: APARTMENTS: R1.9
 CEILING/ROOF INSUL.: APART EXTERIOR AREAS: R2.7
 WALL INSUL.: EXTERNAL WALLS: R2.5
 CORRIDOR WALLS: R1.5
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NELSON ROAD

SHIPLEY STREET



PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME

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T 2	01/10/2015	ISSUED FOR TOWN PLANNING	MF	TW
T 3	28/07/2016	ISSUED FOR APPROVAL BY COUNCIL	KB	DH
T 4	22/09/2016	ISSUED FOR TOWN PLANNING	KM	DH
T 5	15/06/2017	ISSUED FOR ENDORSEMENT	TN	DH
T 6	26/02/2018	ISSUED FOR APPROVAL	MR	DH

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC

Drawing
 LEVEL 9 FLOOR PLAN

Date	Scale	Sheet Size	SJB Architects
-	1 : 100	@ A1	
	Drawn	Chk.	
	MR	DH	
Job No.	Drawing No.	Revision	
21165	SD13	T 6	

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7. WASTE MANAGEMENT
8. URBAN ECOLOGY
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 B. FIRST RATES ENERGY RATINGS
 C. STORM RESULTS

REFER TO THE ESO REPORT, PREPARED BY BESTEC FOR DETAILS RELATING TO SUSTAINABILITY INITIATIVES.

ALSO NOTE:

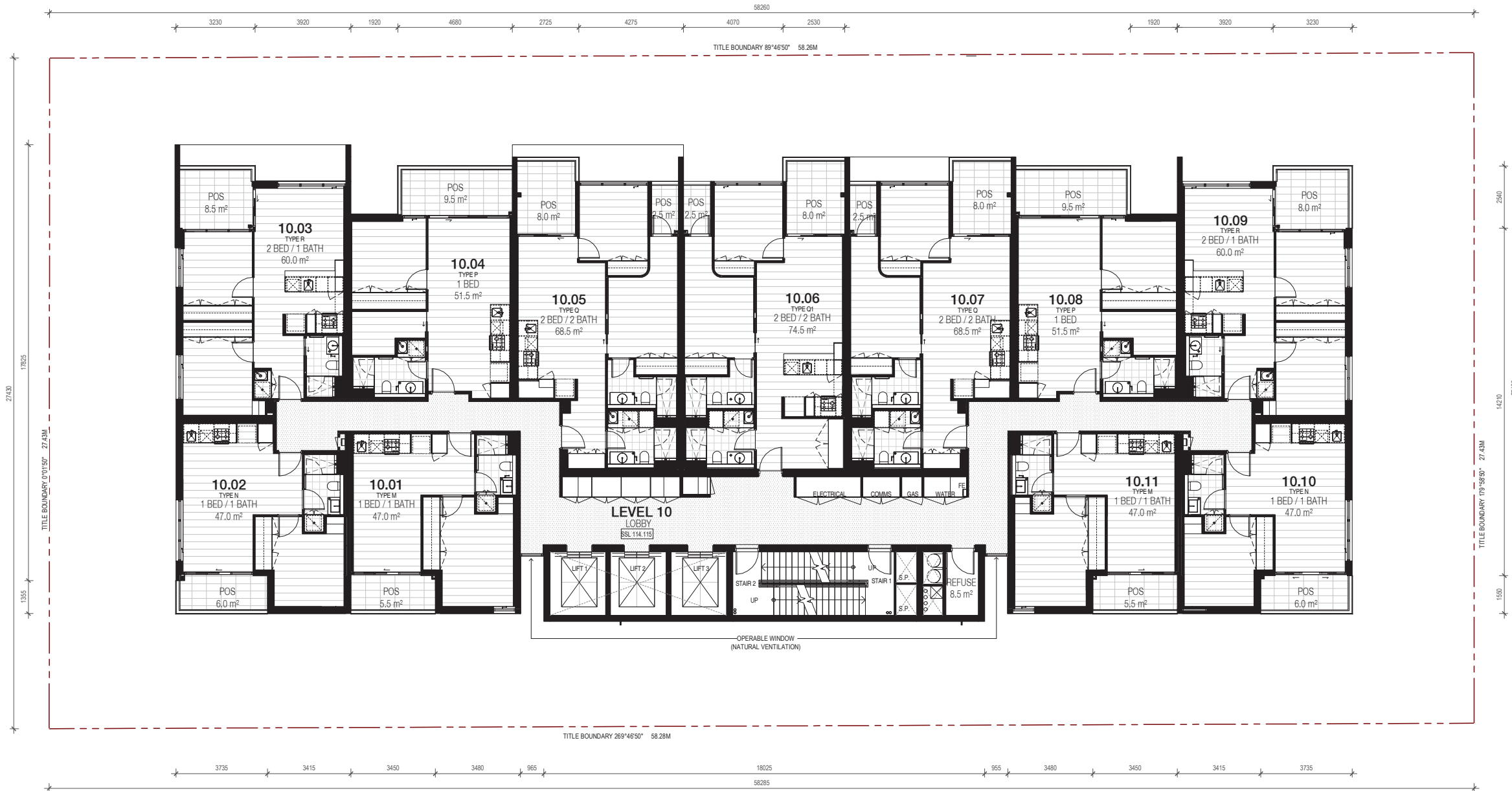
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- vii. BUILDING MATERIALS

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NELSON ROAD

SHIPLEY STREET



PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME

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T 4	22/09/2016	ISSUED FOR TOWN PLANNING	MM	DH
T 5	15/06/2017	ISSUED FOR ENDORSEMENT	TN	DH
T 6	26/02/2018	ISSUED FOR APPROVAL	MR	DH

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC

Drawing
 LEVEL 10-14 FLOOR PLAN

Date	Scale	Sheet Size
-	1 : 100	@ A1
	Drawn	Chk.
	MR	DH
Job No.	Drawing No.	Revision
21165	SD14	T6

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 C. STORM RESULTS

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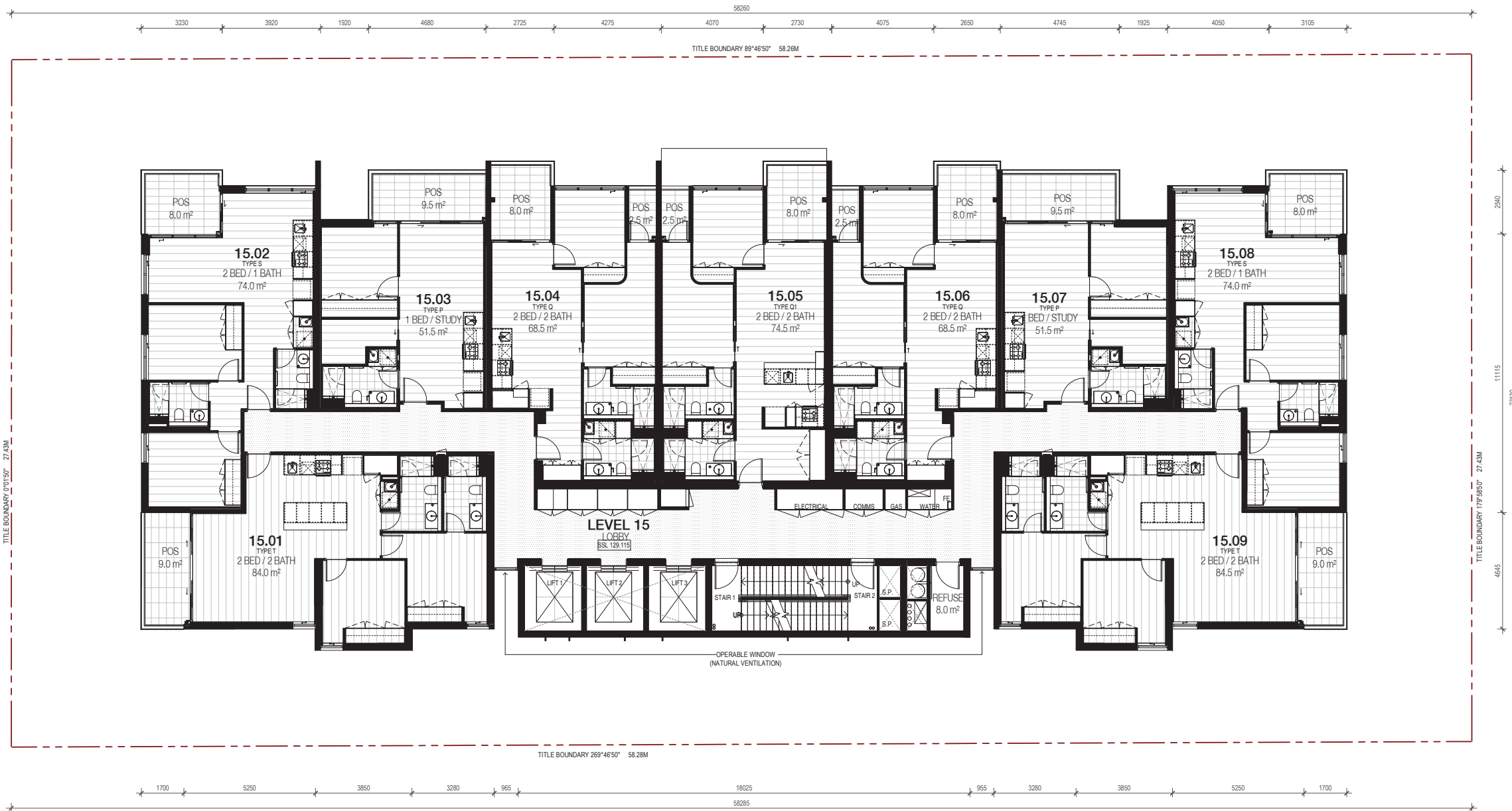
FLOOR TYPE: SUSP CONCRETE SLAB
 FLOOR INSULATION: APARTMENTS: R1.9
 CEILING/ROOF INSUL.: APART EXTERIOR AREAS: R2.7
 WALL INSUL.: EXTERNAL WALLS R2.5
 CORRIDOR WALLS R1.5
 WALL ADJACENT TO LIFTS R1.5
 INTERTENANCY WALLS R1.5
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NELSON ROAD

SHIPLEY STREET



PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME

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Sheet: 15 of 26 Date: 9/07/2019

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T 4	22/09/2016	ISSUED FOR TOWN PLANNING	MM	DH
T 5	15/06/2017	ISSUED FOR ENDORSEMENT	TN	DH
T 6	26/02/2018	ISSUED FOR APPROVAL	MR	DH

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC

Drawing
 LEVEL 15 FLOOR PLAN

Date	Scale	Sheet Size
-	1 : 100	@ A1
	Drawn	Chk.
	MR	DH
Job No.	Drawing No.	Revision
21165	SD15	T 6

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4. STORM WATER MANAGEMENT
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7. WASTE MANAGEMENT
8. URBAN ECOLOGY
9. ONGOING BUILDING AND SITE MANAGEMENT.

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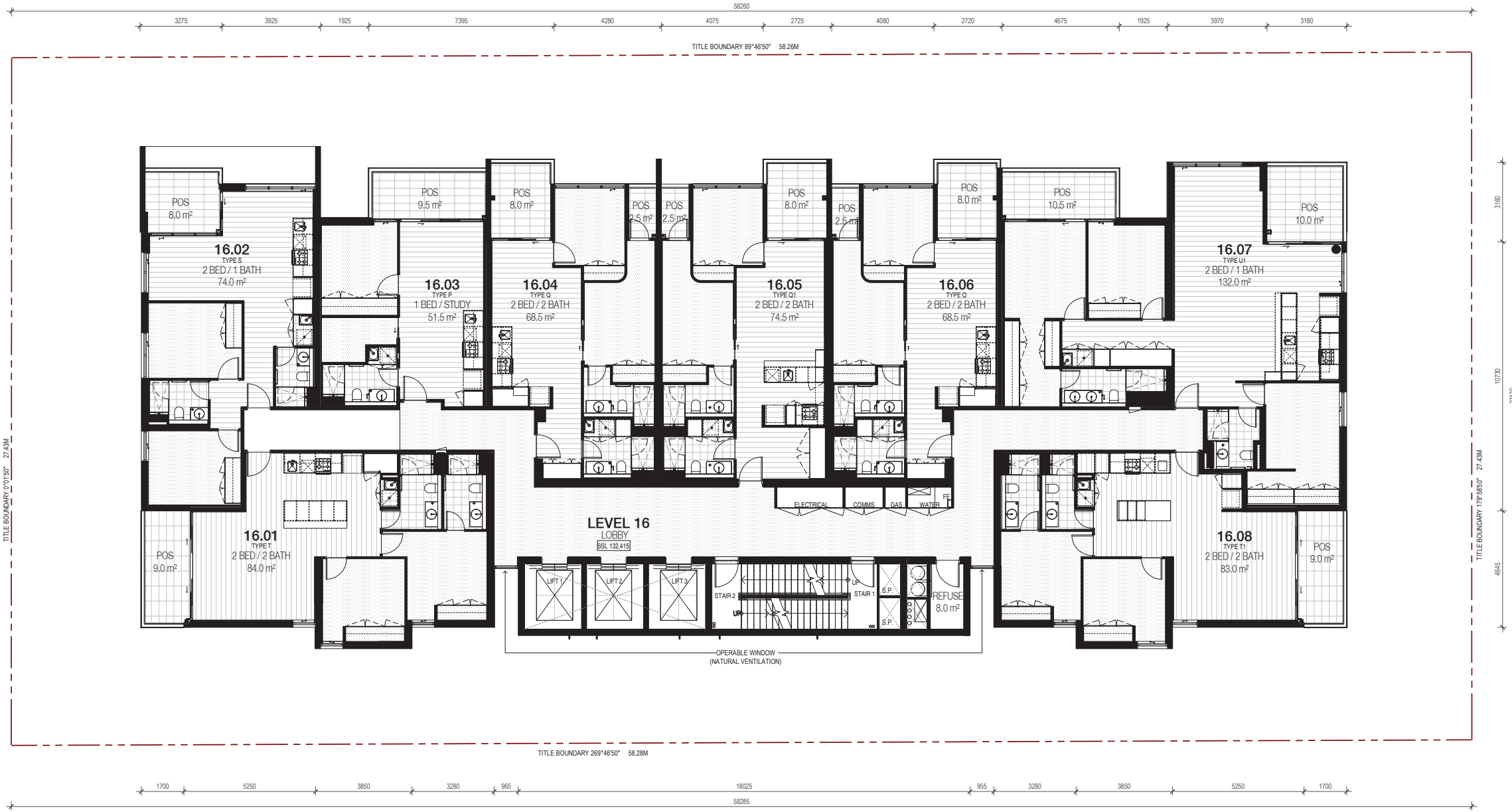
FLOOR TYPE: SUSP CONCRETE SLAB
 FLOOR INSULATION: APARTMENTS: R1.9
 CEILING/ROOF INSUL.: APART EXTEROOF AREAS: R2.7
 WALL INSUL.: EXTERNAL WALLS: R1.5
 CORRIDOR WALLS: R1.5
 WALL ADJACENT TO LIFTS: R1.5
 INTERTENANCY WALLS: R1.5
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NELSON ROAD

SHIPLEY STREET



PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME

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Sheet: 16 of 26 Date: 9/07/2019

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T 4	22/09/2016	ISSUED FOR TOWN PLANNING	MM	DH
T 5	15/06/2017	ISSUED FOR ENDORSEMENT	TN	DH
T 6	26/02/2018	ISSUED FOR APPROVAL	MR	DH

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC

Drawing
 LEVEL 16 FLOOR PLAN

Date	Scale	Sheet Size
-	1 : 100	@ A1
	Drawn	Chk.
	MR	DH
Job No.	Drawing No.	Revision
21165	SD16	T 6

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SUSTAINABLE MANAGEMENT PLAN NOTES

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4. STORM WATER MANAGEMENT
5. BUILDING MATERIALS
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7. WASTE MANAGEMENT
8. URBAN ECOLOGY
9. ONGOING BUILDING AND SITE MANAGEMENT.

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- B. FIRST RATES ENERGY RATINGS
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- vii. BUILDING MATERIALS

FLOOR TYPE: SUSP CONCRETE SLAB
 FLOOR INSULATION: APARTMENTS: R1.9
 CEILING/ROOF INSUL.: APART EXTERIOR AREAS: R2.7
 WALL INSUL.: EXTERNAL WALLS R2.5
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NELSON ROAD

SHIPLEY STREET



PLANNING AND ENVIRONMENT ACT 1987
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Sheet: 17 of 26 Date: 9/07/2019

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Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC

Drawing
 LEVEL 17 FLOOR PLAN

Date	Scale	Sheet Size
-	1:100	@ A1
	Drawn	Chk.
	MR	DH
Job No.	Drawing No.	Revision
21165	SD17	T6

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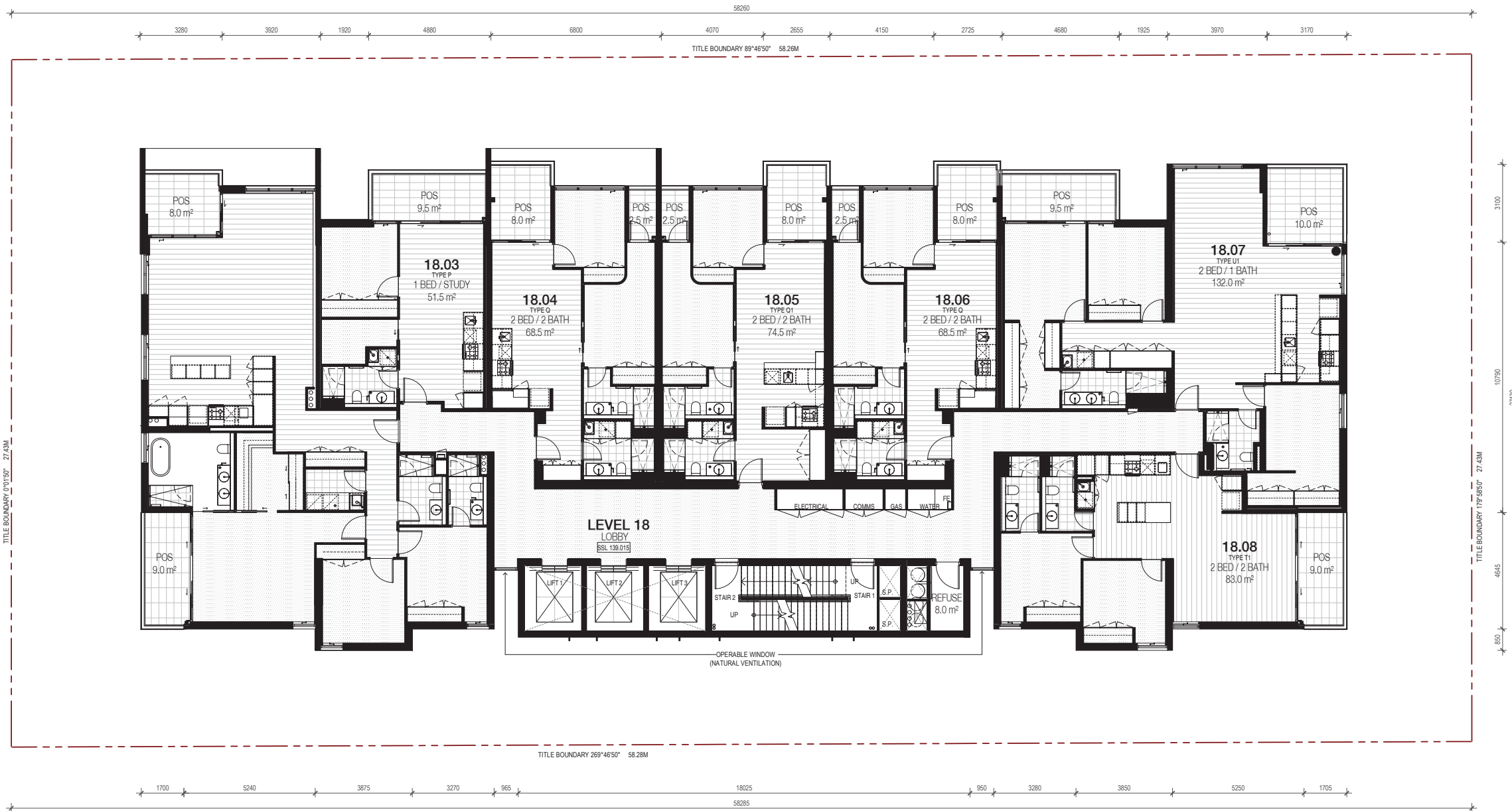
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- WALL ADJACENT TO LIFTS: R1.5
- INTERTENANCY WALLS: R1.5
- viii. HOLLAND BLINDS INSTALLED TO ALL APARTMENTS

REFER TO THE CAR PARK MANAGEMENT PLAN, PREPARED BY MGA FOR DETAILS OF: SIGNAGE, SIGNAGE LOCATIONS AND CAR PARKING ALLOCATION

REFER TO THE GREEN TRAVEL PLAN, PREPARED BY MGA FOR DETAILS OF THE SUSTAINABLE TRANSPORT INITIATIVES

NELSON ROAD

SHIPLEY STREET



PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME

This endorsed plan is in accordance with and forms part of Planning Permit Number: WH/2015/715

Patrick Sutton
 Signature for Responsible Authority

Sheet: 18 of 26 Date: 9/07/2019

26/02/2018 6:37:14 PM
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Rev.	Date	Revision	By	Chk.
T 1	20/07/2015	ISSUED FOR TOWN PLANNING	TX	MM
T 2	01/10/2015	ISSUED FOR TOWN PLANNING	MM	TW
T 3	28/07/2016	ISSUED FOR APPROVAL BY COUNCIL	KB	DH
T 4	22/09/2016	ISSUED FOR TOWN PLANNING	MM	DH
T 5	15/06/2017	ISSUED FOR ENDORSEMENT	TN	DH
T 6	26/02/2018	ISSUED FOR APPROVAL	MR	DH

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC

Drawing
 LEVEL 18 FLOOR PLAN

Date	Scale	Sheet Size	SJB Architects
-	1 : 100	@ A1	
	Drawn	Chk.	
	MR	DH	
Job No.	Drawing No.	Revision	
21165	SD18	T 6	



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SUSTAINABLE MANAGEMENT PLAN NOTES

THE REQUIREMENTS OF THE SUSTAINABLE MANAGEMENT PLAN ARE INCORPORATED INTO THE PROPOSED BUILDING.

THIS INCLUDES THE REQUIREMENTS LISTED BELOW:

1. INDOOR ENVIRONMENTAL QUALITY
2. ENERGY EFFICIENCY
3. WATER EFFICIENCY
4. STORM WATER MANAGEMENT
5. BUILDING MATERIALS
6. TRANSPORT
7. WASTE MANAGEMENT
8. URBAN ECOLOGY
9. ONGOING BUILDING AND SITE MANAGEMENT.

THE SPECIFIC REQUIREMENTS OF FOLLOWING ASSESSMENTS LISTED IN SMP ARE ALSO IMPLEMENTED.

- A. GREEN STAR SCORECARD
- B. FIRST RATES ENERGY RATINGS
- C. STORM RESULTS

REFER TO THE ESD REPORT, PREPARED BY BESTEC FOR DETAILS RELATING TO SUSTAINABILITY INITIATIVES.

ALSO NOTE:

- i. ALL FIXTURES AND APPLIANCES INSTALLED IN THE APARTMENTS, COMMUNAL AMENITIES AND COMMERCIAL TENANCIES AS PART OF THE BASE BUILDING ARE SELECTED IN ACCORDANCE WITH THE SMP PRESCRIBED PERFORMANCE STANDARDS FOR ENERGY SERVICES.
- ii. ALL APARTMENTS TO USE WATER EFFICIENT FIXTURES IN ACCORDANCE WITH THE SMP
- iii. A RAINWATER HARVESTING SYSTEM IS USED FOR TOILET FLUSHING
- iv. FIRE SYSTEM WATER STORAGE FOR A MINIMUM OF 80% OF TEST WATER FOR RE-USE
- v. ALL INTERIOR PAINTS, ADHESIVES, SEALANT AND FLOOR COVERINGS WILL BE LOW VOC
- vi. A MINIMUM OF 5% OF TIMBER WILL BE RECYCLED OR FROM ACCREDITED SUSTAINABLE HARVESTED PLANTATION SOURCES.
- vii. BUILDING MATERIALS

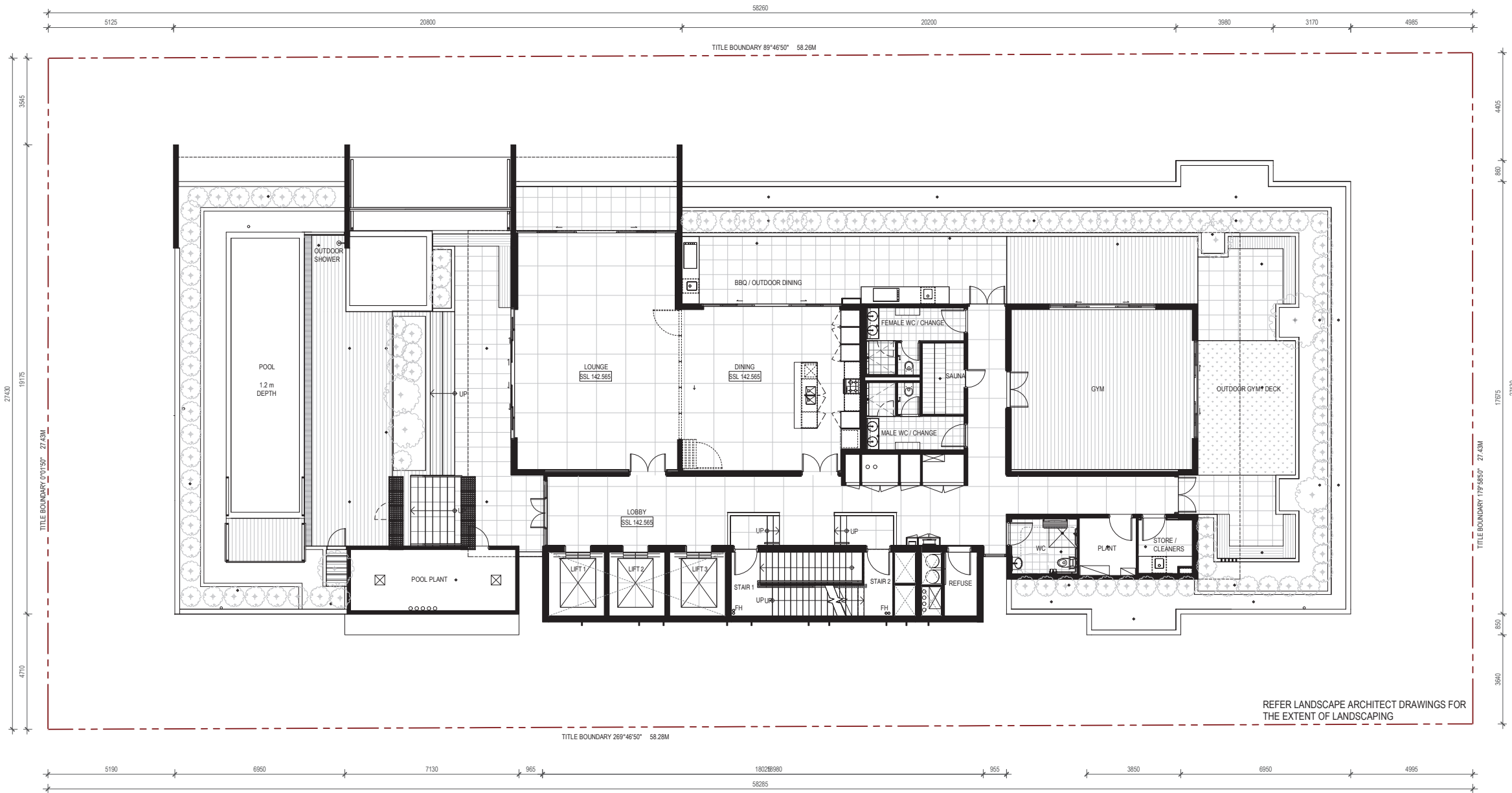
- FLOOR TYPE: SUSP CONCRETE SLAB
- FLOOR INSULATION: APARTMENTS: R1.9
- CEILING / ROOF INSUL.: APART EXTERIOR AREAS: R3.0
- WALL INSUL.: EXTERNAL WALLS R2.7
- CORRIDOR WALLS R2.5
- WALL ADJACENT TO LIFTS R1.5
- INTERTENANCY WALLS R1.5
- viii. HOLLAND BLINDS INSTALLED TO ALL APARTMENTS

REFER TO THE CARP PARKING MANAGEMENT PLAN, PREPARED BY MGA FOR DETAILS OF: SIGNAGE, SIGNAGE LOCATIONS AND CAR PARKING ALLOCATION

REFER TO THE GREEN TRAVEL PLAN, PREPARED BY MGA FOR DETAILS OF THE SUSTAINABLE TRANSPORT INITIATIVES

NELSON ROAD

SHIPLEY STREET



REFER LANDSCAPE ARCHITECT DRAWINGS FOR THE EXTENT OF LANDSCAPING

PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME

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T 5	15/06/2017	ISSUED FOR ENDORSEMENT	TN	DH
T 6	26/02/2018	ISSUED FOR APPROVAL	MR	DH

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC

Drawing
 LEVEL 19 - ROOF DECK FLOOR PLAN

Date	Scale	Sheet Size
-	1 : 100	@ A1
	Drawn	Chk.
	MR	DH
Job No.	Drawing No.	Revision
21165	SD19	T 6

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- B. FIRST RATES ENERGY RATINGS
- C. STORM RESULTS

REFER TO THE ESO REPORT, PREPARED BY BESTEC FOR DETAILS RELATING TO SUSTAINABILITY INITIATIVES.

ALSO NOTE:

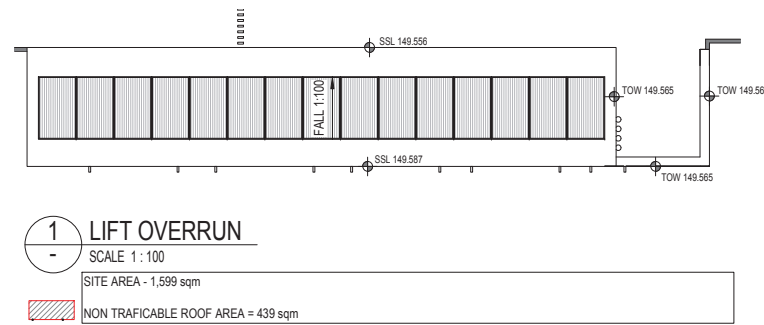
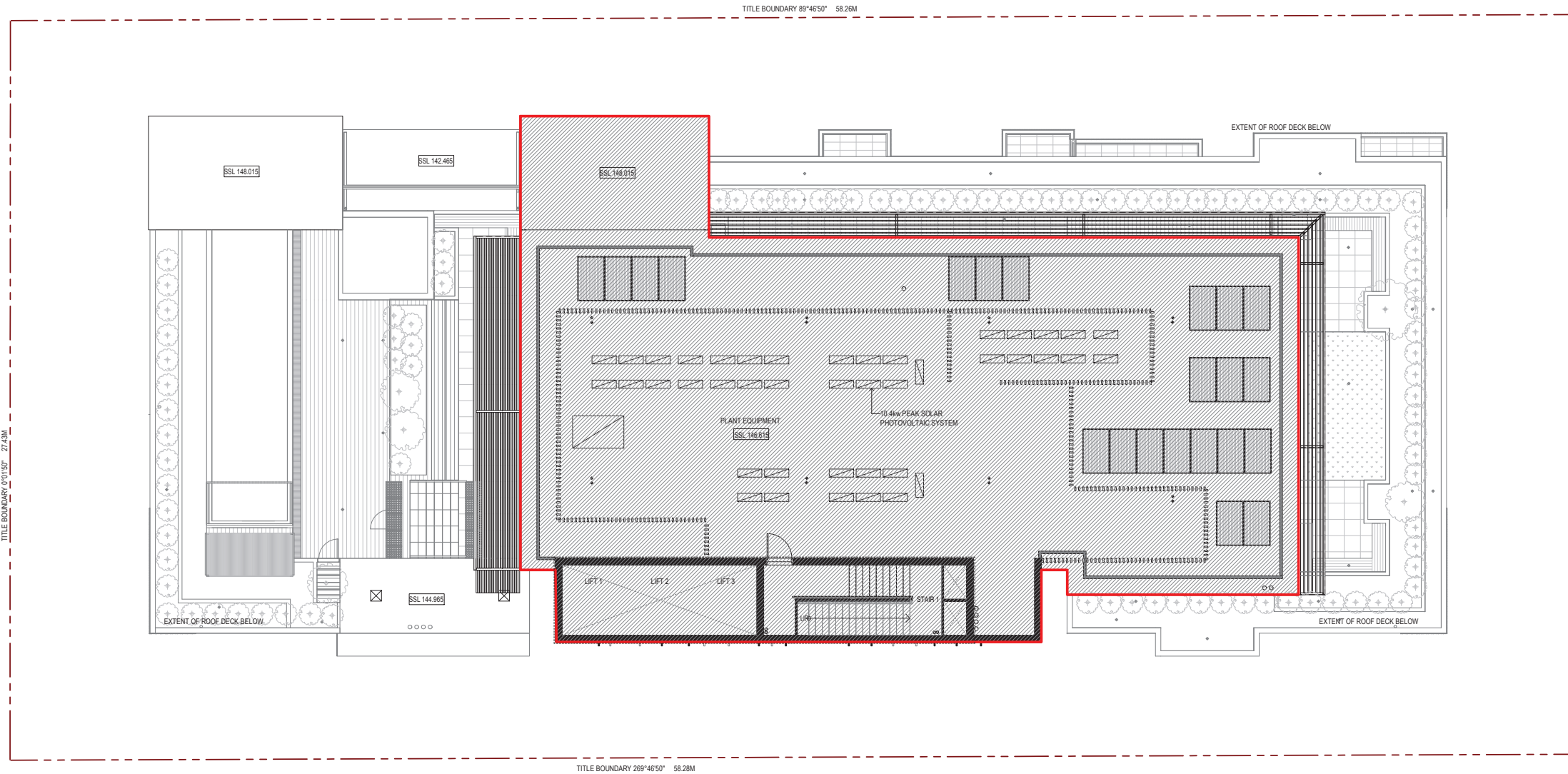
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- v. ALL INTERIOR PAINTS, ADHESIVES, SEALANT AND FLOOR COVERINGS WILL BE LOW VOC
- vi. A MINIMUM OF 5% OF TIMBER WILL BE RECYCLED OR FROM ACCREDITED SUSTAINABLE HARVESTED PLANTATION SOURCES.
- vii. BUILDING MATERIALS

FLOOR TYPE: SUSP CONCRETE SLAB
 FLOOR INSULATION: APARTMENTS: R1.9
 CEILING / ROOF INSUL.: APART EXTEROOF AREAS: R3.0
 WALL INSUL.: EXTERNAL WALLS R2.7
 CORRIDOR WALLS R1.5
 WALL ADJACENT TO LIFTS R1.5
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**PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME**

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Sheet: 20 of 26 Date: 9/07/2019

Rev.	Date	Revision	By	Chk.
T 1	20/07/2015	ISSUED FOR TOWN PLANNING	TK	MM
T 2	01/10/2015	ISSUED FOR TOWN PLANNING	HW	TW
T 3	28/07/2016	ISSUED FOR APPROVAL BY COUNCIL	KB	DH
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T 6	26/02/2018	ISSUED FOR APPROVAL	MR	DH

Project
CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC

Drawing
ROOF FLOOR PLAN

Date
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Scale
1:100

Sheet Size
@ A1

Drawn
 MR

Chk.
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Job No.
21165

Drawing No.
SD20

Revision
T6

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 C. STORM RESULTS

ALSO NOTE:

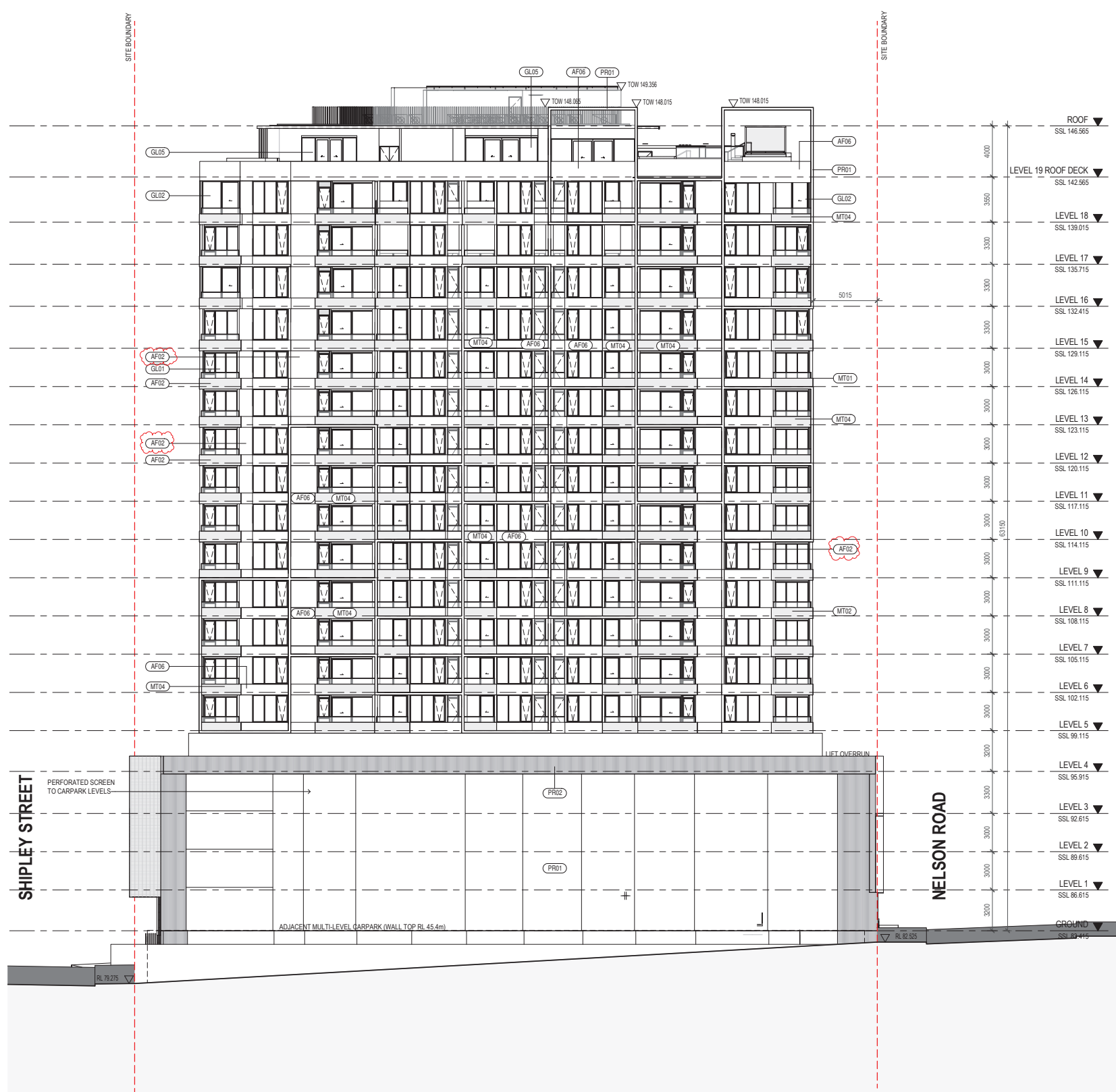
- ALL FIXTURES AND APPLIANCES INSTALLED IN THE APARTMENTS, COMMUNAL AMENITIES AND COMMERCIAL TENANCIES AS PART OF THE BASE BUILDING ARE SELECTED IN ACCORDANCE WITH THE SMP PRESCRIBED PERFORMANCE STANDARDS FOR ENERGY SERVICES.
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 - A MINIMUM OF 95% OF TIMBER WILL BE RECYCLED OR FROM ACCREDITED SUSTAINABLE HARVESTED PLANTATION SOURCES
 - BUILDING MATERIALS
- FLOOR TYPE: SUSP CONCRETE SLAB
 FLOOR INSULATION: APARTMENTS: R-1.9
 CEILING ROOF INSUL: APART EXTEROOF AREAS: R-3.0
 WALL INSUL: EXTERNAL WALLS: R-2.7
 CORRIDOR WALLS: R-2.5
 WALL ADJACENT TO LIFTS: R-1.5
 INTERTENANCY WALLS: R-1.5
 vii. HOLLAND BLINDS INSTALLED TO ALL APARTMENTS

GLAZING NOTE

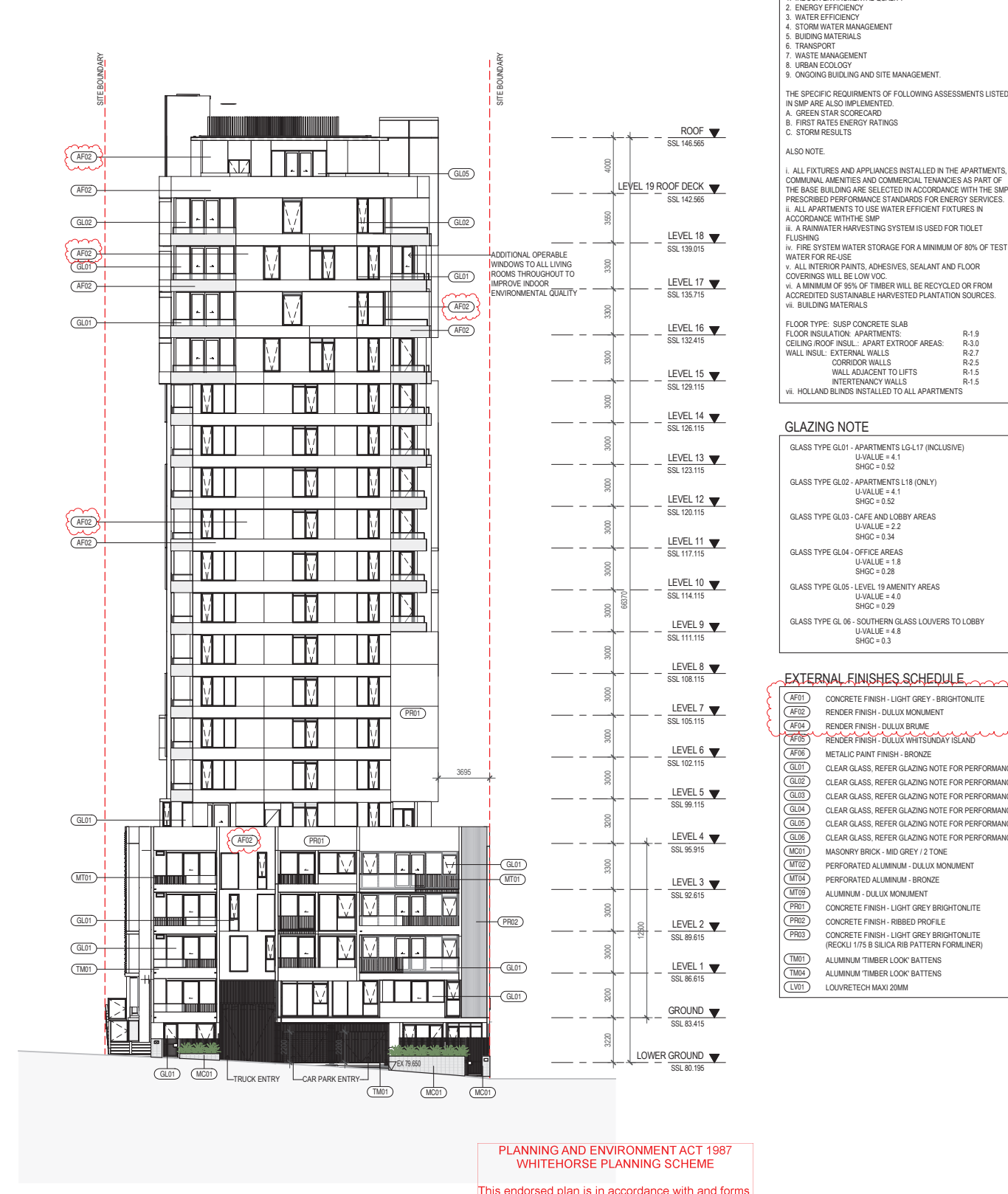
- GLASS TYPE GL01 - APARTMENTS LG-L17 (INCLUSIVE)
 U-VALUE = 4.1
 SHGC = 0.52
- GLASS TYPE GL02 - APARTMENTS L18 (ONLY)
 U-VALUE = 4.1
 SHGC = 0.52
- GLASS TYPE GL03 - CAFE AND LOBBY AREAS
 U-VALUE = 2.2
 SHGC = 0.34
- GLASS TYPE GL04 - OFFICE AREAS
 U-VALUE = 1.8
 SHGC = 0.28
- GLASS TYPE GL05 - LEVEL 19 AMENITY AREAS
 U-VALUE = 4.0
 SHGC = 0.29
- GLASS TYPE GL 06 - SOUTHERN GLASS LOUVERS TO LOBBY
 U-VALUE = 4.8
 SHGC = 0.3

EXTERNAL FINISHES SCHEDULE

- AF01 CONCRETE FINISH - LIGHT GREY - BRIGHTONLITE
- AF02 RENDER FINISH - DULUX MONUMENT
- AF04 RENDER FINISH - DULUX BRUME
- AF05 RENDER FINISH - DULUX WHITSUNDAY ISLAND
- AF06 METALIC PAINT FINISH - BRONZE
- GL01 CLEAR GLASS, REFER GLAZING NOTE FOR PERFORMANCE
- GL02 CLEAR GLASS, REFER GLAZING NOTE FOR PERFORMANCE
- GL03 CLEAR GLASS, REFER GLAZING NOTE FOR PERFORMANCE
- GL04 CLEAR GLASS, REFER GLAZING NOTE FOR PERFORMANCE
- GL05 CLEAR GLASS, REFER GLAZING NOTE FOR PERFORMANCE
- GL06 CLEAR GLASS, REFER GLAZING NOTE FOR PERFORMANCE
- MC01 MASONRY BRICK - MID GREY / 2 TONE
- MT02 PERFORATED ALUMINUM - DULUX MONUMENT
- MT04 PERFORATED ALUMINUM - BRONZE
- MT09 ALUMINUM - DULUX MONUMENT
- PR01 CONCRETE FINISH - LIGHT GREY BRIGHTONLITE
- PR02 CONCRETE FINISH - RIBBED PROFILE
- PR03 CONCRETE FINISH - LIGHT GREY BRIGHTONLITE (RECKL 1/75 B SILICA RIB PATTERN FORMLINER)
- TM01 ALUMINUM 'TIMBER LOOK' BATTENS
- TM04 ALUMINUM 'TIMBER LOOK' BATTENS
- LV01 LOUVRETECH MAXI 20MM



1 NORTH ELEVATION
 SCALE 1 : 200



2 EAST ELEVATION
 SCALE 1 : 200

PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME

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Sheet: 21 of 26 Date: 9/07/2019

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Rev.	Date	Revision	By	Chk.
T 1	2/07/2015	ISSUED FOR TOWN PLANNING	TX	NM
T 2	01/10/2015	ISSUED FOR TOWN PLANNING	HF	TW
T 3	28/07/2016	ISSUED FOR APPROVAL BY COUNCIL	KB	DH
T 4	22/09/2016	ISSUED FOR TOWN PLANNING	MM	DH
T 5	15/06/2017	ISSUED FOR ENDORSEMENT	TN	DH
T 6	26/02/2018	ISSUED FOR APPROVAL	MR	DH
T 7	28/03/2019	ISSUED FOR TOWN PLANNING	JZ	FC

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC

Drawing
 NORTH & EAST ELEVATIONS

Date
 -

Scale
 1 : 200

Sheet Size
 @ A1

Drawn
 TX

Chk.
 NM

Job No.
 21165

Drawing No.
 SD20

Revision
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- vii. BUILDING MATERIALS

FLOOR TYPE: SUSP CONCRETE SLAB
 FLOOR INSULATION: APARTMENTS: R-1.9
 CEILING ROOF INSUL.: APART EXTERIOR AREAS: R-2.7
 WALL INSUL.: EXTERNAL WALLS: R-2.5
 CORRIDOR WALLS: R-1.5
 INTERTENANCY WALLS: R-1.5
 HOLLAND BLINDS INSTALLED TO ALL APARTMENTS

GLAZING NOTE

GLASS TYPE GL01 - APARTMENTS LG-L17 (INCLUSIVE)
 U-VALUE = 4.1
 SHGC = 0.52

GLASS TYPE GL02 - APARTMENTS L18 (ONLY)
 U-VALUE = 4.1
 SHGC = 0.52

GLASS TYPE GL03 - CAFE AND LOBBY AREAS
 U-VALUE = 2.2
 SHGC = 0.34

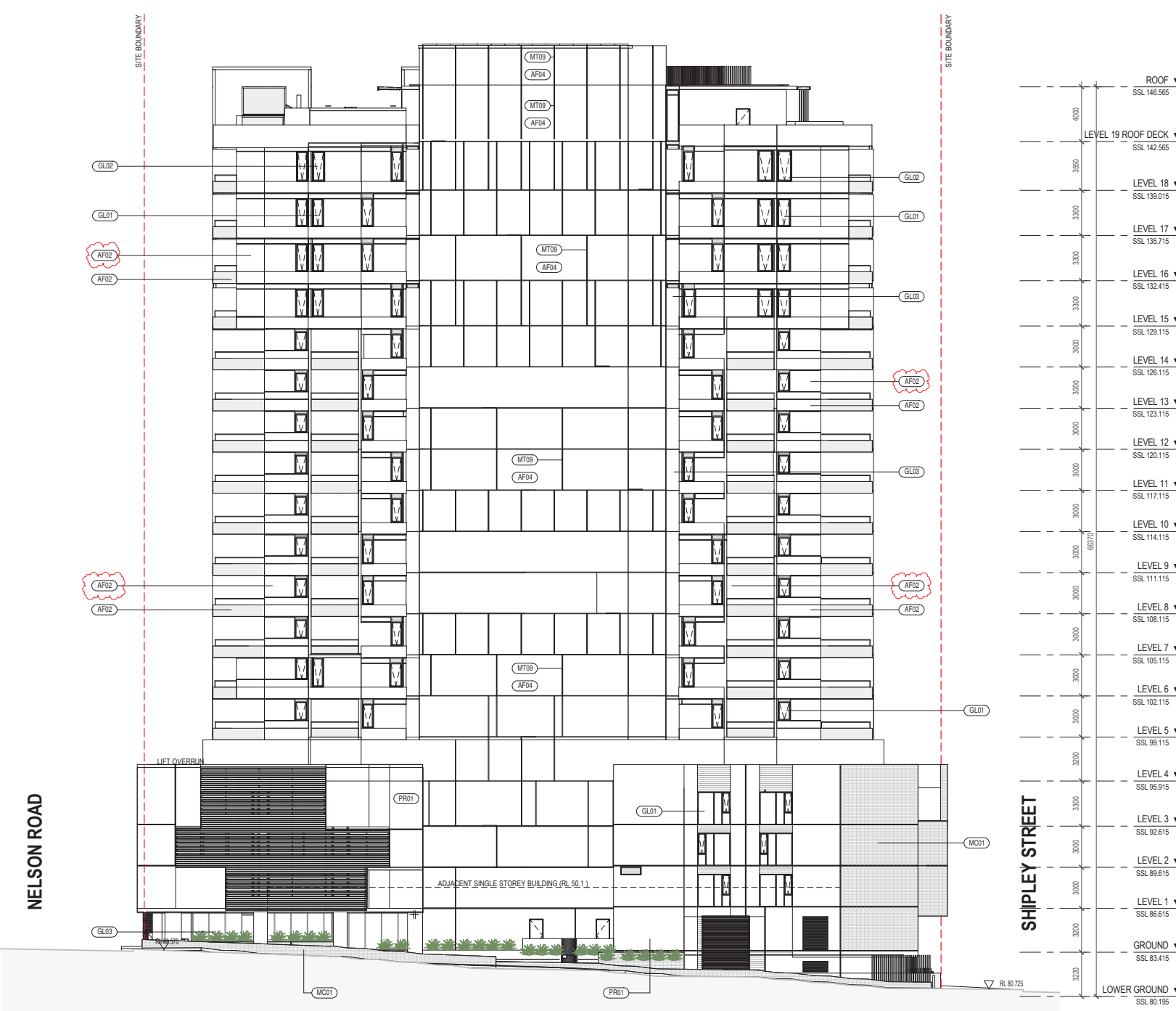
GLASS TYPE GL04 - OFFICE AREAS
 U-VALUE = 1.8
 SHGC = 0.28

GLASS TYPE GL05 - LEVEL 19 AMENITY AREAS
 U-VALUE = 4.0
 SHGC = 0.29

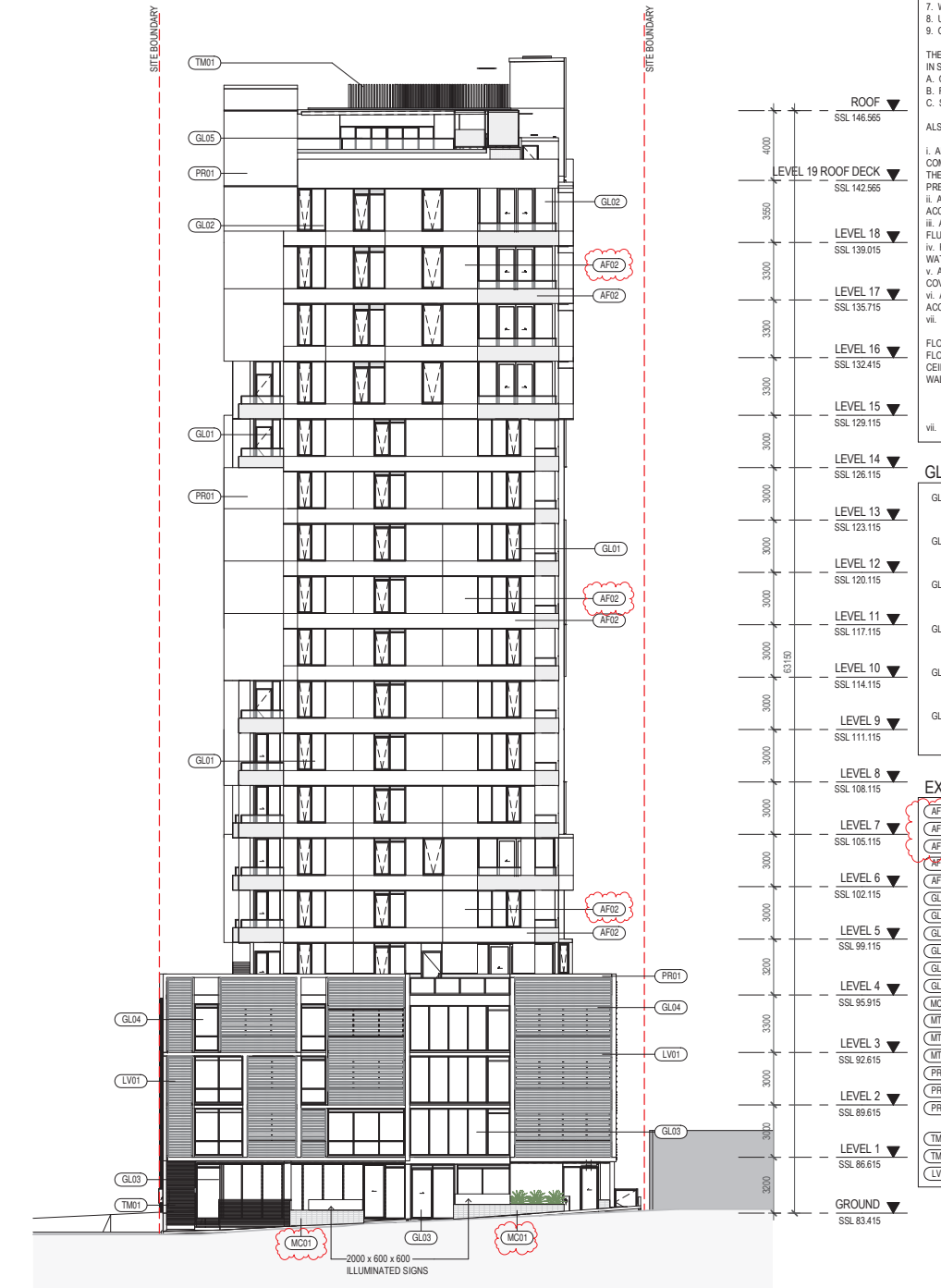
GLASS TYPE GL 06 - SOUTHERN GLASS LOUVERS TO LOBBY
 U-VALUE = 4.8
 SHGC = 0.3

EXTERNAL FINISHES SCHEDULE

AF01	CONCRETE FINISH - LIGHT GREY - BRIGHTONLITE
AF02	RENDER FINISH - DULUX MONUMENT
AF04	RENDER FINISH - DULUX BRUME
AF05	RENDER FINISH - DULUX WATSONDAY ISLAND
AF06	METALIC PAINT FINISH - BRONZE
GL01	CLEAR GLASS, REFER GLAZING NOTE FOR PERFORMANCE
GL02	CLEAR GLASS, REFER GLAZING NOTE FOR PERFORMANCE
GL03	CLEAR GLASS, REFER GLAZING NOTE FOR PERFORMANCE
GL04	CLEAR GLASS, REFER GLAZING NOTE FOR PERFORMANCE
GL05	CLEAR GLASS, REFER GLAZING NOTE FOR PERFORMANCE
GL06	CLEAR GLASS, REFER GLAZING NOTE FOR PERFORMANCE
MC01	MASONRY BRICK - MD GREY / 2 TONE
MT02	PERFORATED ALUMINUM - DULUX MONUMENT
MT04	PERFORATED ALUMINUM - BRONZE
MT09	ALUMINUM - DULUX MONUMENT
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TM01	ALUMINUM 'TIMBER LOOK' BATTENS
TM04	ALUMINUM 'TIMBER LOOK' BATTENS
LV01	LOUVRETECH MAXI 20MM



1 SOUTH ELEVATION
SCALE 1 : 200



2 WEST ELEVATION
SCALE 1 : 200

PLANNING AND ENVIRONMENT ACT 1987
 WHITEHORSE PLANNING SCHEME

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Sheet: 22 of 26 Date: 9/07/2019

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T 5	15/06/2017	ISSUED FOR ENDORSEMENT	TN	DH
T 6	28/03/2019	ISSUED FOR TOWN PLANNING	JZ	FC

Project
 CENTRAL PARK
 12 - 14 NELSON RD, BOX HILL, VIC

Drawing
 SOUTH & WEST ELEVATIONS

Date
 -

Scale
 1 : 200

Sheet Size
 @ A1

Job No.
 21165

Drawing No.
 SD21

Revision
 6

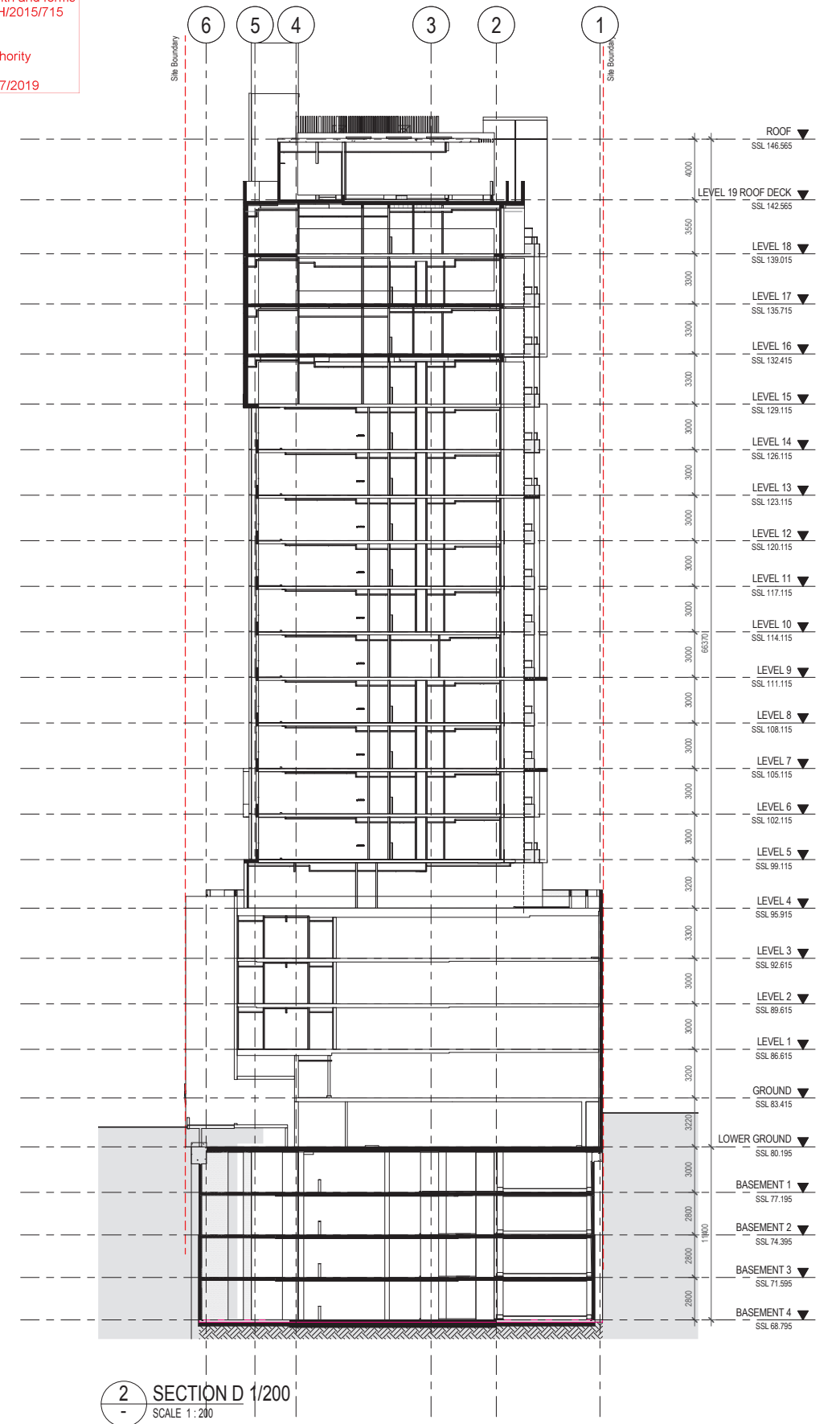
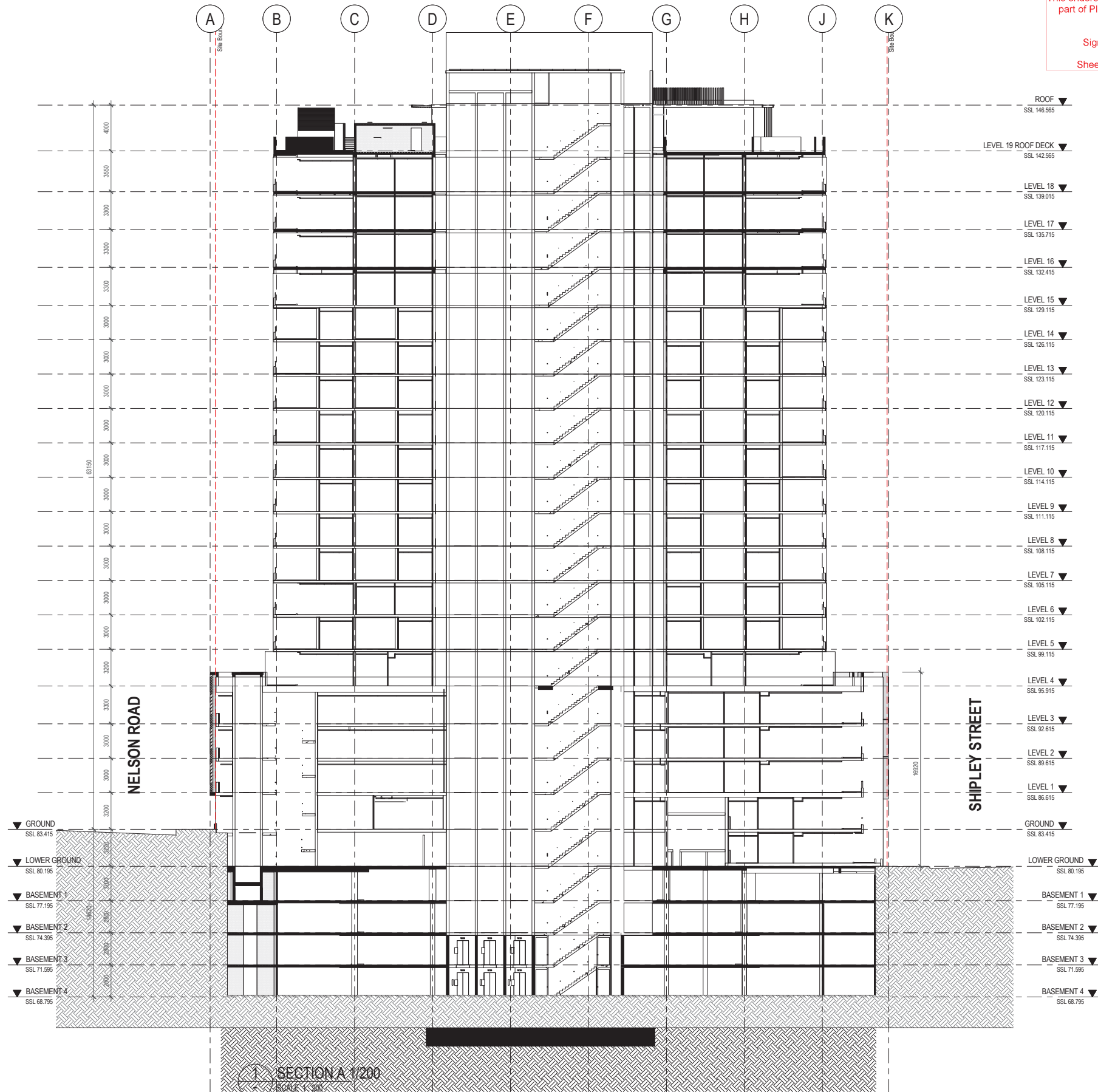
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Signature for Responsible Authority

Sheet: 23 of 26 Date: 9/07/2019



SECTION A 1/200
SCALE 1:200

SECTION D 1/200
SCALE 1:200

Rev.	Date	Revision	By	Chk.
T 1	09/07/2015	Issued for Client Review	HV	MM
T 2	27/01/2018	ISSUED FOR TOWN PLANNING	HV	TW
T 3	26/02/2018	ISSUED FOR APPROVAL	MR	DH

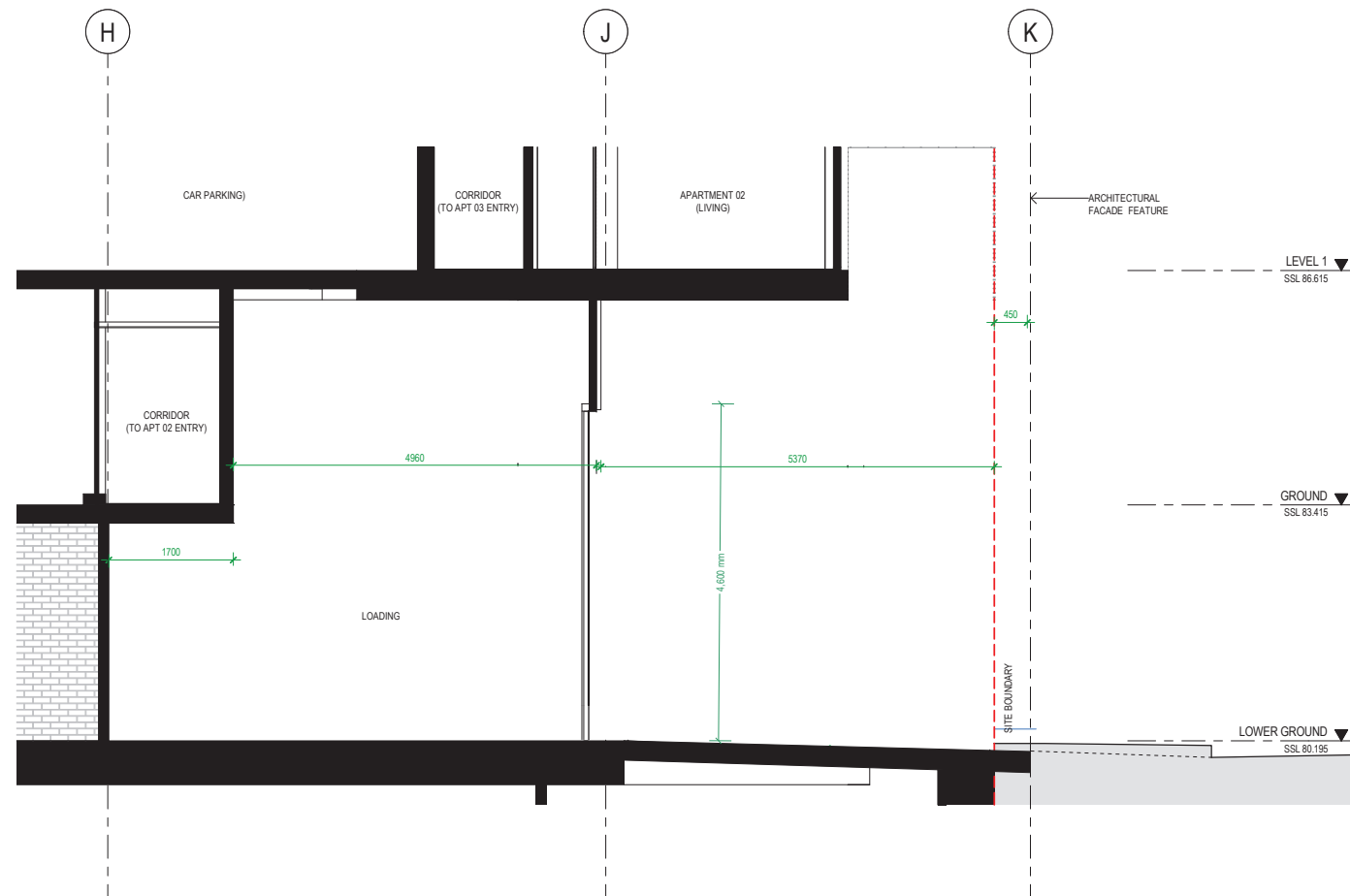
Project
CENTRAL PARK
12 - 14 NELSON RD, BOX HILL, VIC
Drawing
GENERAL SECTIONS 1

Date
-
Scale
1:200
Drawn
MR
Job No.
21165
Drawing No.
SD31

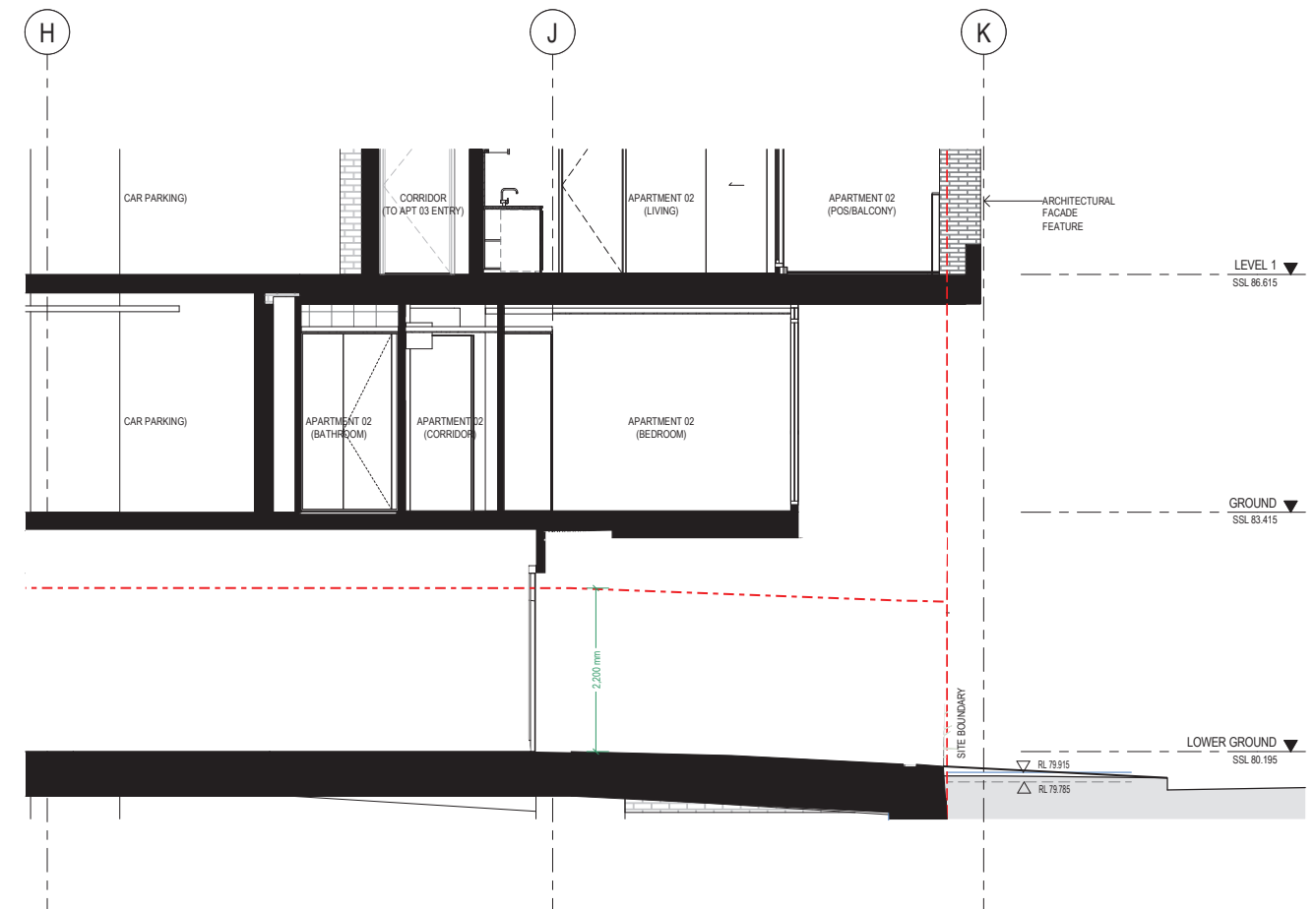
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T3
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1 SECTION C - LOADING BAY
SCALE 1:50



2 SECTION D - CAR PARK ENTRY
SCALE 1:50

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Rev.	Date	Revision	By	Chk.

Project

CENTRAL PARK
12 - 14 NELSON RD, BOX HILL, VIC

Drawing

SECTIONS AT ENTRIES TO CAR PARK AND
LOADING BAY

Date

12/07/16

Scale

1:200

Drawn

TX

Job No.

21165

Drawing No.

SD41

Sheet Size

@ A1

Chk.

NM

Revision

T5

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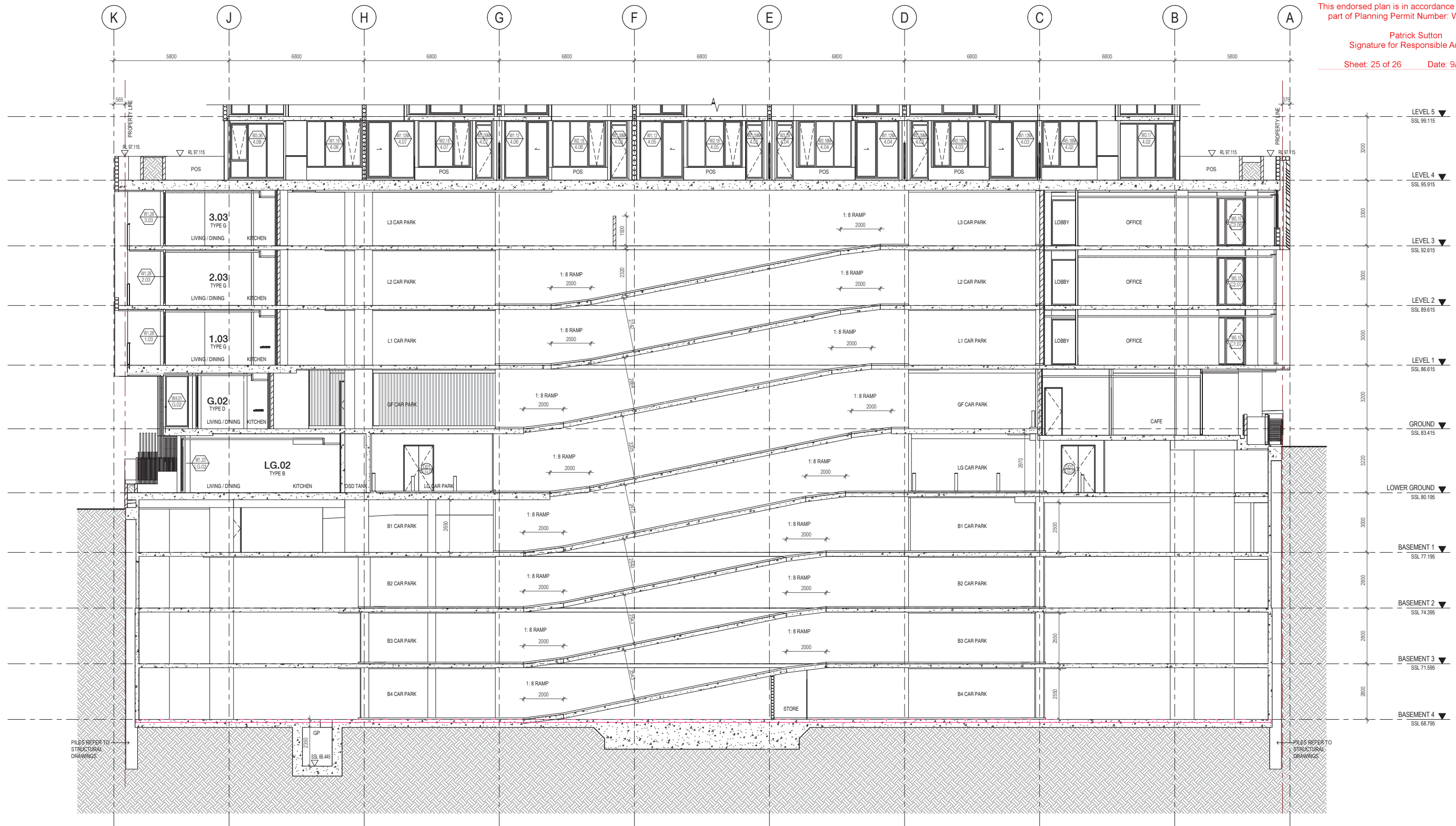
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North Point



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T 1	26/02/2018	ISSUED FOR APPROVAL	MR	DH

Project
CENTRAL PARK
12 - 14 NELSON RD, BOX HILL, VIC
Drawing
LONGITUDINAL SECTION

Date
-
Scale
1 : 100
Drawn
MR
Job No.
21165
Drawing No.
SD42

Sheet Size
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Documentation

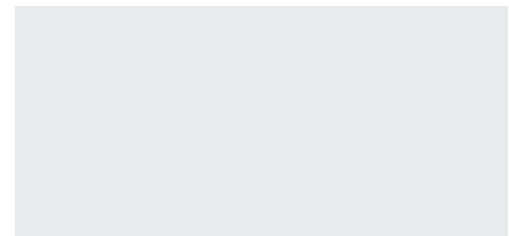
**PLANNING AND ENVIRONMENT ACT 1987
WHITEHORSE PLANNING SCHEME**

This endorsed plan is in accordance with and forms part of Planning Permit Number: WH/2015/715

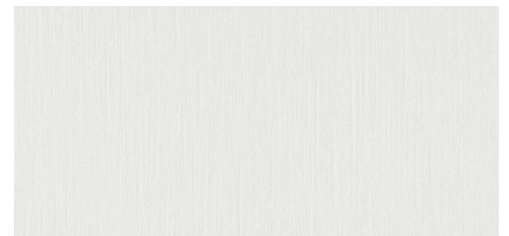
Patrick Sutton
Signature for Responsible Authority

Sheet: 26 of 26 Date: 9/07/2019

Materials Palette



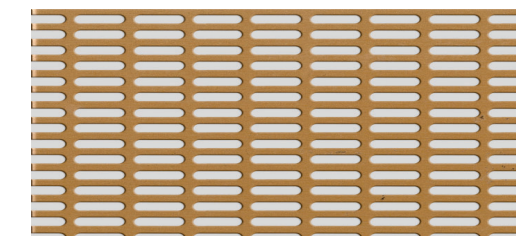
AF01 - Applied Finish - NawKaw Concrete Stain



AF05 - Applied Finish - Dulux Whit Sunday Island



MC01 - Brick / Masonary - Blue Grey and Blue Red



MT04 - Perforated Aluminium - Dulux Monument



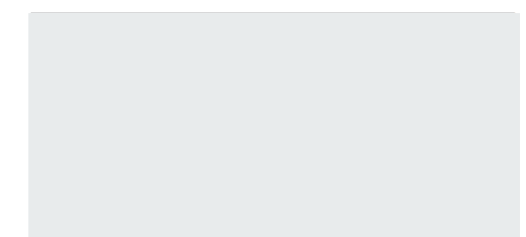
AF02 - Applied Finish - Dulux Monument



AF06 - Concrete Stain Bronze



MT01, MT05 & MT09 - Aluminium - Dulux Monument



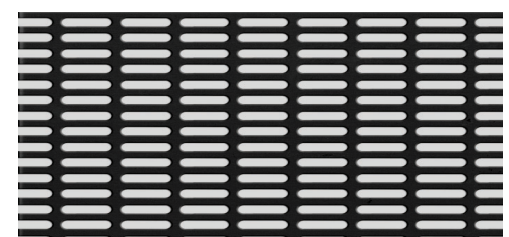
PR01 - CONCRETE FINISH - BRIGHTON LITE



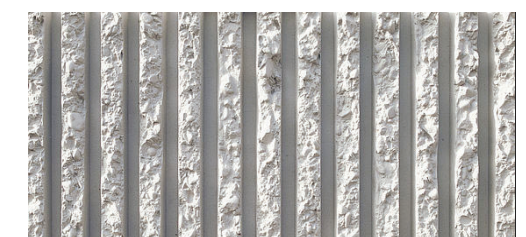
AF03 - Applied Finish - Dulux Klute



GL01-GL06 Clear Glazing



MT02 - Perforated Aluminium - Dulux Monument



PR02 - PROFILED CONCRETE FINISH - BRIGHTON LITE



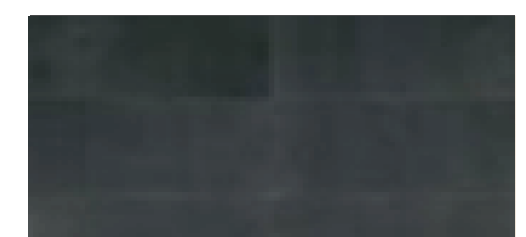
AF04 - Applied Finish - Dulux Brume



Grey Glazing



MT03 - Aluminium - Bronze



TE02 - BLUE STONE TILES - BALCONY TILES

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T6	26.02.2018	ISSUED FOR ENDORSEMENT	TN	DH

Project
CENTRAL PARK 12 - 14 NELSON RD, BOX HILL, VIC
Drawing
MATERIALS BOARD

Date	Scale	Sheet Size
12/07/16	1 : 100	@ A1
Drawn	Chk.	
PT	NM	
Job No.	Drawing No.	Revision
21165	SD43	T6

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