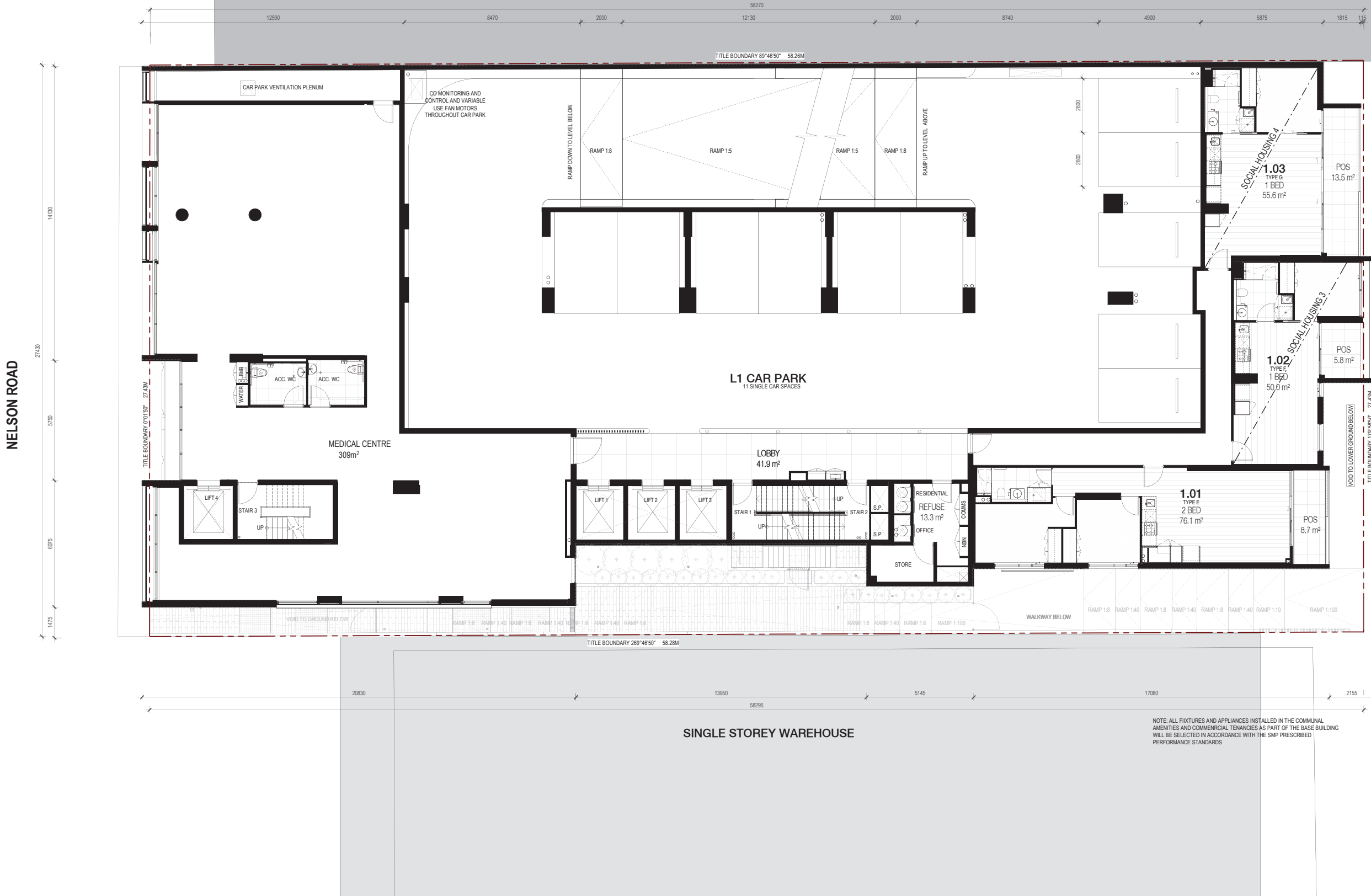


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RSL  
18-28 NELSON ROAD  
MULTI LEVEL CARPARK  
(BELOW)



SUSTAINABLE MANAGEMENT PLAN NOTES

THE REQUIREMENTS OF THE SUSTAINABLE MANAGEMENT PLAN ARE INCORPORATED INTO THE PROPOSED BUILDING.

THIS INCLUDES THE REQUIREMENTS LISTED BELOW:

1. INDOOR ENVIRONMENTAL QUALITY
2. ENERGY EFFICIENCY
3. WATER EFFICIENCY
4. STORM WATER MANAGEMENT
5. BUILDING MATERIALS
6. TRANSPORT
7. WASTE MANAGEMENT
8. URBAN ECOLOGY
9. ONGOING BUILDING AND SITE MANAGEMENT.

THE SPECIFIC REQUIREMENTS OF FOLLOWING ASSESSMENTS LISTED IN SMP ARE ALSO IMPLEMENTED.

- A. GREEN STAR SCORECARD
- B. FIRST RATES ENERGY RATINGS
- C. STORM RESULTS

REFER TO THE ESS REPORT, PREPARED BY BESTEC FOR DETAILS RELATING TO SUSTAINABILITY INITIATIVES.

ALSO NOTE:

- i. ALL FIXTURES AND APPLIANCES INSTALLED IN THE APARTMENTS, COMMUNAL AMENITIES AND COMMERCIAL TENANCIES AS PART OF THE BASE BUILDING ARE SELECTED IN ACCORDANCE WITH THE SMP PRESCRIBED PERFORMANCE STANDARDS FOR ENERGY SERVICES.
  - ii. ALL APARTMENTS TO USE WATER EFFICIENT FIXTURES IN ACCORDANCE WITH THE SMP
  - iii. A RAINWATER HARVESTING SYSTEM IS USED FOR TOILET FLUSHING
  - iv. FIRE SYSTEM WATER STORAGE FOR A MINIMUM OF 80% OF TEST WATER FOR RE-USE
  - v. ALL INTERIOR PAINTS, ADHESIVES, SEALANT AND FLOOR COVERINGS WILL BE LOW VOC.
  - vi. A MINIMUM OF 55% OF TIMBER WILL BE RECYCLED OR FROM ACCREDITED SUSTAINABLE HARVESTED PLANTATION SOURCES.
  - vii. BUILDING MATERIALS
  - FLOOR TYPE: SUSP CONCRETE SLAB
  - FLOOR INSULATION: APARTMENTS: R-1.9
  - CEILING / ROOF INSUL.: APART EXTROOF AREAS: R-3.0
  - WALL INSUL.: EXTERNAL WALLS R-2.7
  - CORRIDOR WALLS R-1.5
  - WALL ADJACENT TO LIFTS R-1.5
  - INTER TENANCY WALLS R-1.5
  - viii. HOLLAND BLINDS INSTALLED TO ALL APARTMENTS
- REFER TO THE CAR PARK MANAGEMENT PLAN, PREPARED BY MGA FOR DETAILS OF: SIGNAGE, SIGNAGE LOCATIONS AND CAR PARKING ALLOCATION
- REFER TO THE GREEN TRAVEL PLAN, PREPARED BY MGA FOR DETAILS OF THE SUSTAINABLE TRANSPORT INITIATIVES

SHIPLEY STREET

NELSON ROAD

NOTE: ALL FIXTURES AND APPLIANCES INSTALLED IN THE COMMUNAL AMENITIES AND COMMERCIAL TENANCIES AS PART OF THE BASE BUILDING WILL BE SELECTED IN ACCORDANCE WITH THE SMP PRESCRIBED PERFORMANCE STANDARDS

Rev.	Date	Revision	By	Chk.
T 1	20/07/2015	ISSUED FOR TOWN PLANNING	TK	NM
T 2	01/10/2015	ISSUED FOR TOWN PLANNING	WF	TW
T 3	28/07/2016	ISSUED FOR APPROVAL BY COUNCIL	KB	DH
T 4	22/09/2016	ISSUED FOR TOWN PLANNING	MM	DH
T 5	15/06/2017	ISSUED FOR ENDORSEMENT	TN	DH
T 6	26/02/2018	ISSUED FOR APPROVAL	MR	DH
T 7	03/07/2019	OFFICE AREAS AMENDED	PW	PW

Project  
CENTRAL PARK  
12 - 14 NELSON RD, BOX HILL, VIC  
Drawing  
LEVEL 1 PODIUM FLOOR PLAN

Date  
11.06.19  
Scale  
1 : 100  
Sheet Size  
@ A1  
Drawn  
PT  
Chk.  
NM  
Job No.  
21165  
Drawing No.  
SD08  
Revision  
7

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- v. ALL INTERIOR PAINTS, ADHESIVES, SEALANT AND FLOOR COVERINGS WILL BE LOW VOC
- vi. A MINIMUM OF 5% OF TIMBER WILL BE RECYCLED OR FROM ACCREDITED SUSTAINABLE HARVESTED PLANTATION SOURCES.
- vii. BUILDING MATERIALS

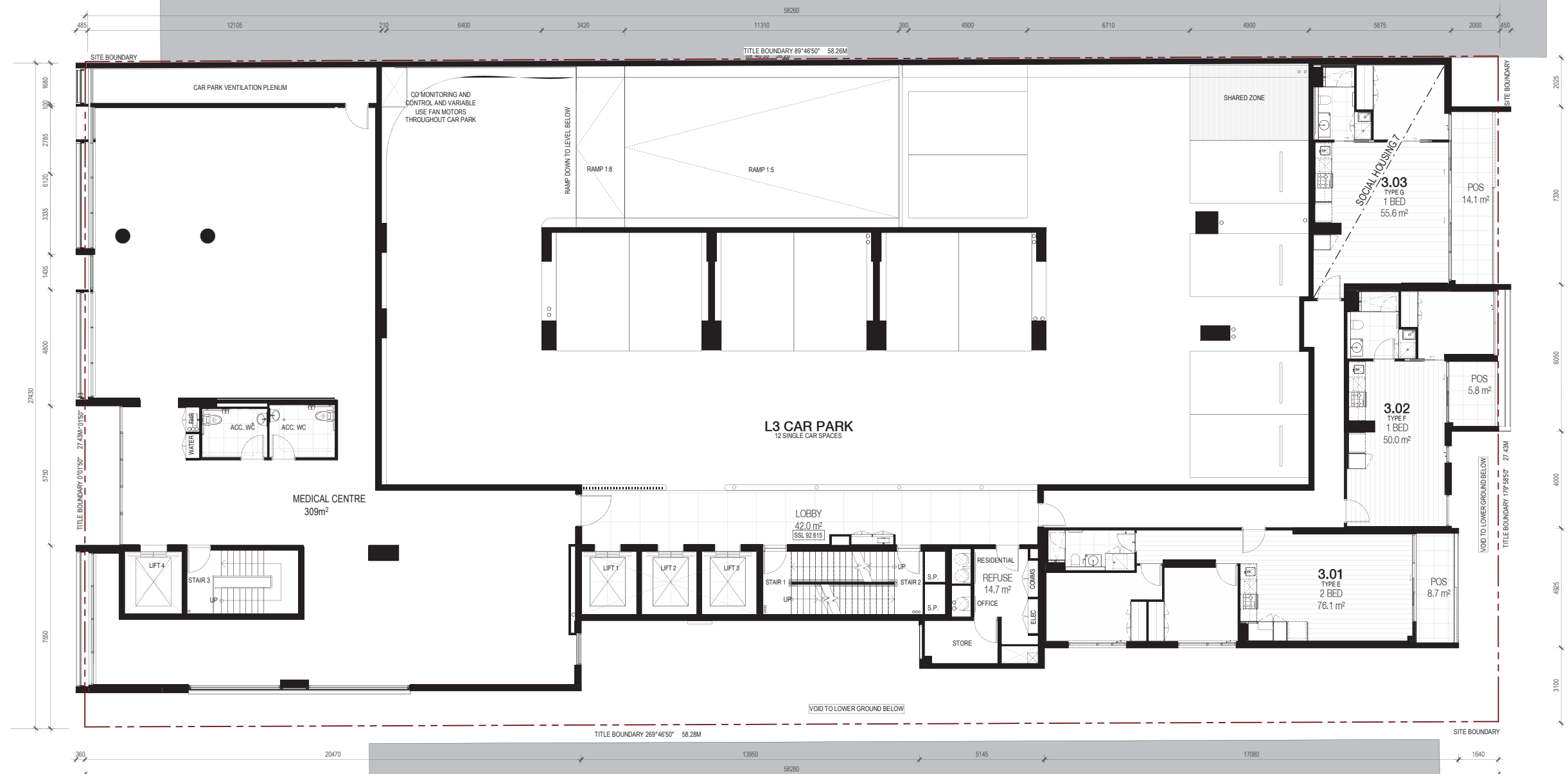
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NELSON ROAD

SHIPLEY STREET



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