

19-05 23 Baldwin Rd Blackburn

DE ATELIER ARCHITECTS

TP ARCHITECTURAL

DWG#	DRAWING NAME	SCALE
TP-0.01	DRAWING REGISTER	NTS @ A2
TP-0.02	RENDER PERSPECTIVES	NTS @ A2
TP-1.00	CONTEXT PLAN	NTS @ A2
TP-1.01	DEVELOPMENT PATTERN	NTS @ A2
TP-1.02	EXISTING CONDITIONS & DEMO	1:200 @ A2
TP-1.03	EXISTING ELEVATIONS	1:100 @ A2
TP-1.04	EXISTING ELEVATIONS	1:100 @ A2
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TP-2.02	GROUND FLOOR PLAN	1:100 @ A2
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TP-5.05	SHADOW @ 3PM SEP 22	1:200 @ A2

AREA CALCULATION

PROPOSED DEVELOPMENT		
TOTAL LOT SIZE	(SQM)	886
GROUND FLOOR - UNIT 1(INC. GARAGE)	(SQM)	95
GROUND FLOOR - UNIT 2(INC. GARAGE)	(SQM)	85
GROUND FLOOR - UNIT 3 (INC. GARAGE)	(SQM)	140
TOTAL GROUND FLOOR (INC. GARAGE)	(SQM)	320
FIRST FLOOR OVERHANG	(SQM)	25
GARDEN SHEDS	(SQM)	10
TOTAL BUILDING AREA	(SQM)	355
SITE COVERAGE		40%

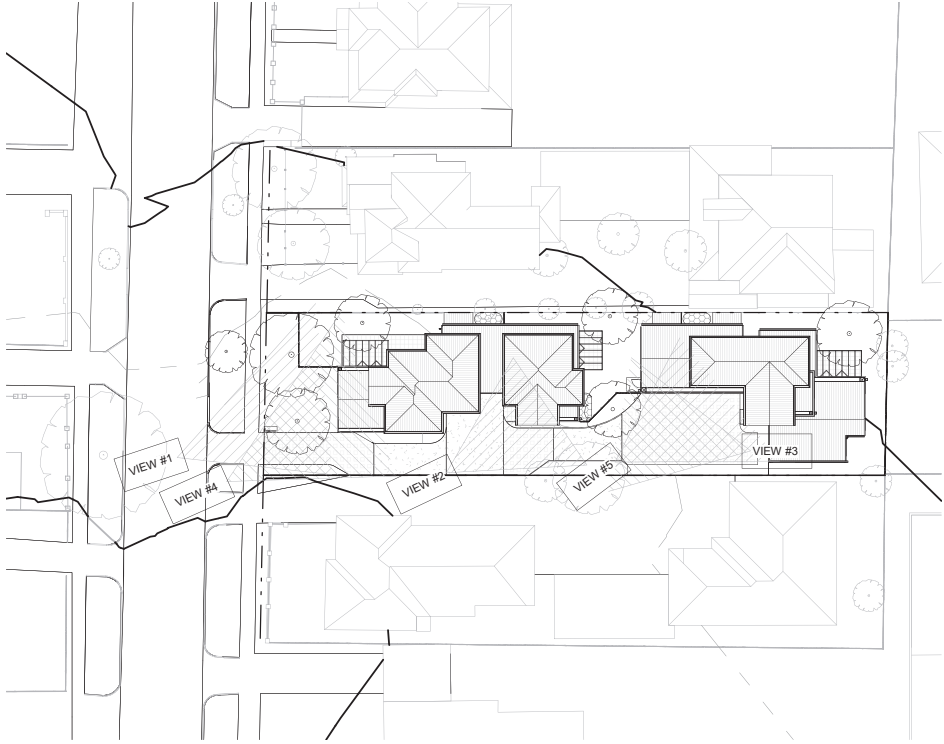
IMPERVIOUS DRIVEWAY	(SQM)	77
PAVED SURFACES	(SQM)	3
TOTAL HARD SURFACES	(SQM)	435
PERCENTAGE HARD SURFACES		49%
PERMEABILITY		51%

TOTAL GARDEN AREA (INC. GARDEN SHEDS)	(SQM)	321
PERCENTAGE GARDEN AREA		36%

UNIT 1 PRIMARY SECLUDED P.O.S.	(SQM)	49
UNIT 1 TOTAL SECLUDED P.O.S.	(SQM)	70
UNIT 2 PRIMARY SECLUDED P.O.S.	(SQM)	43
UNIT 2 TOTAL SECLUDED P.O.S.	(SQM)	59
UNIT 3 PRIMARY SECLUDED P.O.S.	(SQM)	39
UNIT 3 TOTAL SECLUDED P.O.S.	(SQM)	89
TOTAL SECLUDED P.O.S.	(SQM)	218
TOTAL P.O.S.	(SQM)	555
PERCENTAGE P.O.S.		63%

REFER TO SDA REPORT FOR ESD SCHEDULE OF COMMITMENTS

LANDSCAPING SHOWN INDICATIVE ONLY. REFER LANDSCAPE PLAN



7 PERSPECTIVE REFERENCE PLAN
1 : 500



VIEW #2



VIEW #1



VIEW #3

DRAWING REGISTER

Residential Development

23 Baldwin Rd Blackburn

BIM 300:19-05 23 Baldwin Rd Blackburn:19-05 23 Baldwin Rd Blackburn-v18.rvt

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A	Town Planning RFI Response - 3 Units	22/04/2020

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VIEW #4



VIEW #5



1. BRICKS: SAN SELMO SMOKED - GREY CASHMERE
(Image: australbricks.com.au)



2. METAL CLADDING: COLORBOND MONUMENT, STANDING SEAM PROFILE
(Image: colorbond.com/gallery)



2&3. METAL CLADDING & SILVERTOP ASH
(Image: radialtimbers.com.au/portfolio-type/the-bridge-house)



3. TIMBER CLADDING: SILVERTOP ASH
(Image: timberandrose.com.au)



4. FENCE: SILVERTOP ASH BATTENS
(Image: timbermelbourne.com.au/fencing)

5. PERMEABLE PAVING
(Image: techo-bloc.com)

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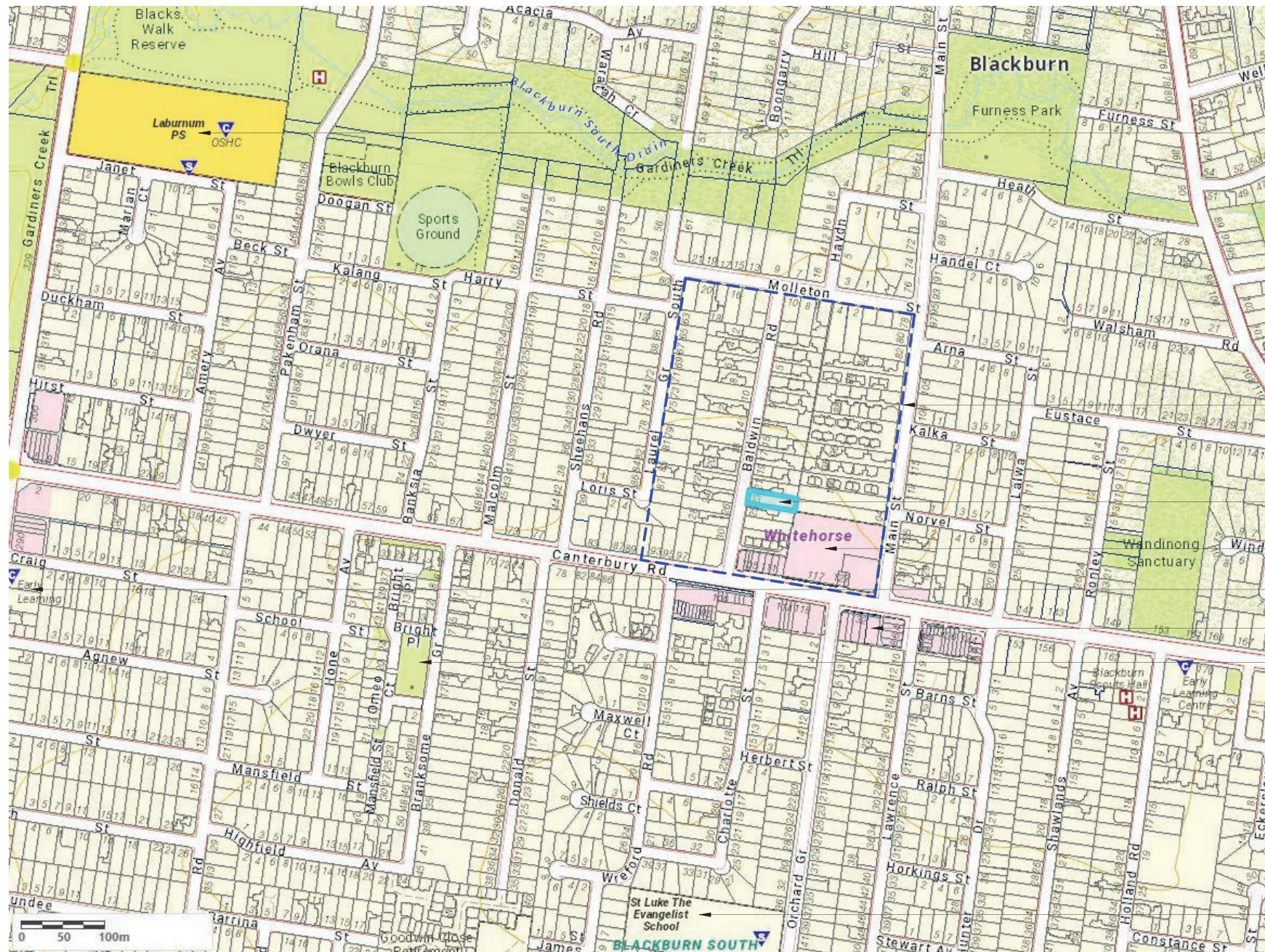
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LABURNUM PRIMARY SCHOOL

BLUE DASH INDICATES AREA WITH HIGH PROPORTION OF MULTI-RES DEVELOPMENTS WITH 2 OR MORE UNITS PER SITE

SUBJECT SITE, 23 BALDWIN RD BLACKBURN

WOOLWORTHS BLACKBURN SOUTH

GOODSTART EARLY LEARNING BLACKBURN SOUTH

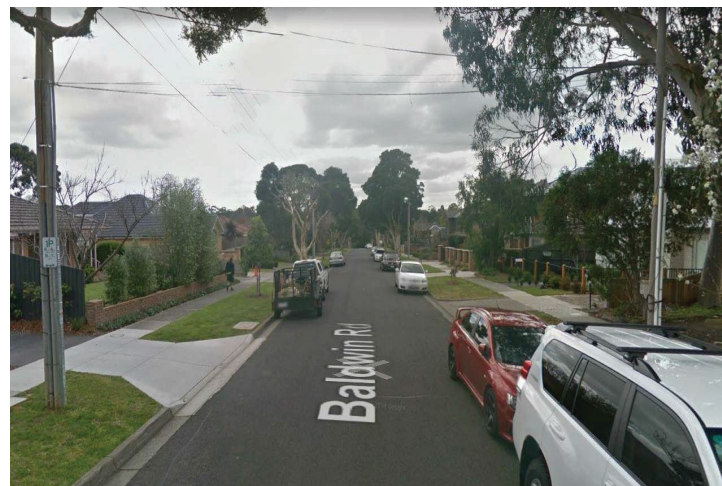
SHOPPING DISTRICT

BRANKSOME GROVE RESERVE

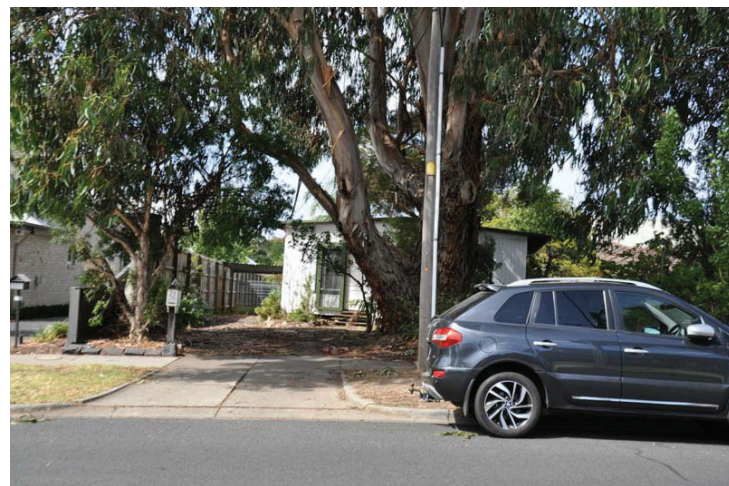
SAINT LUKE THE EVANGELIST SCHOOL



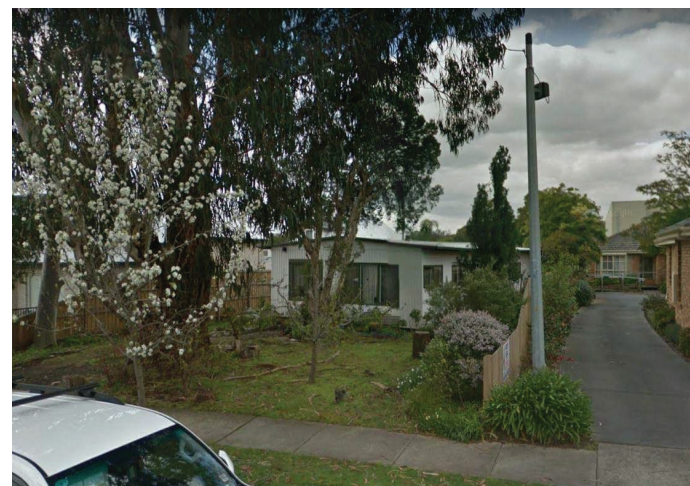
LOOKING NORTH TOWARDS TREE IN FRONT YARD OF SUBJECT SITE (GOOGLE MAPS)



LOOKING NORTH ALONG BALDWIN RD (GOOGLE MAPS)



SUBJECT SITE - EXISTING FRONT ELEVATION



SUBJECT SITE - EXISTING CONDITION FROM BALDWIN RD (GOOGLE MAPS)



LOOKING SOUTH ALONG BALDWIN RD (GOOGLE MAPS)

PROJECT:
CONTEXT PLAN
Residential Development
23 Baldwin Rd Blackburn

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4 BALDWIN ROAD

DEVELOPMENT: BRICK SINGLE STORY DWELLINGS, 3 UNIT SUBDIVISION

POS & SPOS: UNIT 1 SPOS TO FRONT & SIDE WITH HIGH TIMBER FENCE & LANDSCAPING TO FRONT

FEATURES: TILED HIP ROOF



7 BALDWIN ROAD

DEVELOPMENT: BRICK SINGLE STORY DWELLINGS, 3 UNIT SUBDIVISION

POS & SPOS: UNIT 1 SPOS TO FRONT & SIDE WITH HIGH TIMBER FENCE TO FRONT, POS TO FRONT

FEATURES: TILED HIGH PITCHED HIP ROOF WITH FEATURE GABLES TO FRONT



12 BALDWIN ROAD

DEVELOPMENT: BRICK SINGLE STORY DWELLINGS, 3 UNIT SUBDIVISION

POS & SPOS: UNIT 1 SPOS TO FRONT WITH HIGH TIMBER & BRICK PILLAR FENCE TO FRONT

FEATURES: TILED HIP ROOF



15 BALDWIN ROAD

DEVELOPMENT: BRICK & RENDERED DOUBLE STORY DWELLINGS, 3 UNIT SUBDIVISION

POS & SPOS: UNIT 1 SPOS TO SIDE, ADDITIONAL SPOS TO FRONT WITH HIGH FENCE & LANDSCAPE SCREENING

FEATURES: TILED HIP ROOF



24 BALDWIN ROAD

DEVELOPMENT: BRICK & RENDERED DOUBLE STORY DWELLINGS, 3 UNIT SUBDIVISION

POS & SPOS: UNIT 1 SPOS TO FRONT WITH HIGH TIMBER FENCE TO FRONT SPOS & LOW FENCE TO FRONT BOUNDARY

FEATURES: TILED HIP ROOF



18 MOLLETON STREET

DEVELOPMENT: BRICK & LIGHTWEIGHT DOUBLE STORY DWELLINGS, 2 UNIT SUBDIVISION

POS & SPOS: UNIT 1 SPOS TO FRONT & SIDE, DECK TO FRONT NOT SCREENED

FEATURES: METAL SHEET HIP ROOF WITH FEATURE GABLES TO FRONT



84 MAIN STREET

DEVELOPMENT: BRICK SINGLE STORY DWELLINGS, 5 UNIT SUBDIVISION

POS & SPOS: UNIT 1 SPOS TO SIDE/FRONT, HIGH TIMBER FENCE IN LINE WITH FRONT OF DWELLING

FEATURES: TILED HIP ROOF

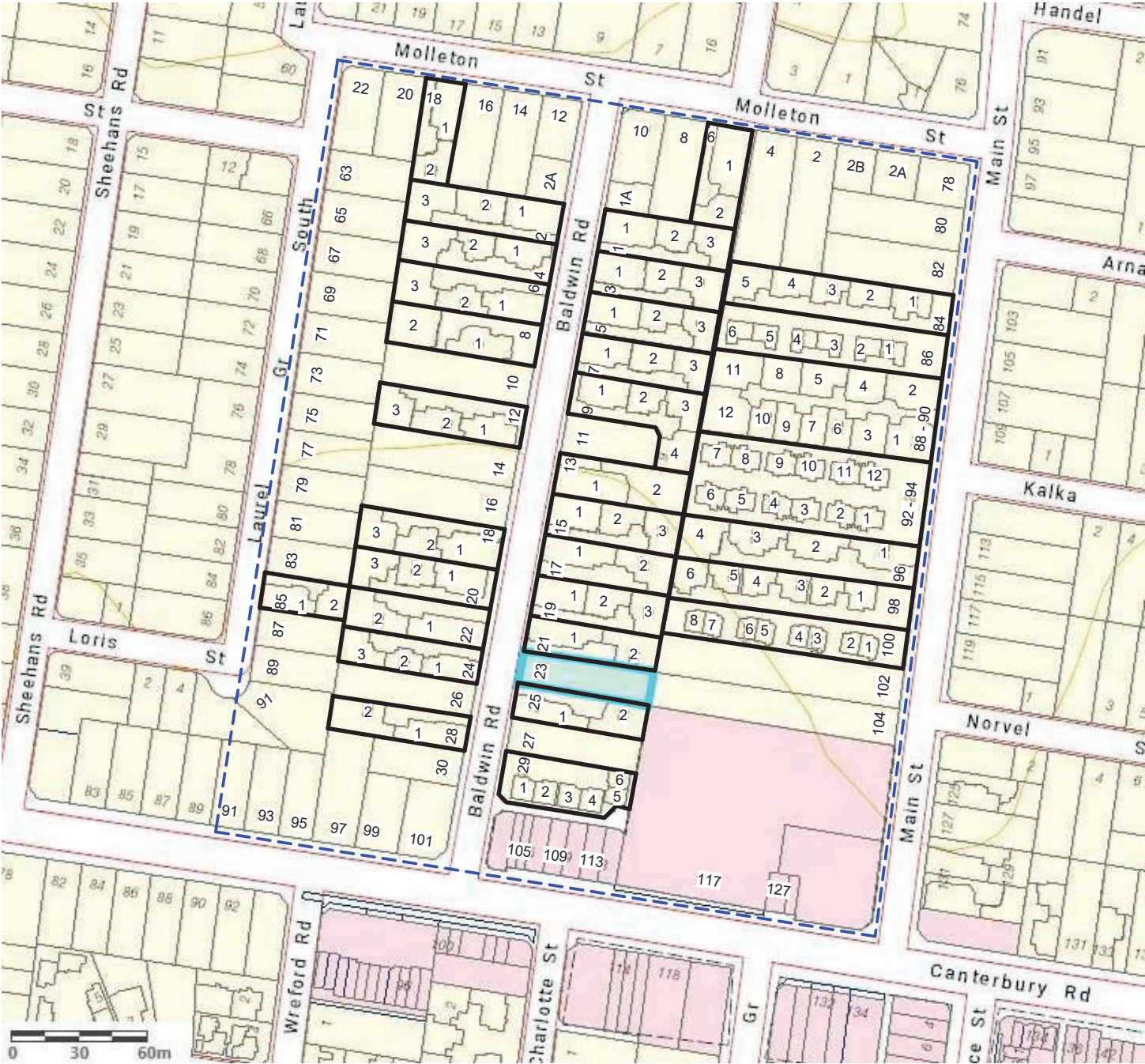


96 MAIN STREET

DEVELOPMENT: BRICK SINGLE STORY DWELLINGS, 4 UNIT SUBDIVISION

POS & SPOS: UNIT 1 SPOS TO FRONT WITH HIGH BRICK FENCE AT FRONT BOUNDARY

FEATURES: TILED HIP ROOF



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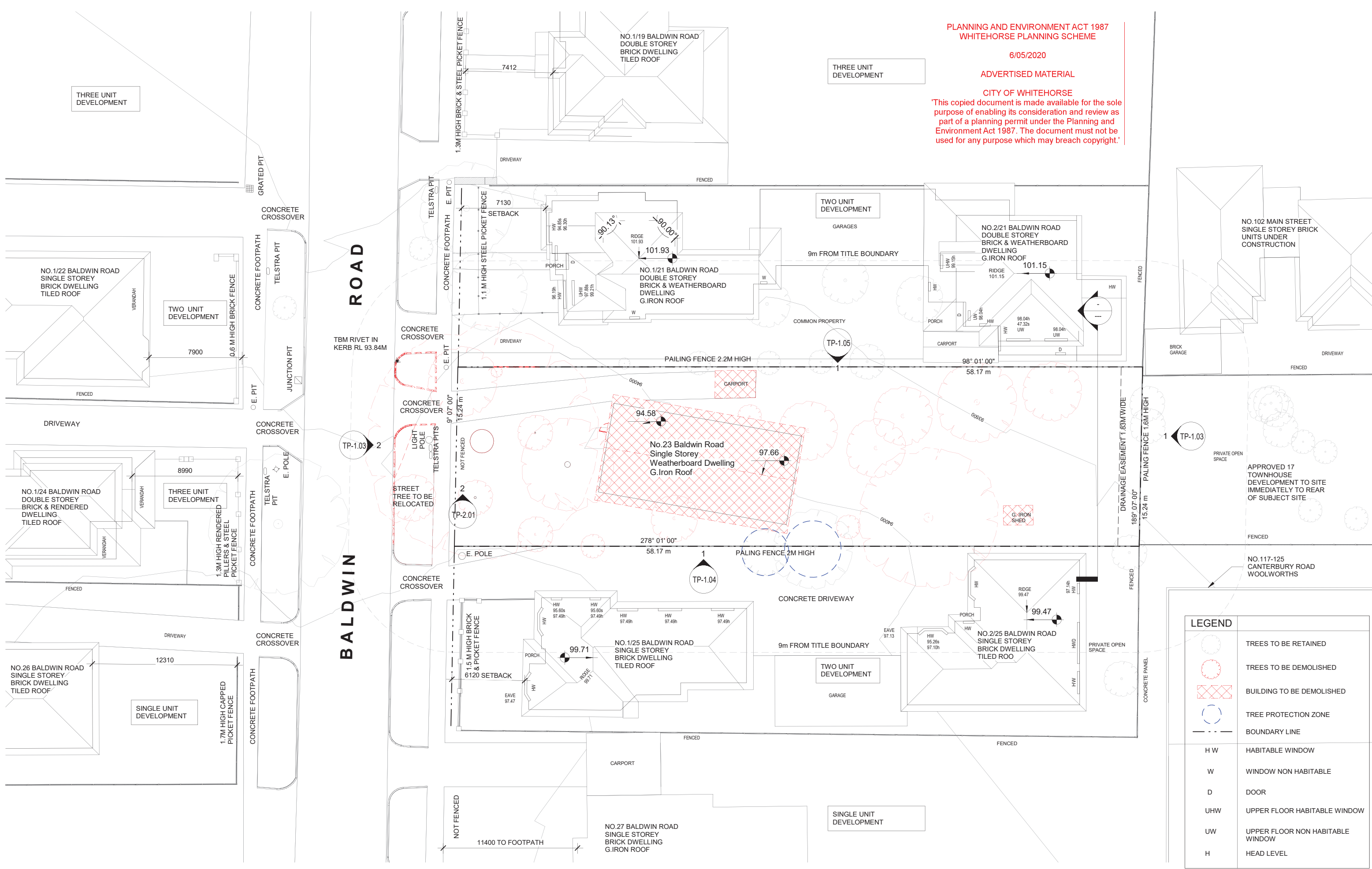
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DEVELOPMENT PATTERN

Residential Development

23 Baldwin Rd Blackburn



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PROJECT:

EXISTING CONDITIONS & DEMO

Residential Development

23 Baldwin Rd Blackburn

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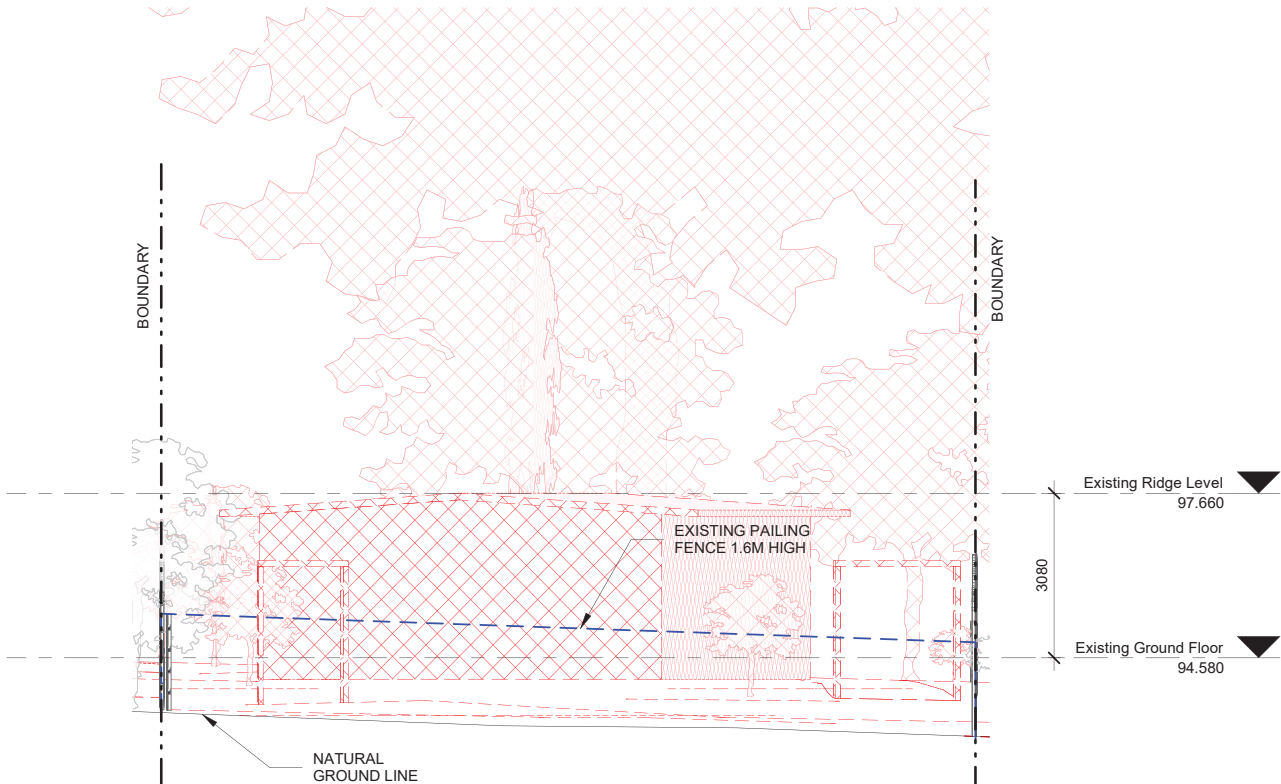
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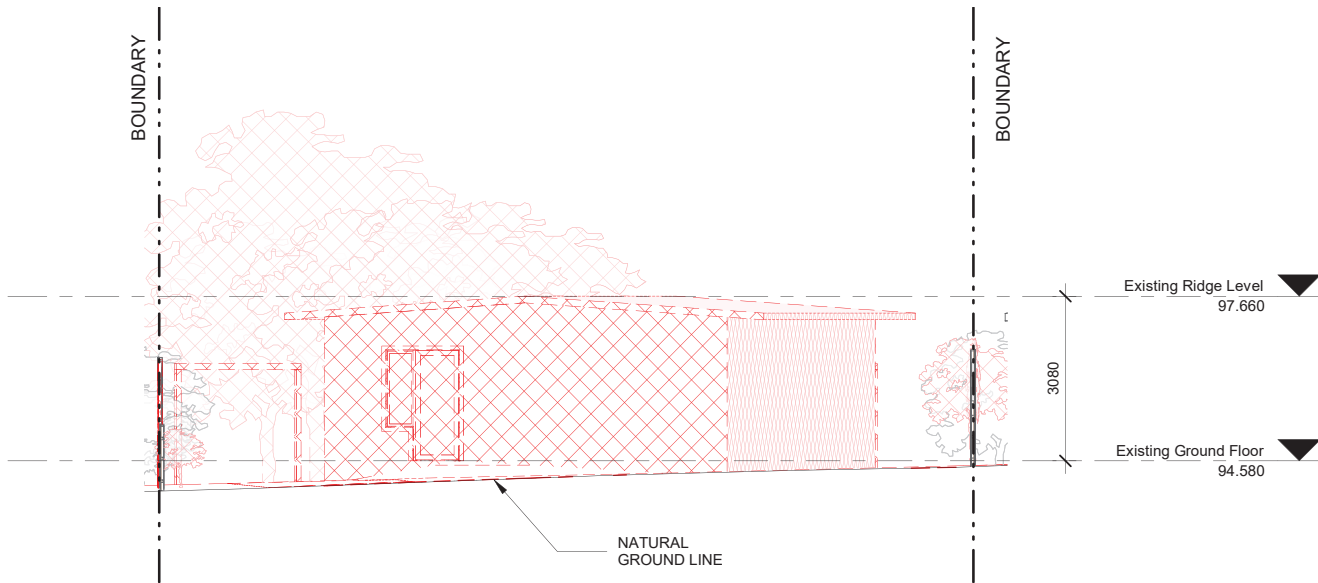
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1 EAST ELEVATION
1 : 100



2 WEST ELEVATION
1 : 100

PROJECT:

EXISTING ELEVATIONS

Residential Development

23 Baldwin Rd Blackburn

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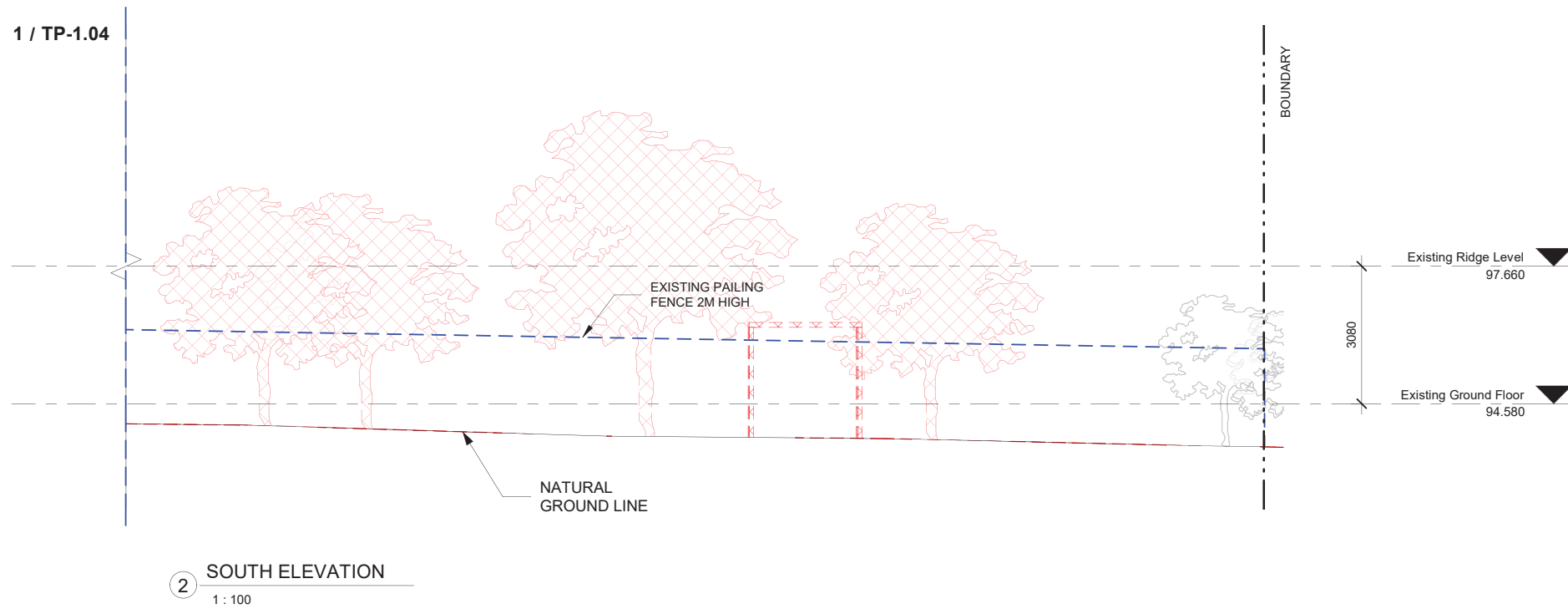
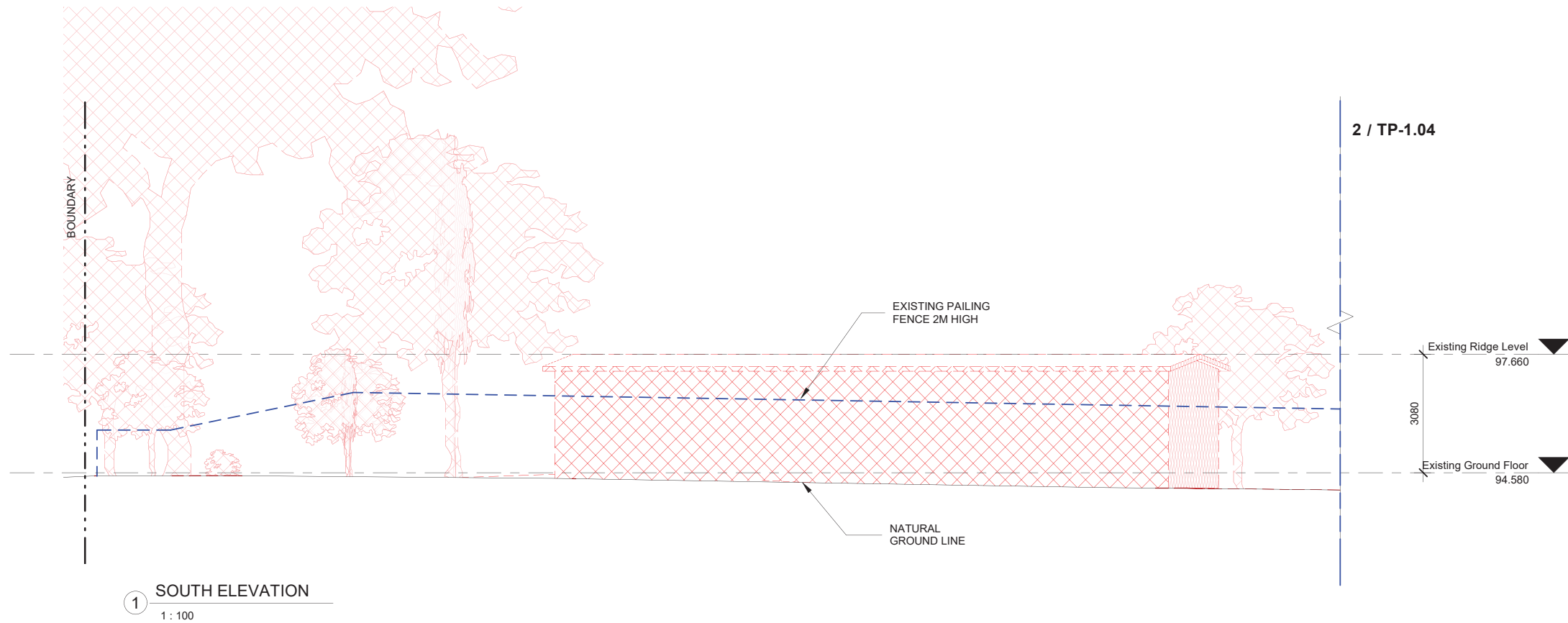
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PROJECT:

EXISTING ELEVATIONS

Residential Development

23 Baldwin Rd Blackburn

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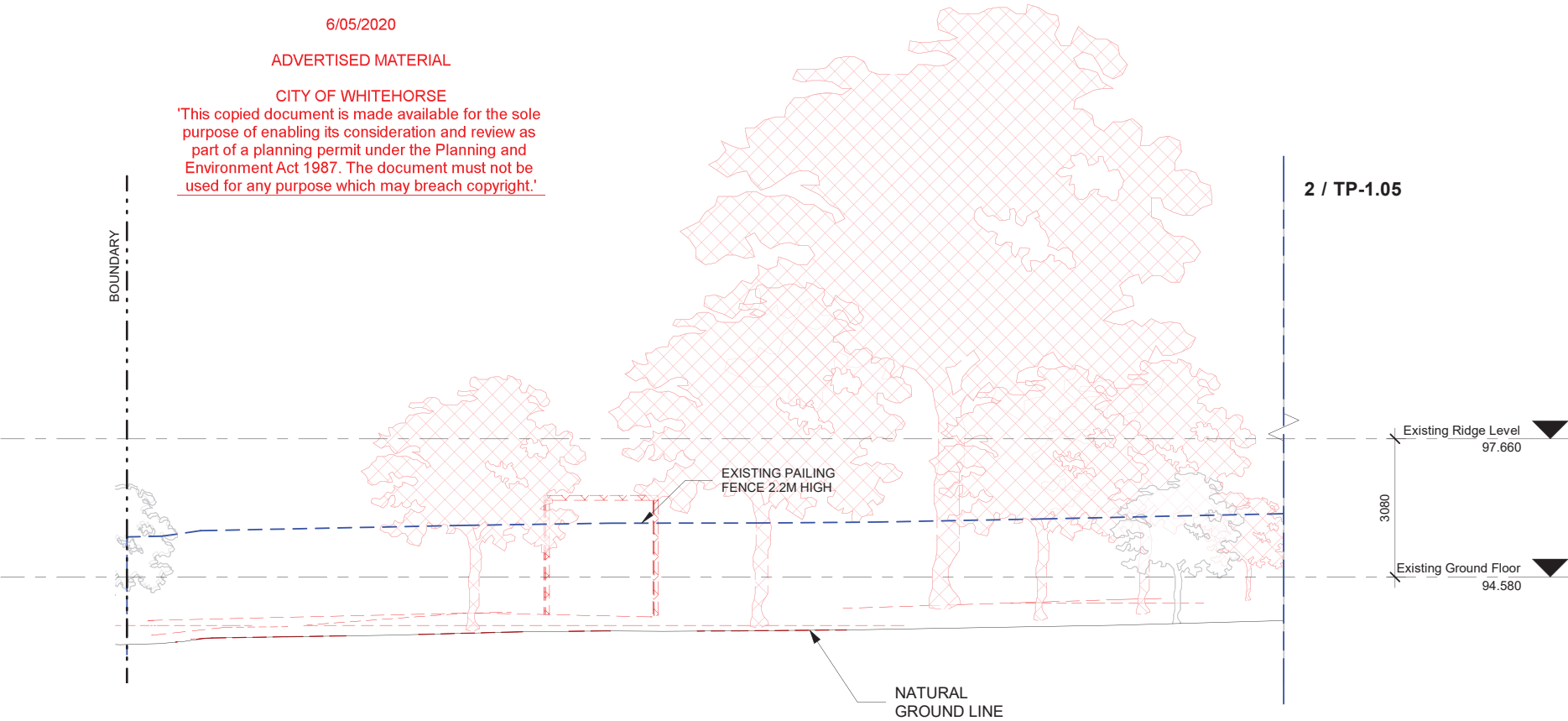
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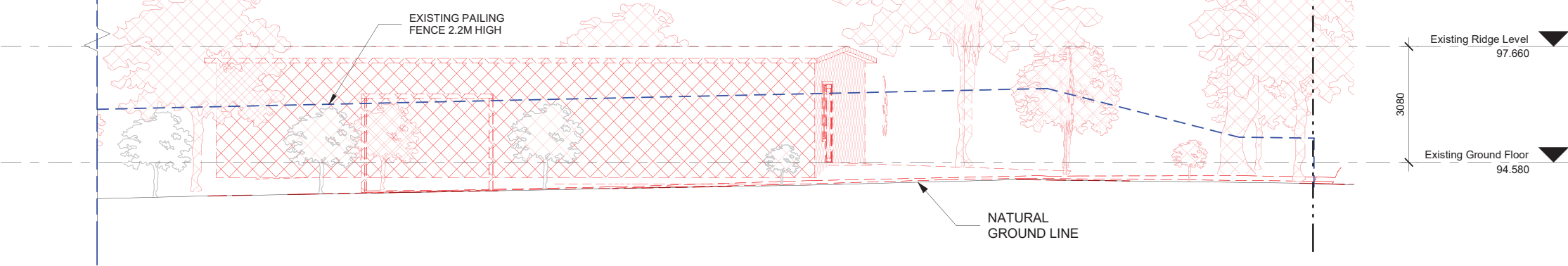
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1 NORTH ELEVATION
1 : 100

1 / TP-1.05



2 NORTH ELEVATION
1 : 100

PROJECT:

EXISTING ELEVATIONS

Residential Development

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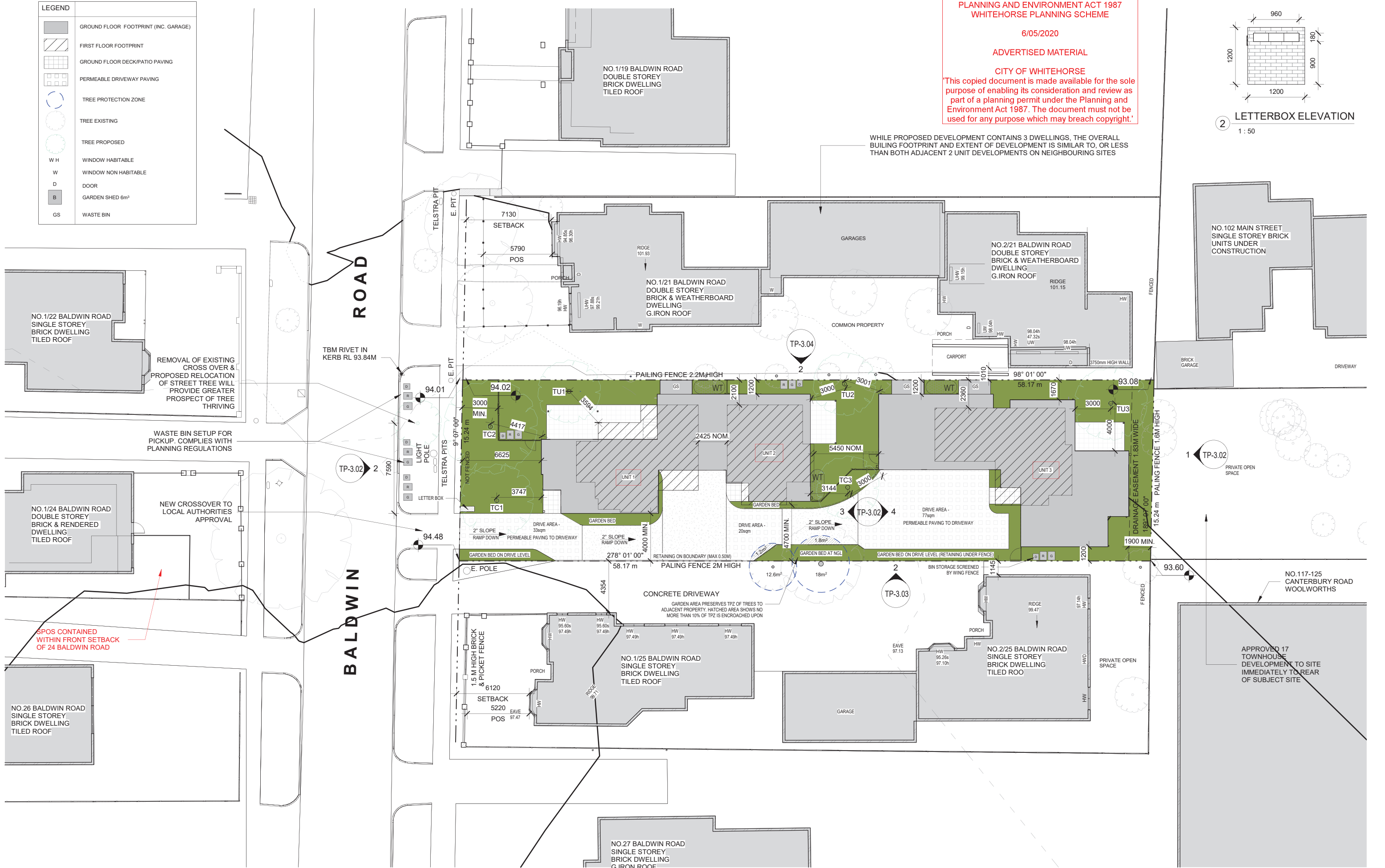
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LEGEND	
	GROUND FLOOR FOOTPRINT (INC. GARAGE)
	FIRST FLOOR FOOTPRINT
	GROUND FLOOR DECK/PATIO PAVING
	PERMEABLE DRIVEWAY PAVING
	TREE PROTECTION ZONE
	TREE EXISTING
	TREE PROPOSED
W H	WINDOW HABITABLE
W	WINDOW NON HABITABLE
D	DOOR
B	GARDEN SHED 6m²
GS	WASTE BIN



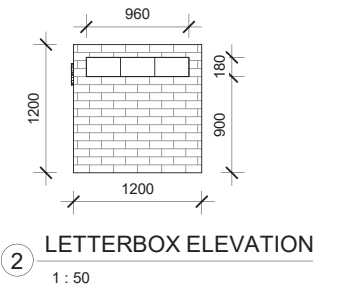
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PROJECT:

PROPOSED SITE PLAN

Residential Development

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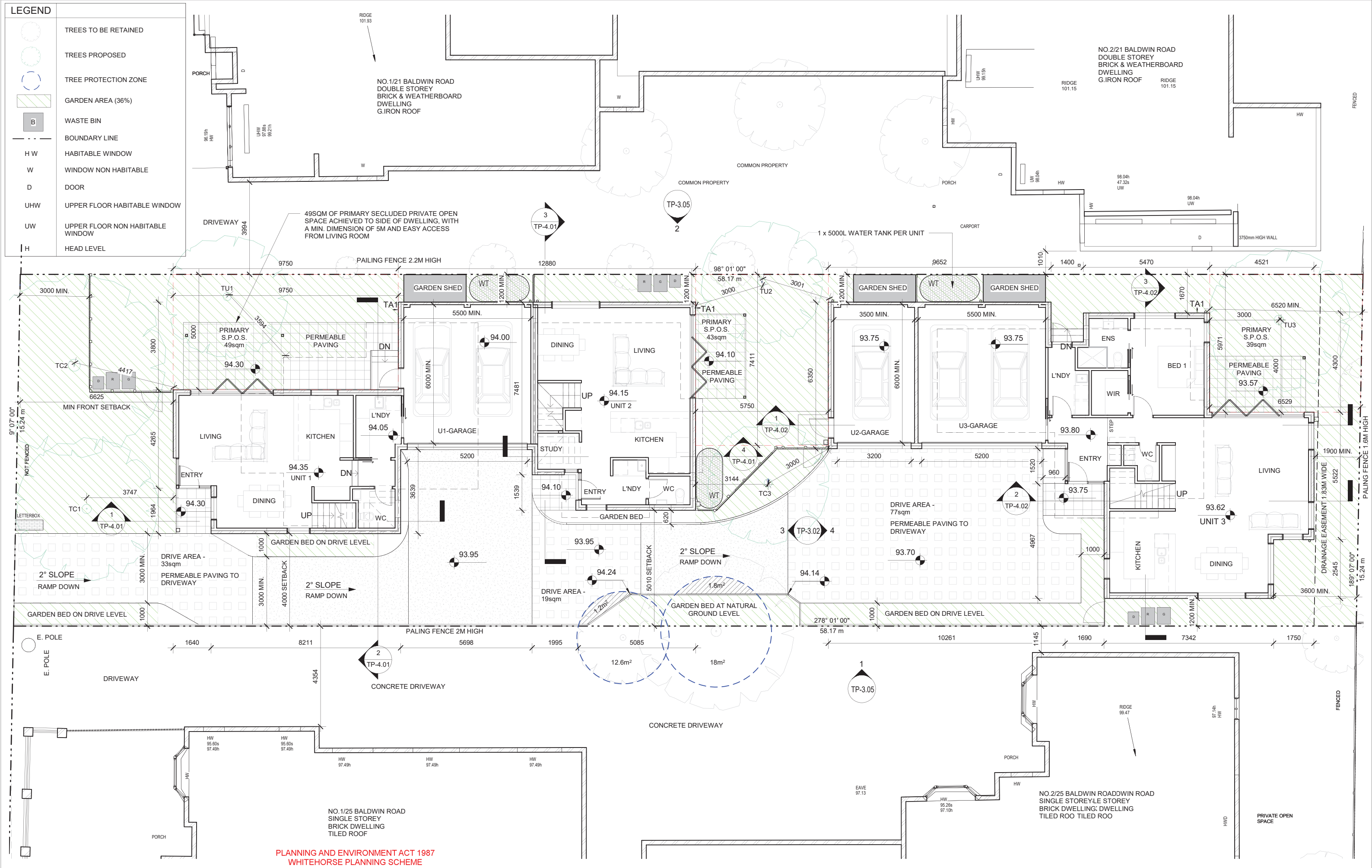
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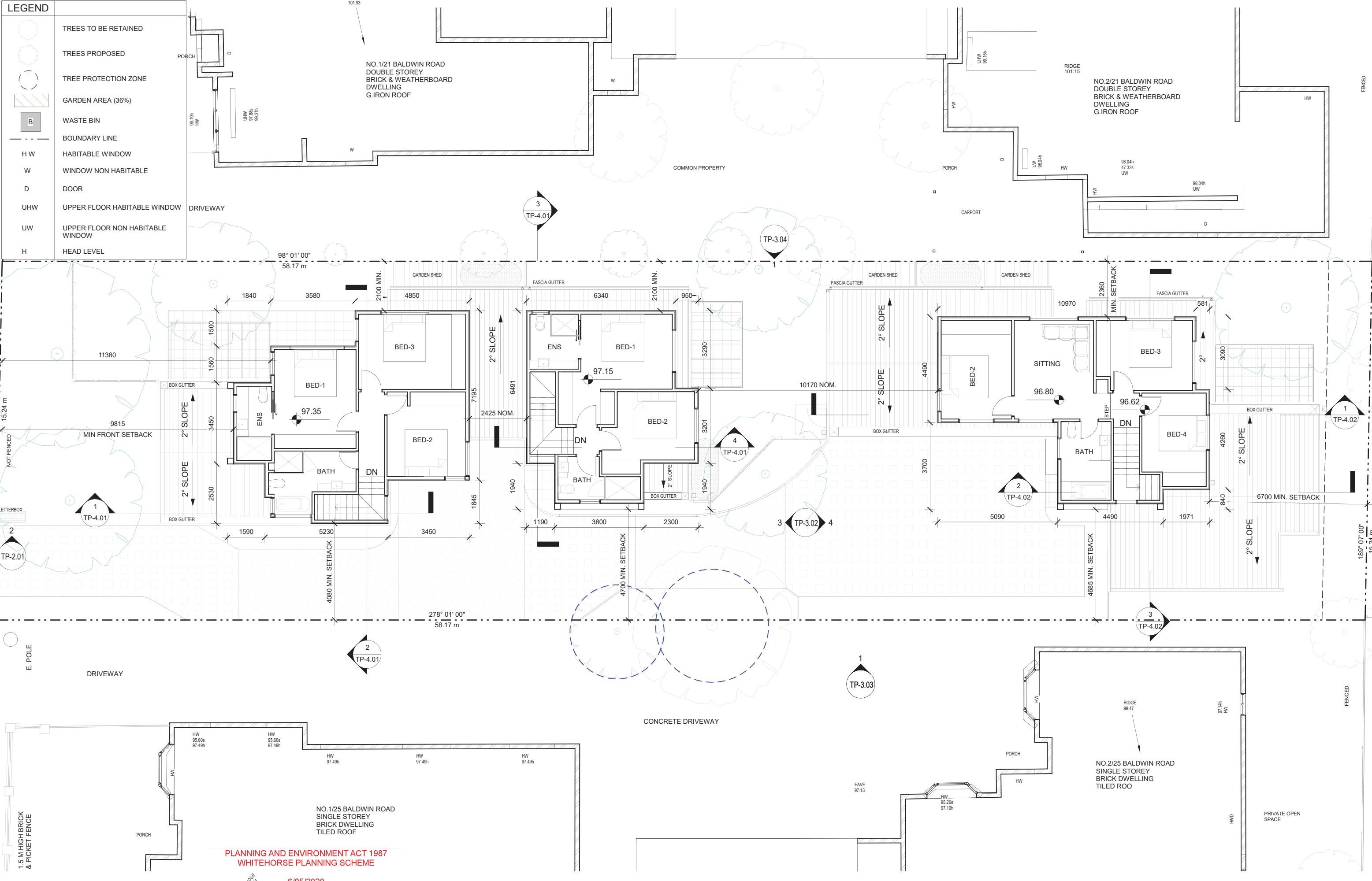
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LEGEND

- TREES TO BE RETAINED
- TREES PROPOSED
- TREE PROTECTION ZONE
- GARDEN AREA (36%)
- WASTE BIN
- BOUNDARY LINE
- H W HABITABLE WINDOW
- W WINDOW NON HABITABLE
- D DOOR
- UHW UPPER FLOOR HABITABLE WINDOW
- UW UPPER FLOOR NON HABITABLE WINDOW
- H HEAD LEVEL



PROJECT:

FIRST FLOOR PLAN

Residential Development

23 Baldwin Rd Blackburn

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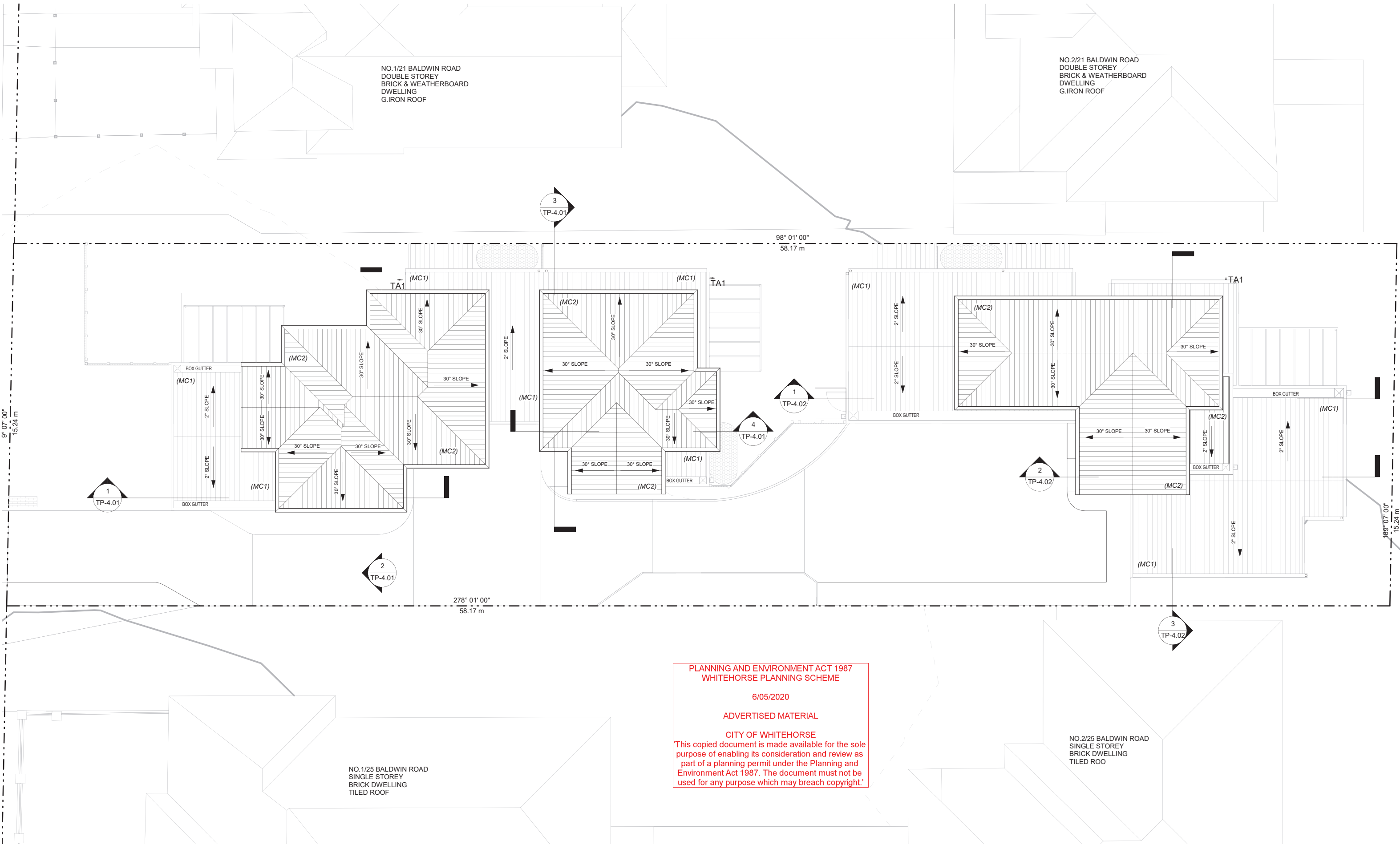
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PROJECT:

ROOF PLAN

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1 EXISTING STREETSCAPE
1 : 100



2 PROPOSED STREETSCAPE
1 : 100

PROJECT:
EXISTING & PROPOSED STREETSCAPE

Residential Development

23 Baldwin Rd Blackburn

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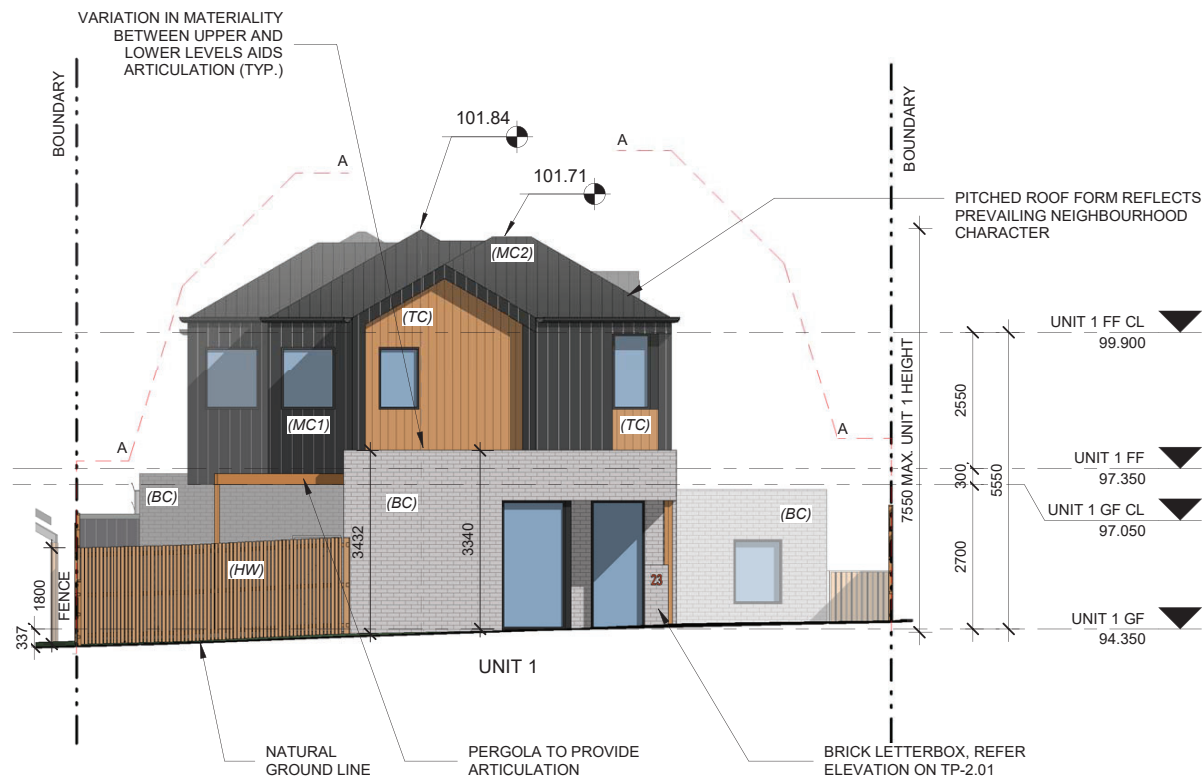
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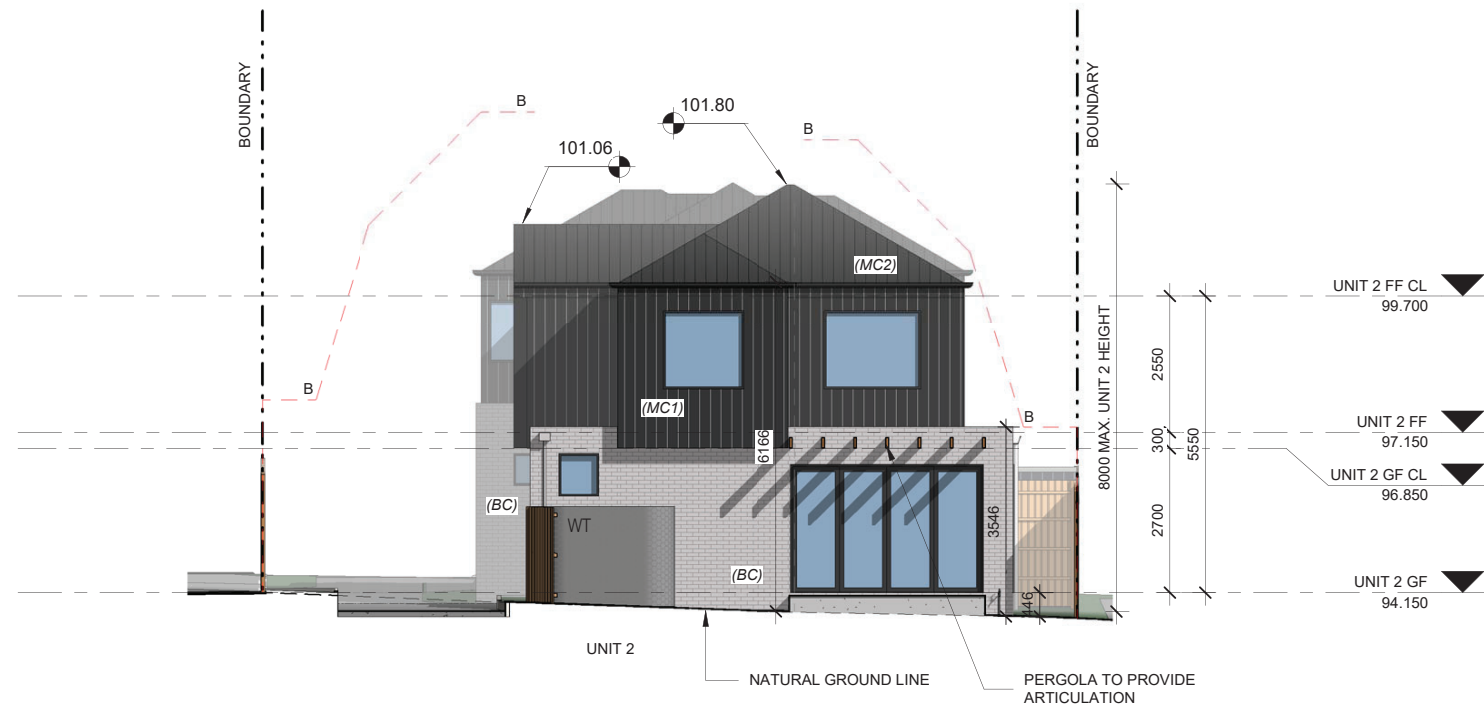
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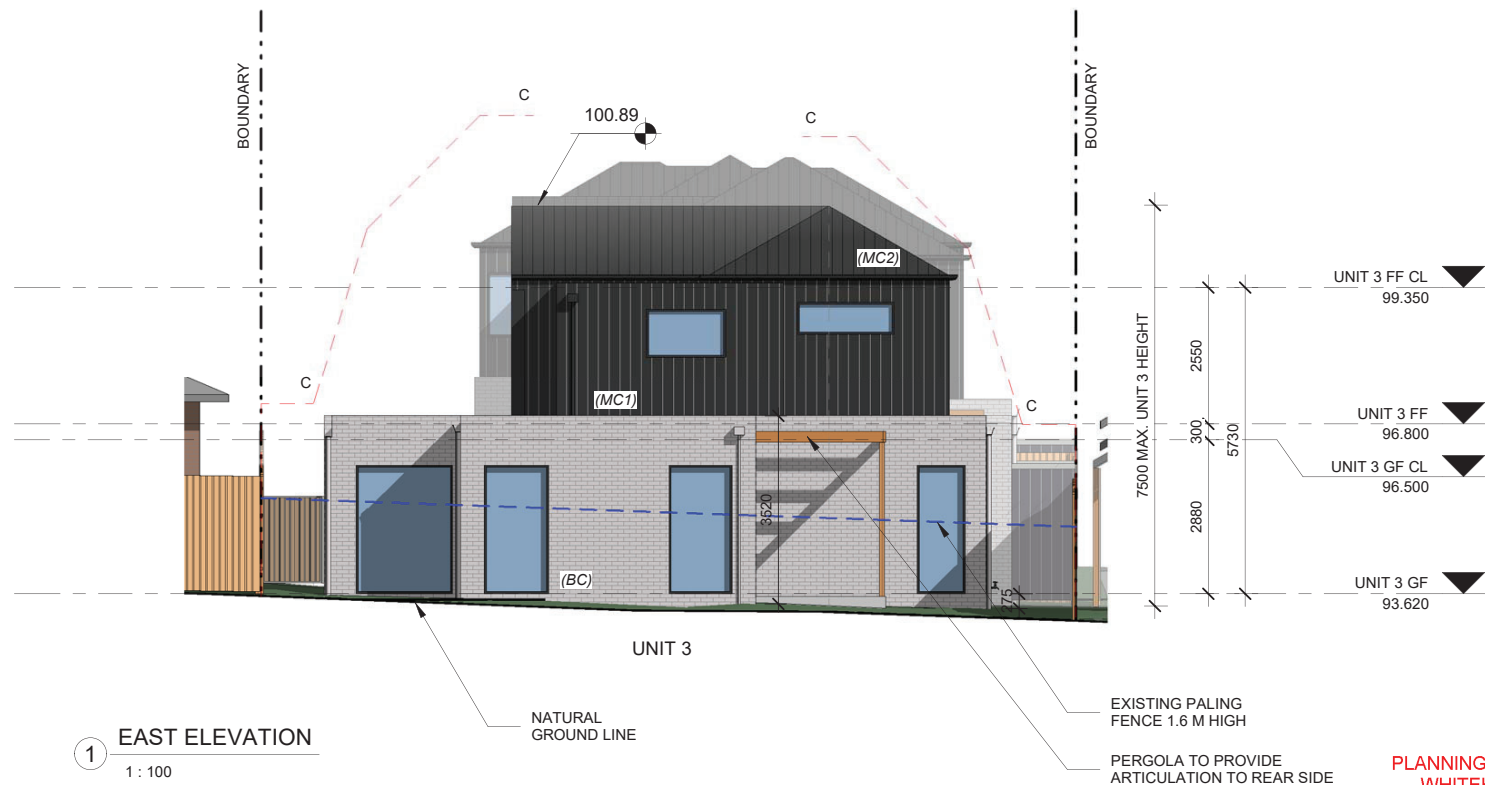
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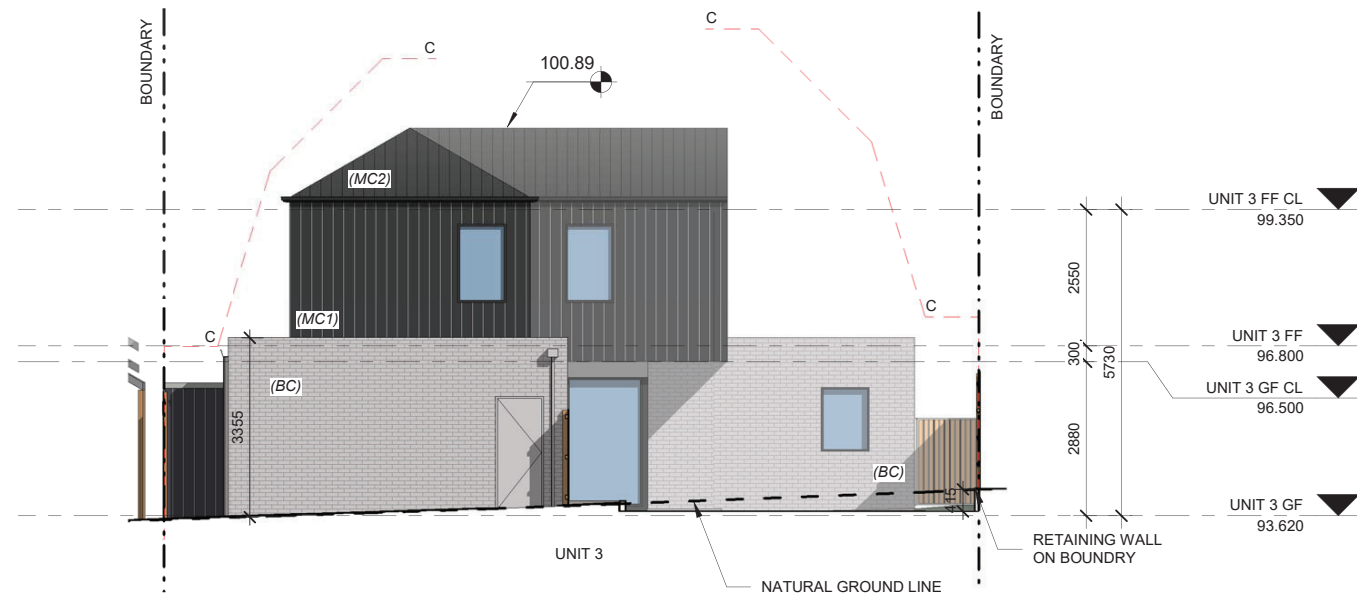
2 WEST ELEVATION
1:100



3 UNIT 2 EAST ELEVATION
1:100



1 EAST ELEVATION
1:100



4 UNIT 3 WEST ELEVATION
1:100

FINISHES LEGEND

(MC1)		CLADDING: SHEET METAL CLADDING - DARK	(BC)		CLADDING: FACE BRICKWORK (GROUND FLOOR) - LIGHT	(HW)		TIMBER FENCE
(MC2)		ROOFING: SHEET METAL ROOFING - DARK	(TS1)		SOFFIT: TIMBER CLADDING			
(MC3)		ROOFING & GARAGE DOORS: SHEET METAL - LIGHT	(HW)		FEATURE TIMBER			

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PROJECT:
ELEVATIONS
Residential Development
23 Baldwin Rd Blackburn

REVISION SCHEDULE

Number	Description	Date
0	Town Planning Application	23/10/2019
A	Town Planning RFI Response - 3 Units	22/04/2020

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SCALE 1:100 @A2

DRAWN: DE

DATE: 22/04/2020

DRAWING No: TP-3.02

REV: A

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1 / TP-3.03



FINISHES LEGEND

(MC1)		CLADDING: SHEET METAL CLADDING - DARK	(BC)		CLADDING: FACE BRICKWORK (GROUND FLOOR) - LIGHT	(HW)		TIMBER FENCE
(MC2)		ROOFING: SHEET METAL ROOFING - DARK	(TS1)		SOFFIT: TIMBER CLADDING			
(MC3)		ROOFING & GARAGE DOORS: SHEET METAL - LIGHT	(HW)		FEATURE TIMBER			

PROJECT:

ELEVATIONS

Residential Development

23 Baldwin Rd Blackburn

REVISION SCHEDULE

Number	Description	Date
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A	Town Planning RFI Response - 3 Units	22/04/2020

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DATE: 22/04/2020

DRAWING No: TP-3.03

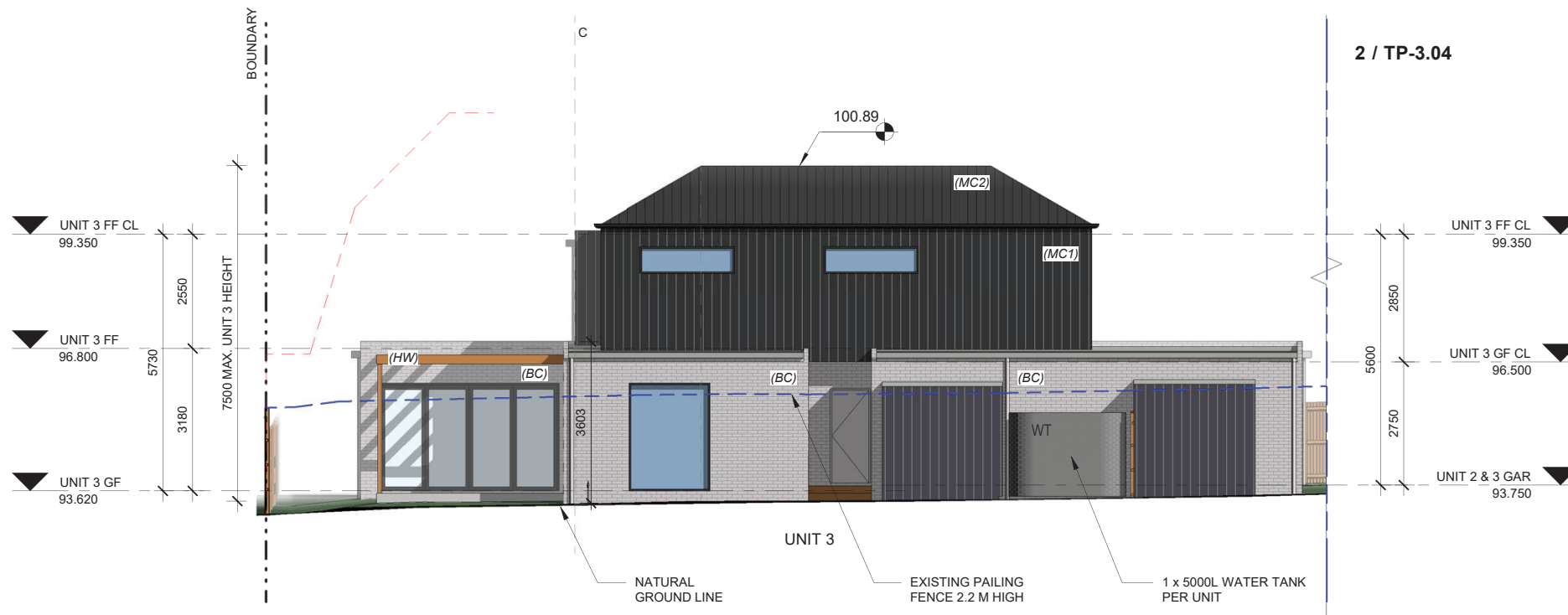
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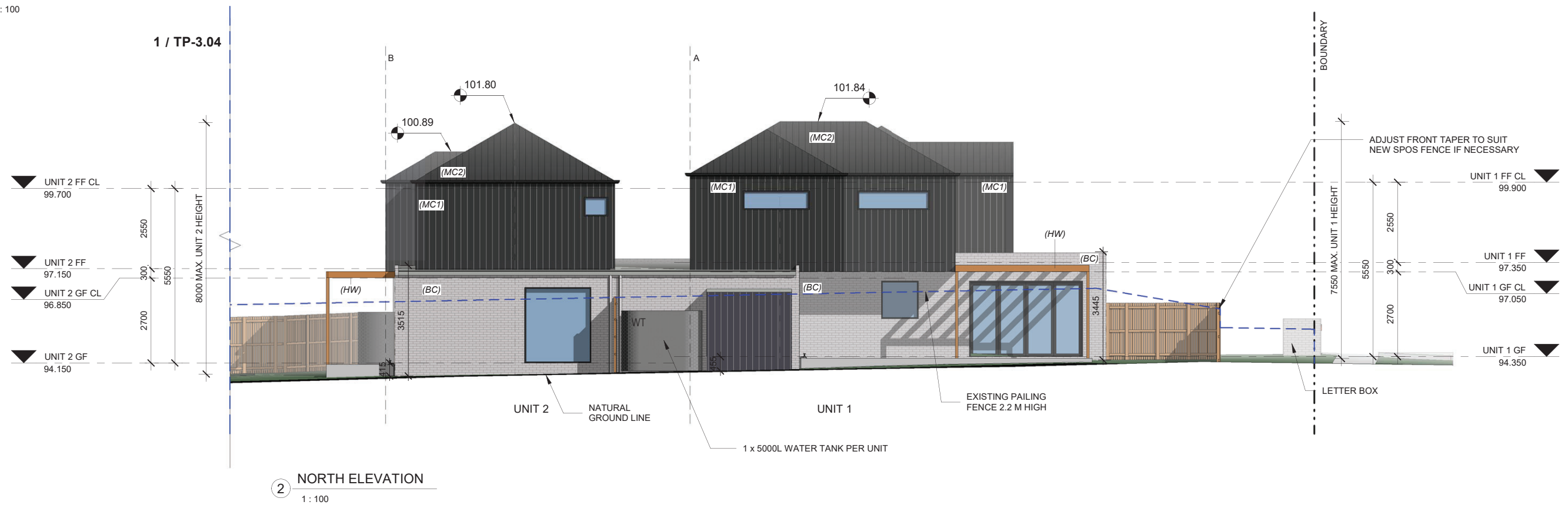
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1 NORTH ELEVATION
1 : 100



2 NORTH ELEVATION
1 : 100

FINISHES LEGEND

(MC1)		CLADDING: SHEET METAL CLADDING - DARK	(BC)		CLADDING: FACE BRICKWORK (GROUND FLOOR) - LIGHT	(HW)		TIMBER FENCE
(MC2)		ROOFING: SHEET METAL ROOFING - DARK	(TS1)		SOFFIT: TIMBER CLADDING			
(MC3)		ROOFING & GARAGE DOORS: SHEET METAL - LIGHT	(HW)		FEATURE TIMBER			

PROJECT:
ELEVATIONS
Residential Development
23 Baldwin Rd Blackburn

REVISION SCHEDULE

Number	Description	Date
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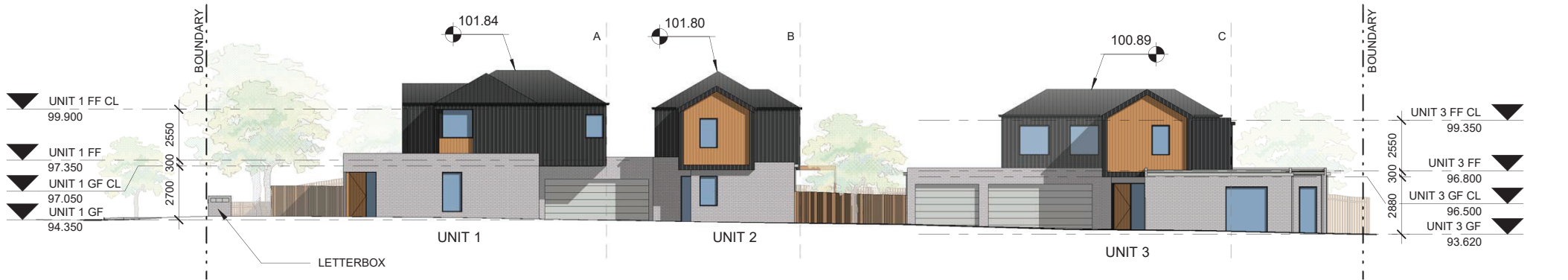
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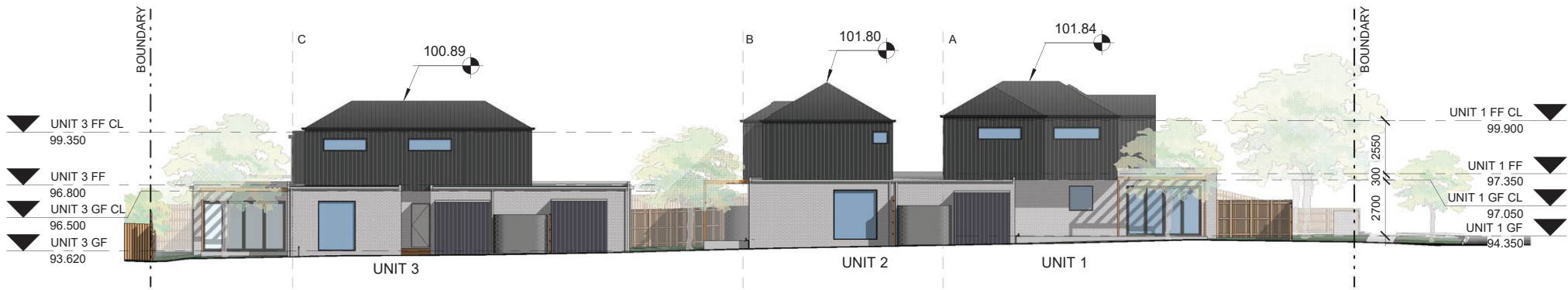
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1 SOUTH ELEVATION
1 : 200



2 NORTH ELEVATION
1 : 200

FINISHES LEGEND

(MC1)		CLADDING: SHEET METAL CLADDING - DARK	(BC)		CLADDING: FACE BRICKWORK (GROUND FLOOR) - LIGHT	(HW)		TIMBER FENCE
(MC2)		ROOFING: SHEET METAL ROOFING - DARK	(TS1)		SOFFIT: TIMBER CLADDING			
(MC3)		ROOFING & GARAGE DOORS: SHEET METAL - LIGHT	(HW)		FEATURE TIMBER			

PROJECT:

ELEVATIONS

Residential Development

23 Baldwin Rd Blackburn

REVISION SCHEDULE

Number	Description	Date
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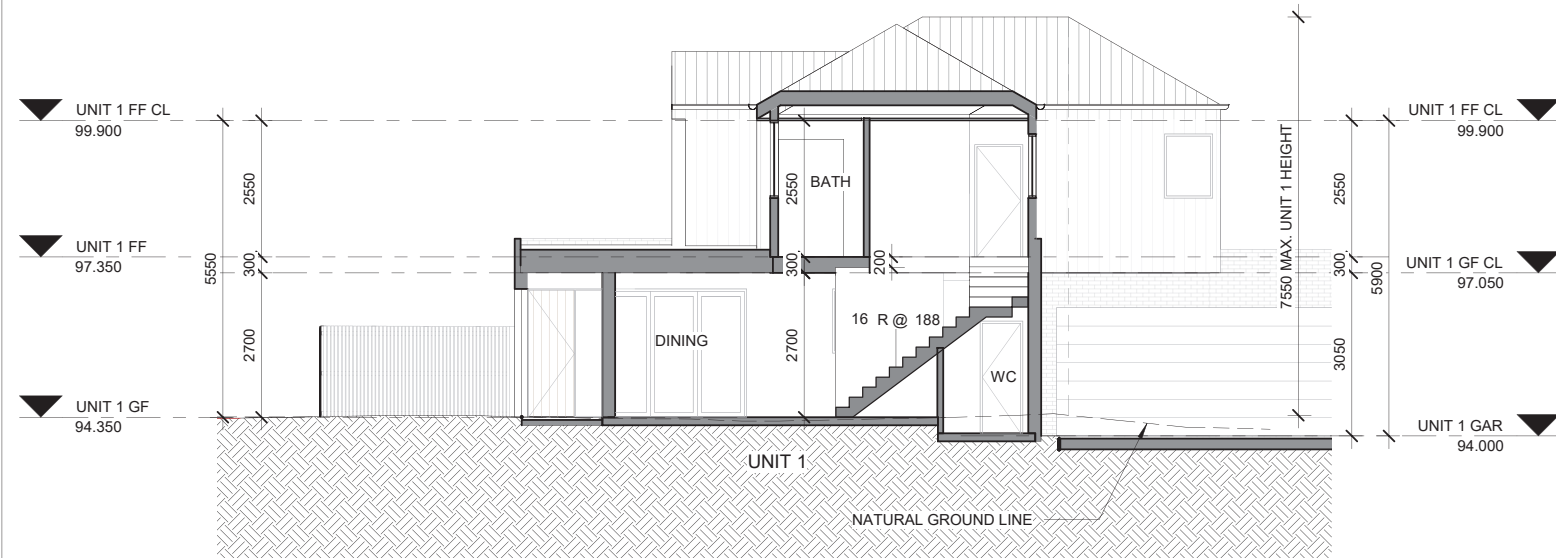
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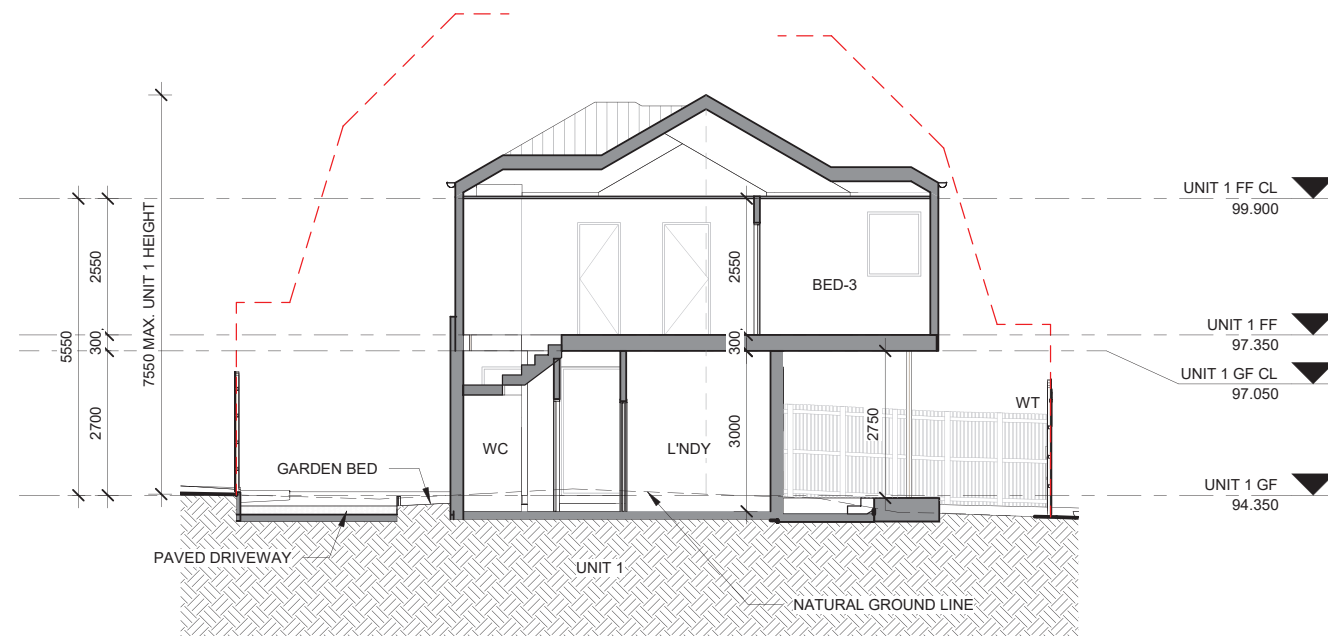
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1 UNIT - 1_SECTION - A
1 : 100



2 UNIT - 1_SECTION - B
1 : 100

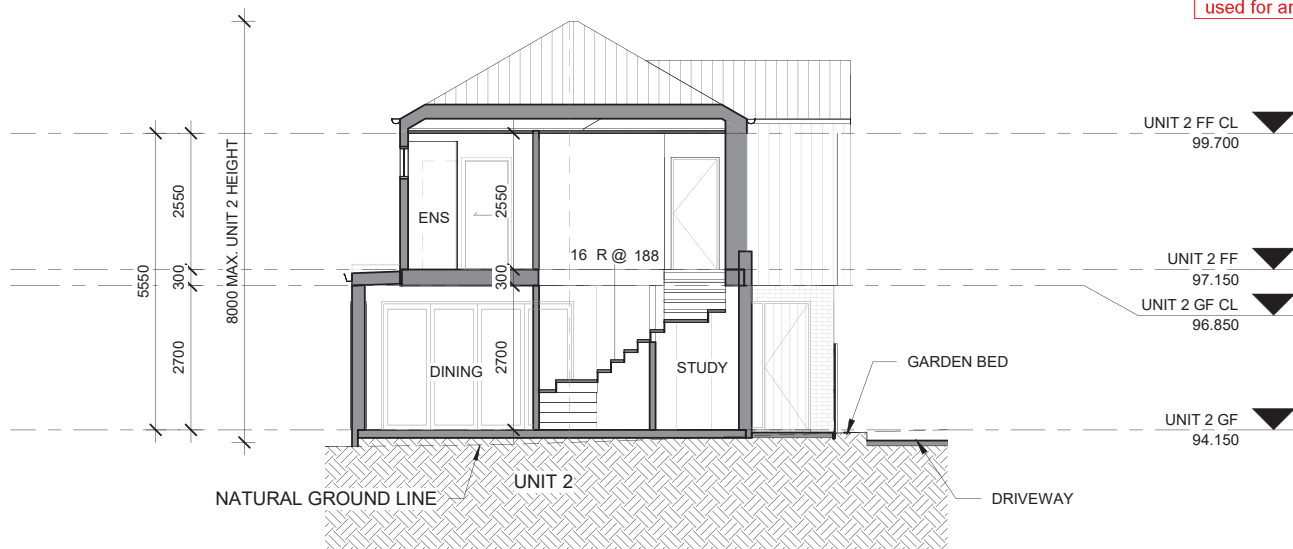
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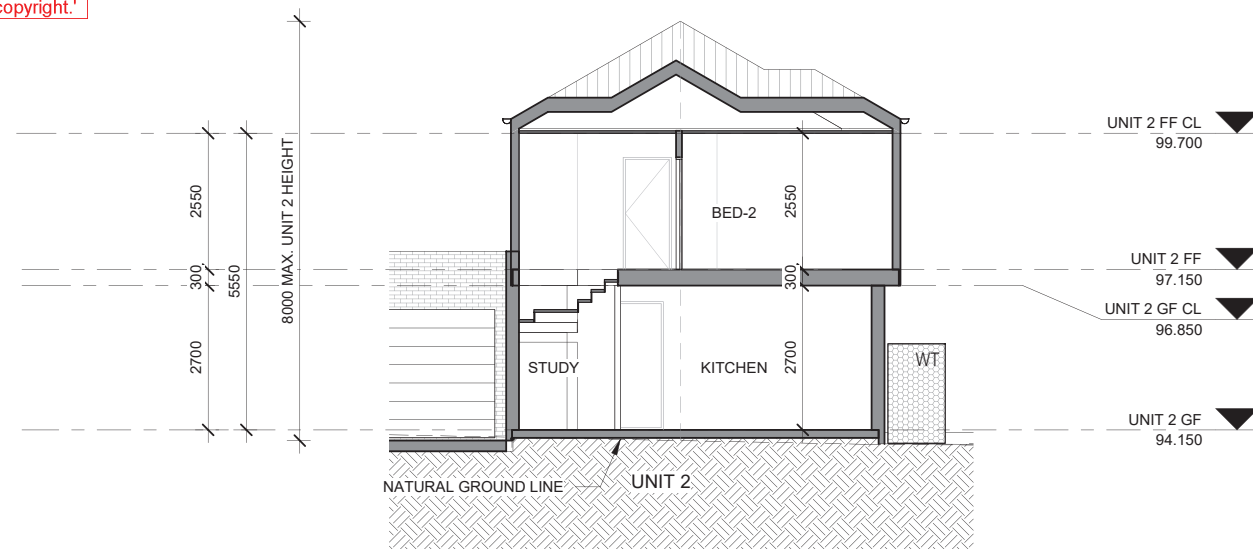
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3 UNIT - 2_SECTION - A
1 : 100



4 UNIT - 2_SECTION - B
1 : 100

PROJECT:

SECTIONS

Residential Development

23 Baldwin Rd Blackburn

REVISION SCHEDULE

Number	Description	Date
0	Town Planning Application	23/10/2019
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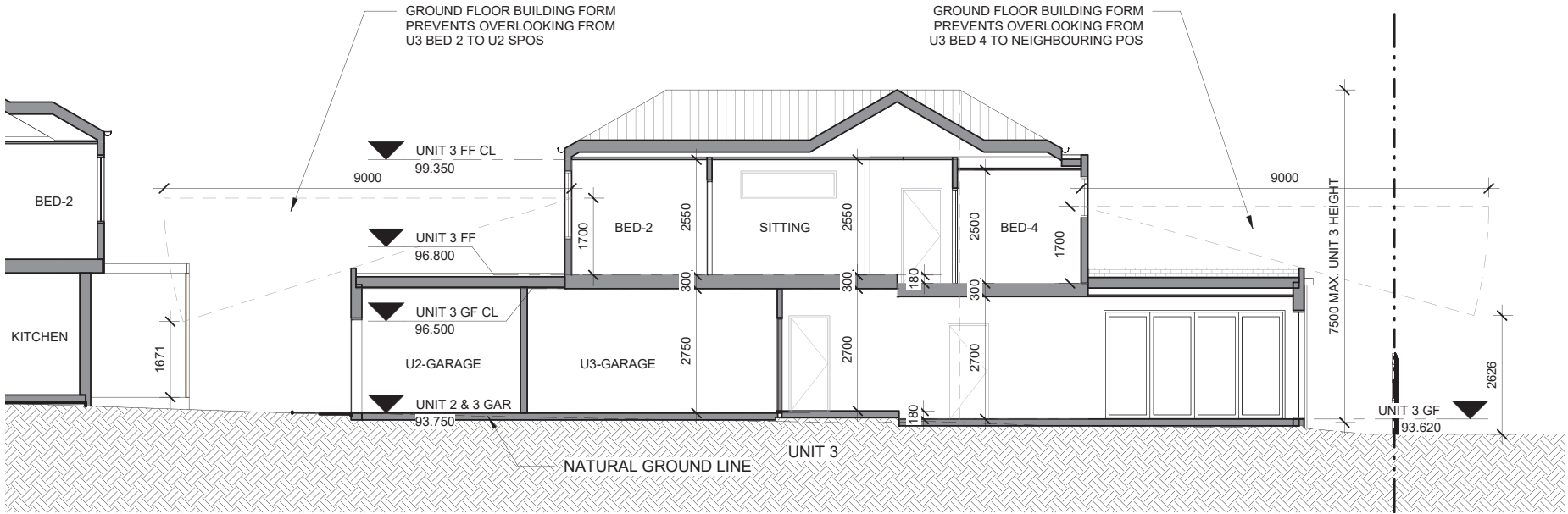


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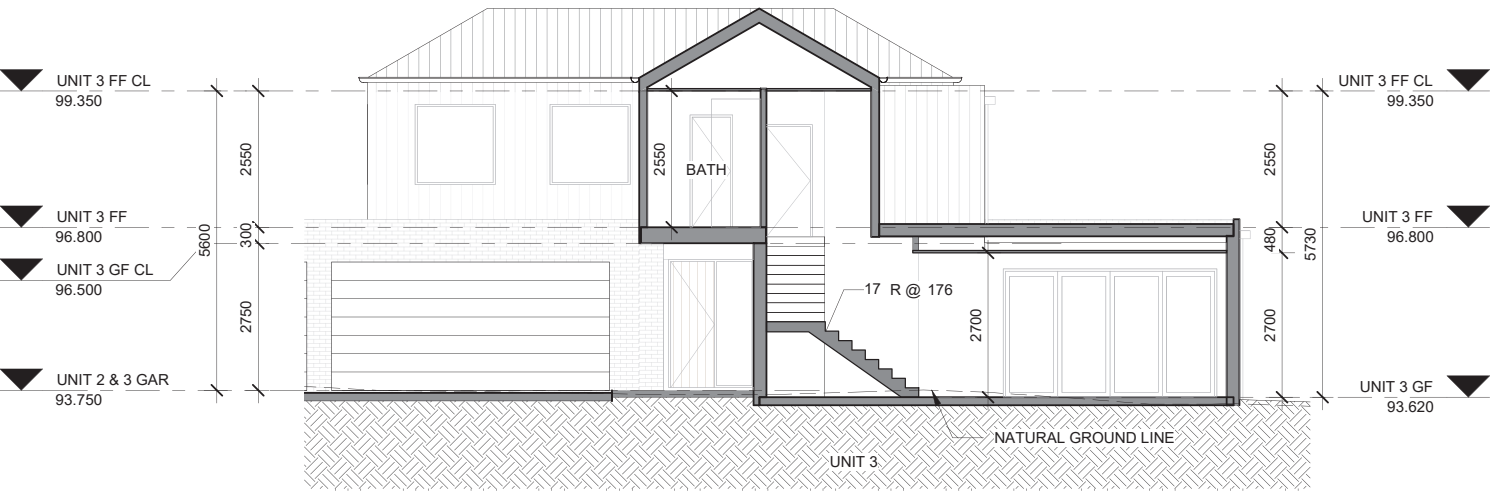
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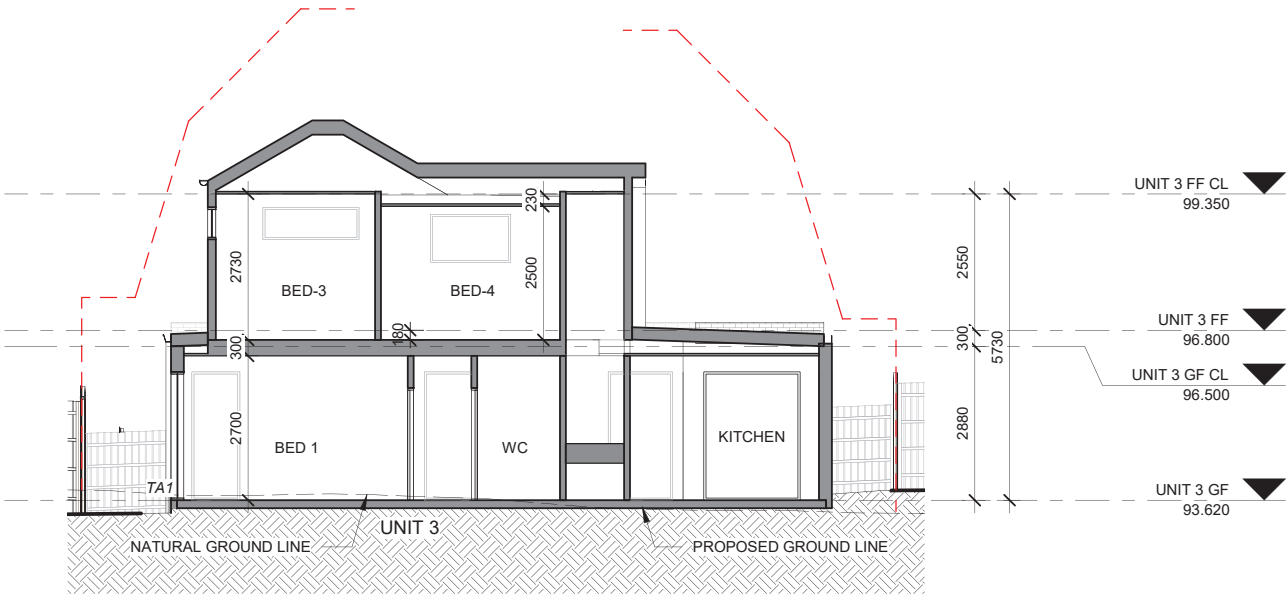
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1 UNIT - 3_SECTION - A
1 : 100



2 UNIT - 3_SECTION - B
1 : 100



3 UNIT - 3_SECTION - C
1 : 100

PROJECT:

SECTIONS

Residential Development

23 Baldwin Rd Blackburn

REVISION SCHEDULE

Number	Description	Date
0	Town Planning Application	23/10/2019
A	Town Planning RFI Response - 3 Units	22/04/2020

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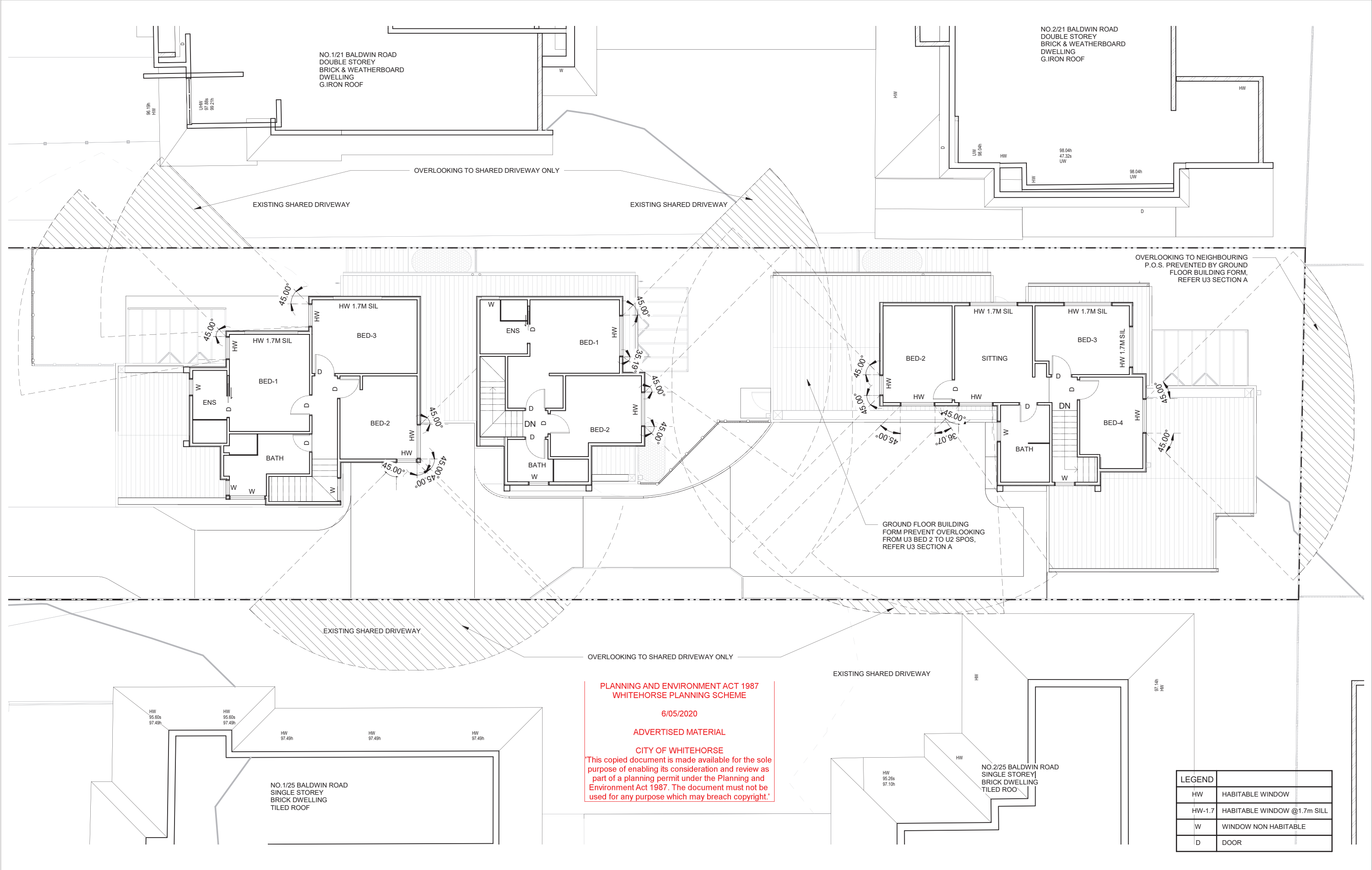
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PROJECT:

OVERLOOKING ANALYSIS

Residential Development

23 Baldwin Rd Blackburn

REVISION SCHEDULE		
Number	Description	Date
0	Town Planning Application	23/10/2019
A	Town Planning RFI Response - 3 Units	22/04/2020

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PROJECT:
SHADOW @ 9AM SEP 22
Residential Development
23 Baldwin Rd Blackburn

REVISION SCHEDULE

Number	Description	Date
0	Town Planning Application	23/10/2019
A	Town Planning RFI Response - 3 Units	22/04/2020

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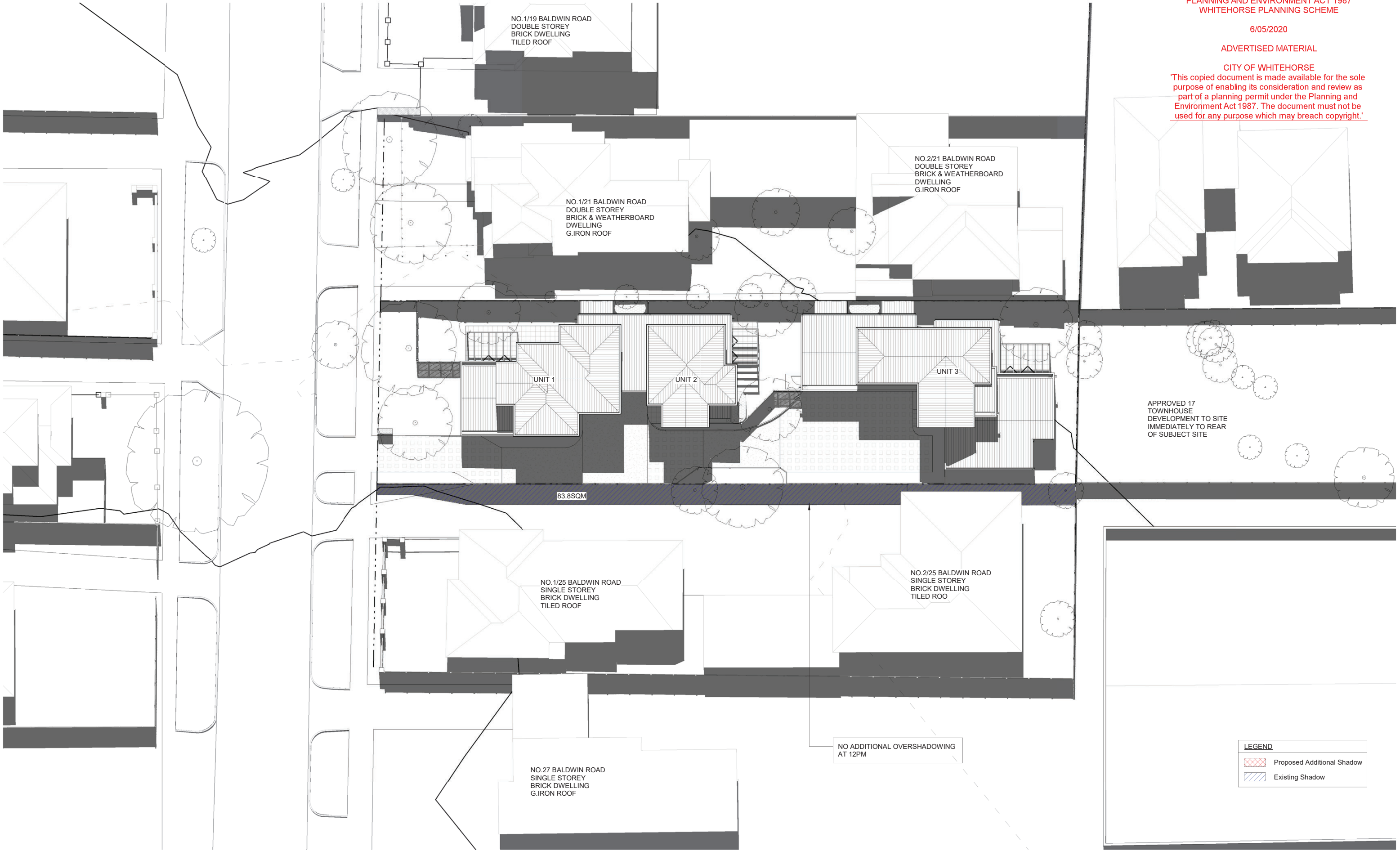
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PROJECT:
SHADOW @ 12PM SEP 22
Residential Development
23 Baldwin Rd Blackburn

REVISION SCHEDULE

Number	Description	Date
0	Town Planning Application	23/10/2019
A	Town Planning RFI Response - 3 Units	22/04/2020

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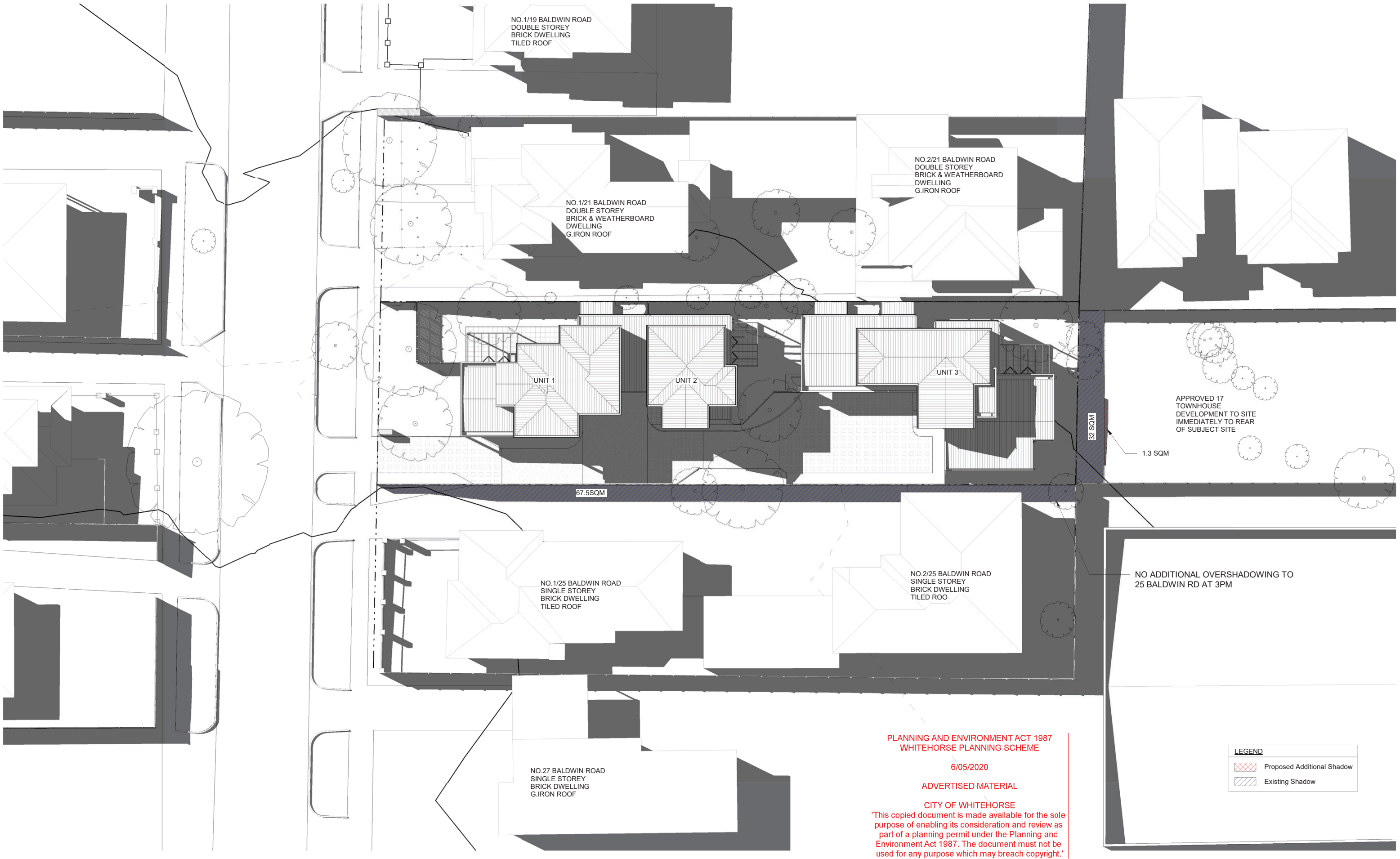


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PROJECT:
SHADOW @ 3PM SEP 22
Residential Development
23 Baldwin Rd Blackburn

REVISION SCHEDULE		
Number	Description	Date
0	Town Planning Application	23/10/2019
A	Town Planning RFI Response - 3 Units	22/04/2020

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LEGEND	
	Proposed Additional Shadow
	Existing Shadow



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LEGEND

- Existing Tree to be Retained
TPZ Shown Blue Dashed Line
Refer to Arborist Report
- Existing Tree to be Removed
Refer to Arborist Report
- New Street Tree
To Council Approval
- Proposed Trees
Refer to Plant Schedule
- Proposed Shrubs
Refer to Plant Schedule
- Proposed Groundcovers & Grasses
Refer to Plant Schedule
- Proposed Climbers
Refer to Plant Schedule
- Proposed Lawn Area
Refer to Specification
- Proposed Paving
To Later Detail
- Proposed Permeable Paving
To Later Detail
- Proposed Gravel Surface
Refer to Specification
- Proposed Coloured Concrete
To Later Detail
- Proposed Permeable Driveway
To Later Detail
- Reinstated/Repaired Naturestrip
Refer to Specification
- Proposed Retaining Wall
To Later Detail

SPECIFICATION NOTES

Soil Preparation
Crushed rock, concrete spillage and any other material restrictive to plant growth (e.g. large rocks) shall be removed from the site of any planting beds and semi-advanced trees. All trees to be removed shall be stump ground and all rubbish/vegetative spoil is to be removed from site. Existing top soil in planting areas is to be preserved so that it does not receive additional compaction from site machinery and so that no rubble or building supplies are stored in these areas.

No imported top soil is to be used within the root zones of trees to be protected. Any preparation of existing soil for planting within these areas is to be done by hand only. Holes (e.g. as the result of plant removal) and uneven soil levels may be patched using topsoil as specified below.

Any imported topsoil is to be free of weeds, rubble and other materials damaging to plant growth and is to be of a medium texture (sandy loam) with a pH of 6.0-7.0. Top soil is to be laid over a prepared sub-base which has had any materials damaging to plant growth (e.g. rubble and large rocks) removed, spread to the appropriate depth and cultivated into the existing site soil to a minimum depth of 150mm.

Imported top soil is to be lightly and uniformly compacted in 150mm layers to a minimum depth of 100mm on lawn areas and 300mm on excavated planting beds.

Weed Removal
All weeds shall be thoroughly removed. All vegetative material, including roots and rhizomes of non-woody perennials and woody suckering weeds, is to be removed or appropriately controlled using chemical means. The stumps of non-suckering woody perennials are to be stump ground. All vegetative material shall be appropriately disposed of off site in a manner which will not allow their re-establishment elsewhere. Any chemical controls are to be used in accordance with manufacturer's instructions and standard occupational health and safety procedures.

Care must be taken to ensure that all trees to be retained are not damaged during weed removal. This also implies that any herbicides used are suitable for use around the vegetation to be retained.

Planting
Planting shall be carried out using accepted horticultural practices with all plants conforming to the species, size and quantities indicated on the Landscape Plan and Plant Schedule. Plants shall be thoroughly soaked through immersion in water prior to planting and if the planting soil is very dry then the planting hole is also to be filled with water and allowed to drain completely.

All plants shall be appropriately hardened off in the nursery. Use plants with the following characteristics: Large healthy root systems with no evidence of root curl or pot bound restriction or damage, vigorous, well established, free from disease and pests and of good form, consistent with the species or variety.

Planting holes for shrubs and groundcovers are to be of minimum size 75mm larger than the planting pot in all directions. Semi-advanced tree planting holes are to be the same depth as the rootball and 2-3 times its diameter, with the top of the rootball being at grade. A 75mm high berm is to be constructed at edge of rootball to hold water. All plants are to be thoroughly watered after planting and slow release fertiliser added at the quantities specified by the manufacturer.

Mulch
Mulch is to be supplied to all garden beds and is to be an organic type laid to a minimum depth of 75mm, consisting of fine dark coloured chipped or shredded pine bark or hardwood with not more than 5% fines content by volume (preferably zero fines). The average size of the woodchip must be approximately 10mm x 20mm x 5mm and the maximum length is not to exceed 30mm. Mulch shall be free of damaging matter such as soil, weeds and sticks and is to be stockpiled and thoroughly weathered prior to delivery. Mulch is to be kept back 100mm from the stems of all plants to prevent collar rot.

Granitic Gravel Surface
Granitic gravel is to be installed where shown comprising of a 50mm layer of gravel (Tuscan Toppings or similar) over a base course of 75mm deep gently compacted Fine Crushed Rock. Each layer, including the subgrade is to be appropriately compacted.

Aggregate Gravel Surface
Aggregate gravel is to be installed where shown comprising of a 50mm layer of gravel (7-14mm granite screenings or similar, no fines) over a base course of 75mm deep gently compacted Fine Crushed Rock. The subgrade is to be appropriately compacted.

Timber Edges
Provide 75 x 25mm treated pine edges to all borders between gravel mulch paths and garden beds using 75x25x300mm long treated pine stakes at 1200mm maximum centres. An additional stake is to be provided at joins in the plinth.

Irrigation
An approved drip irrigation system is to be supplied to all landscape areas. An approved pop-up spray system is to be supplied to all lawn areas. It is the responsibility of the contractor to ensure that all irrigation meets manufacturer's specifications. The system is to be connected to mains supply and include a rain-shut off device. All dripline is to be buried with approx. 50mm of topsoil cover and shall be anchored at regular intervals to ensure the tubing cannot be dislodged.

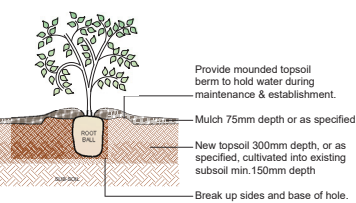
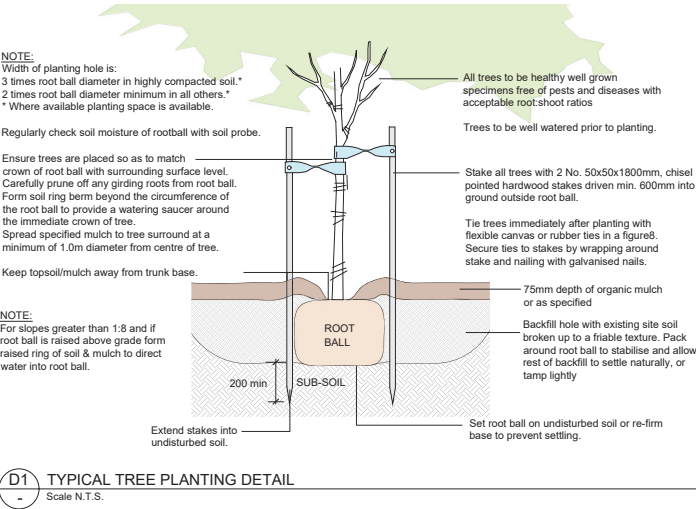
Lawn - Turf
'Sapphire' Soft Leaf Buffalo turf (or similar) is to be supplied to lawn areas as shown. Turf is to be supplied by a specialist grower and is not to be allowed to dry out between cutting and laying. Turf should be laid in a stretcher pattern so that joints are staggered and is to be lightly tamped following laying. All lawn areas are to be thoroughly watered following planting and fertilised with an appropriate lawn starter at the quantities recommended by the manufacturer.

Repair/Restoration of damaged Nature-strips
Nature strips are to be restored to current grades with any depressions filled with topsoil to specifications above and lightly compacted in 150mm layers. Areas are then to be re-seeded using an appropriate and matching turf type and the area fenced off to allow the re-establishment of lawn. Re-seeded areas are to be well irrigated and the area supplied with a slow release fertiliser at the quantities recommended by the manufacturer.

Any areas of lawn which have failed to germinate (achieve an evenly green 95% covering of a consistent height) are to be re-seeded within one month of original sowing date.

Plant Establishment Period
There shall be a 13 weeks Plant Establishment Period following the approval of Practical Completion by the responsible authority. During this period the landscape contractor shall make good all defects in his/her scope of works. Maintenance and Establishment means the care and maintenance of the contract area by accepted horticultural practices, as well as rectifying any defects that become apparent in the work under normal use. This shall include, but shall not be limited to watering, fertilising, weeding, pruning, pest and disease control, cultivation, re-staking and replacement of any plants that fail with plants of the same species and size.

TYPICAL PLANTING DETAILS



PLANT SCHEDULE

SYM	BOTANICAL NAME	COMMON NAME	D/E N/Ex	HEIGHT X WIDTH AT MATURITY	MIN SUPPLY SIZE	QTY
TREES						
Am	Acacia melanoxylon	Blackwood	EN	12-20 x 6-10m	2.0mH	1
Ec	Eucalyptus leucosylon ssp. cornata	Melbourne Yellow Gum	EN	10-15m x 6-10m	2.0mH	1
EpLS	Eucalyptus pauciflora 'Little Snowman'	Dwarf Snow Gum	EN	5-12 x 4-6m	2.0mH	1
LxB	Lagerstroemia indica x L. fauriei 'Blox'	Blox Crepe Myrtle	D/Ex	7 x 5m	2.0mH	1
MaE	Melia azedarach 'Elt'	Low-fruited White Cedar	DN	12 x 8-10m	2.0mH	1
PcC	Pyrus calleryana 'Chanticleer'	Chanticleer Callery Pear	D/Ex	12 x 6m	2.0mH	2
TOTAL						7
SHRUBS						
AcMC	Acacia cognata 'Mini Cog'	Dwarf River Wattle 'Mini Cog'	EN	0.8 x 1.8m	200mm pot	17
BeBB	Banksia ericifolia 'Bull Baby'	Bull Baby Heath Banksia	EN	1.2 x 1m	140mm pot	9
Mp	Murraya paniculata	Orange Jessamine	E/Ex	2 x 1m (clipped)	200mm pot	20
Sc	Sarcococca confusa	Sweet Box	E/Ex	1.5 x 1m	140mm pot	10
SaBC	Syzygium australe 'Bush Christmas'	Bush Christmas Lilly-pilly	EN	2-3 x 1-2m	200mm pot	32
VN	Westringia 'Naringa'	Naringa Coastal Rosemary	EN	1-2 x 1-1.5m	140mm pot	12
TOTAL						100
GROUNDCOVERS						
Arc	Arthropodium cirratum	Renga Lily	E/Ex	0.7 x 0.7m	140mm pot	37
DIT	Dianella tasmanica 'Tasred'	Tasred Flax Lily	EN	0.4 x 0.4m	140mm pot	172
HFE	Hardenbergia violacea 'Free 'n' Easy'	Free 'n' Easy Coral Pea	EN	0.15-0.3 x 1.5m	140mm pot	74
LmMW	Liriope muscari 'Monroe's White'	Monroe's White Lily-turf	E/Ex	0.4 x 0.4m	140mm pot	68
LLT	Lomandra x 'Lime Tuff'	Lime Tuff Mat-rush	EN	0.4 x 0.4m	140mm pot	150
Oj	Ophiopogon japonicus	Giant Mondo Grass	E/Ex	0.4 x 0.4m	140mm pot	139
PaN	Pennisetum alopecuroides 'Nafra'	Nafra Fountain Grass	EN	0.8 x 0.8m	140mm pot	36
Pi	Poa labillardieri	Tussock Grass	EN	0.8 x 0.8m	140mm pot	42
PpC	Poa polytrichoides 'Courtney'	Courtney Tussock Grass	EN	0.5 x 0.5m	140mm pot	51
TOTAL						769
CLIMBERS						
Arc	Aphanopetalum resinum	Gum Vine	EN	Climber	140mm pot	10
Tj	Trachelospermum jasminoides	Star Jasmine	E/Ex	Twining Climber	140mm pot	16
TOTAL						26

D/E = Deciduous/Evergreen N/Ex = Native/Exotic

PLANNING AND ENVIRONMENT ACT 1987
WHITEHORSE PLANNING SCHEME

6/05/2020

ADVERTISED MATERIAL

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