

CHARACTER OF SURROUNDING AREA

Predominant character
The subject site is located within the *Garden Suburban Precinct 4* of the *City of Whitehorse Neighbourhood Character Study 2014*.

The topography of the precinct is flat to rolling.

The area is characterized by a mixture of original 1950's to 1980's single dwellings of brick and tiled roofs. These homes are generally double-fronted or triple-fronted cream or orange brick veneer and single-storey in height.

Newer single dwellings and townhouse developments are present in both single-storey and double-storey configurations.

Front setbacks vary and most dwellings have at least one side setback.

Garages and carports are usually located behind the front setback along one side boundary with a single crossing.

Many properties either have no front fence or a low-height fence, generally of brick.

Gardens are predominantly exotic, including shrubs, garden beds, lawns and trees. Trees are informally planted with mixed species and sizes.

Legend
A single storey, brick, tiled roof
B double storey, brick, tiled roof
C single storey, weatherboard, tiled roof
D double storey, weatherboard, tiled roof

g garage
cp carport

Fencing Character
Many properties have no front fences, otherwise, fences are mostly low-height brick or timber
n no fence
h hedge
lb low brick
ls low steel
lt low timber
ht high timber

Garden Style
Generally composed of a front lawn, low-lying garden beds, and a sprinkling of low to medium shrubs and mature trees. Eucalypts, tea-trees and tree shrubs are the dominant species.

LEGEND

- 1 ACCESS TO PUBLIC TRANSPORT: Station Street buses at front of subject site
500m Burwood Highway trams
- 2 DISTANCE TO SHOPS: 500m Local shops at corner of Burwood Highway
1km Burwood East Shopping Centre
- 3 PARKLAND: 300m Gardiner Creek Reserve
- 4 DEAKIN UNIVERSITY 400m
- 5 ADJOINING DOUBLE-STOREY MULTI DWELLING DEVELOPMENT
- 6 DOUBLE-STOREY MULTI DWELLING DEVELOPMENT UNDER CONSTRUCTION
- 7 NEARBY DOUBLE-STOREY MULTI DWELLING DEVELOPMENT (APPROVED)
- 8 NEARBY DOUBLE STOREY DUAL OCCUPANCY
- 9 NEARBY SINGLE STOREY DUAL OCCUPANCY
- 10 ADJOINING SECLUDED PRIVATE OPEN SPACE

Ground levels of neighbouring properties follow natural contours. No site cutting or filling is present.

Solar access enjoyed by adjoining properties is unhindered by existing conditions.

Proposed Dwellings
used as Rooming Houses
134-136 Station Street
Burwood

drawing 1 march 2020 scale 1:500

IVY Architects
Aldo DiNicolantonio

35 Ralton Avenue
Glen Waverley 3150
ph 9561 2088



NEIGHBOURHOOD

DESCRIPTION

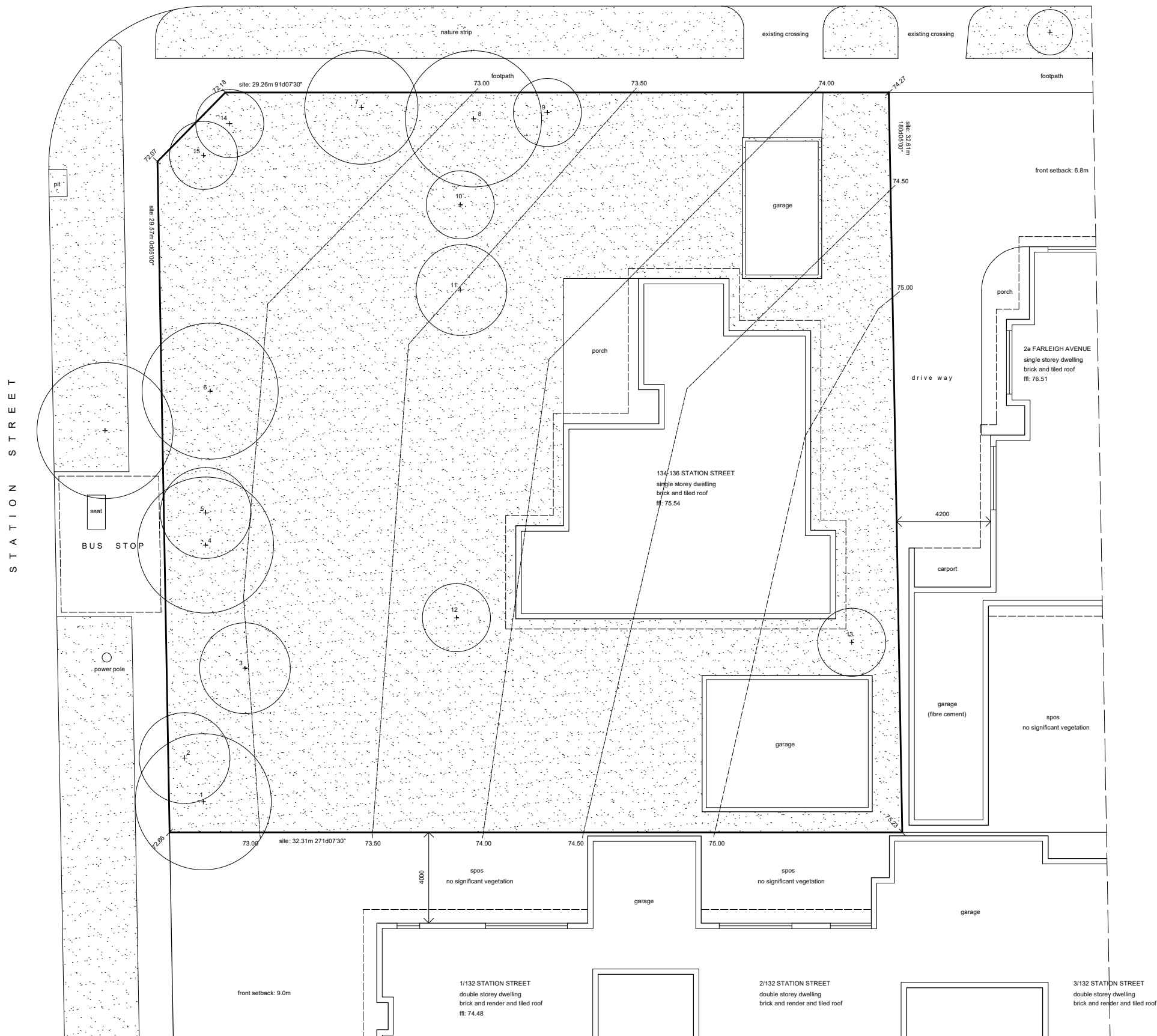


afternoon sun ↘

midday sun ↓

morning sun ↙

FARLEIGH AVENUE



EXISTING CONDITIONS PLAN

LEGEND
Site levels shown are to A.H.D.
Windows shown on adjoining properties are habitable room windows.

CONSTRAINTS
No constraints in terms of easements, overlays, covenants.

EXISTING SERVICES
Stormwater discharge to road reserve.
Sewerage connection within road reserve.
Telephone, gas, electricity connected.

EXISTING SITE FENCING
Station Street (west) 1900mm timber corral fence
Farleigh Avenue (north) 1900mm timber corral fence
South 1900mm timber paling fence
East 2000mm corrugated steel fence

SITE FEATURES
Bus stop at front of site (Station Street)
No significant views from site.
No significant views to site.

Site and adjoining properties follow natural contours - no significant site cutting or filling.

No contaminated soil on site.
No other notable site features.

EXISTING VEGETATION			
tree	height	spread (m)	
1 weeping lilly pilly	9	8	remove
2 norfolk island pine	10	5	remove
3 sweet pittosporum	8	4	remove
4 sweet pittosporum	8	8	remove
5 sweet pittosporum	8	8	remove
6 camphor laurel	8	5	remove
7 sweet pittosporum	8	8	remove
8 prickly leaf paperbark	11	8	remove
9 sweet pittosporum	8	10	remove
10 camellia	2.5	2	remove
11 apple	4	4	remove
12 prunus	2	2	remove
13 prunus	3	3	remove
14 fig	3	2	remove
15 fig	3	2	remove

No significant vegetation removed within last 12 months.

VEGETATION ON ADJOINING PROPERTIES
No significant vegetation on adjoining sites within 9.0 metres of subject site.

SITE DESCRIPTION

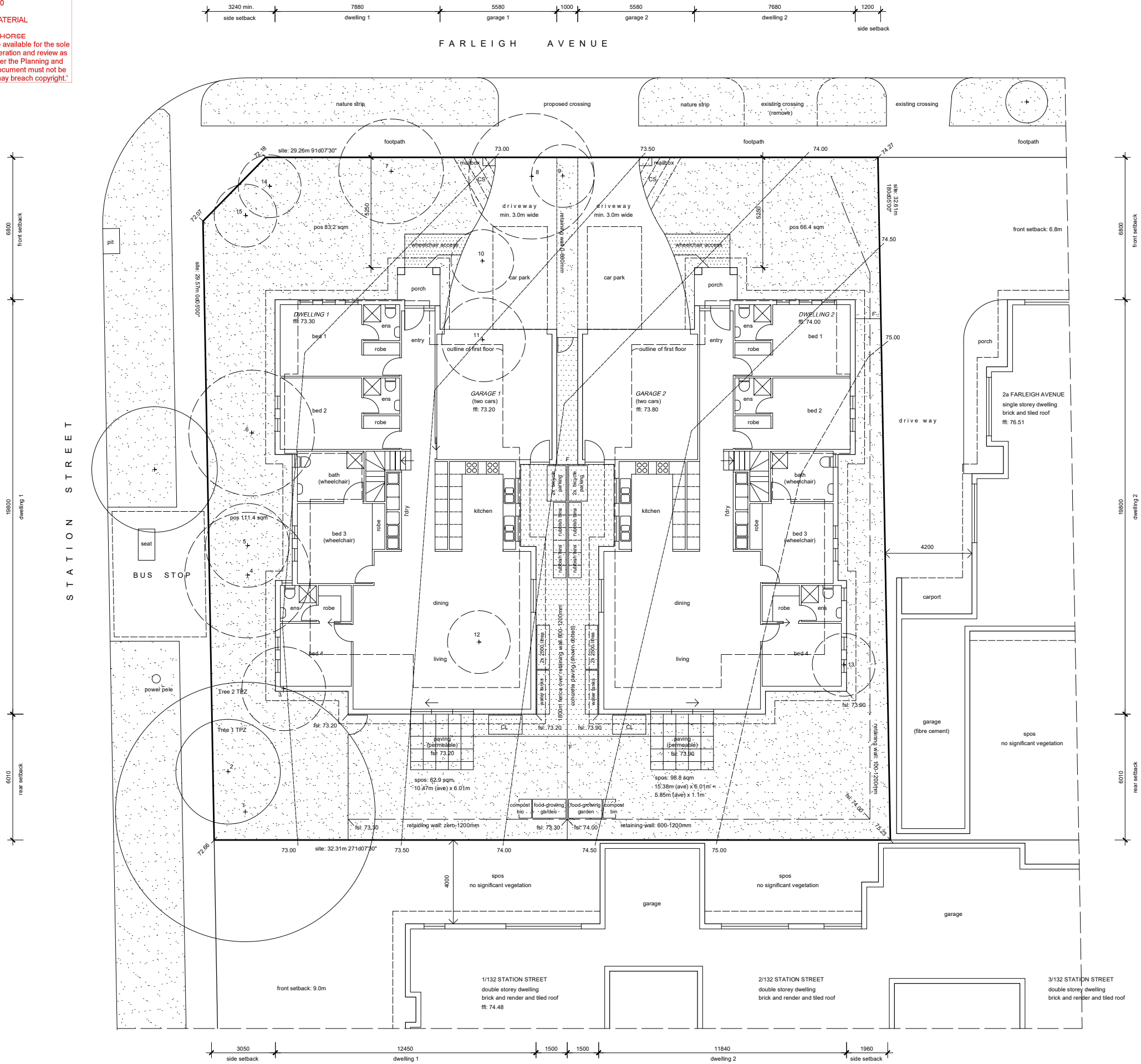
Proposed Dwellings
used as Rooming Houses
134-136 Station Street
Burwood

drawing 2 march 2020 scale 1:100

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SITE PLAN & GROUND FLOOR PLAN

LEGEND
Levels shown are to A.H.D.
Windows shown on adjoining properties are habitable room windows

f frosted glazing

DEVELOPMENT SUMMARY
square metres

site area:	1048.9
dwelling 1	361.9
ground floor:	198.5
first floor:	163.4
garage:	36.1
open space:	257.5 (62.9 secluded)
dwelling 2	354.9
ground floor:	191.5
first floor:	163.4
garage:	36.1
open space:	165.2 (98.8 secluded)
site coverage	462.2 (44.1%)
hard surfaces	591.9 (56.4%)
permeable surfaces	457.0 (43.6%)
garden area	498.5 (47.5%)

SITE FENCING	existing boundary fences	
Station Street (west)	1900mm timber corral	(remove)
Farleigh Avenue (north)	1900mm timber corral	(remove)
South	1900mm timber paling	(remove)
East	2000mm corrugated steel	(remove)

SITE FENCING	proposed boundary fences	
Station Street (west)	no front fence	
Farleigh Avenue (north)	no front fence	
South	1800mm timber paling	
East	1800mm timber paling	

SITE FENCING	proposed internal fences (shown F on plans)	
1800mm high timber fencing composed of horizontal slats with stained finish.		

EXISTING VEGETATION
Existing vegetation to be removed shown with broken lines.
Existing vegetation to be retained shown with solid lines.

Adopt Tree Protection measures in accordance3 with
Arboricultural Report by PSY Inv. Pty Ltd dated 01/05/2020.

tree	height	spread (m)	
1 weeping lilly pilli	9	8	retain
2 norfolk island pine	10	5	retain
3 sweet pittosporum	8	4	remove
4 sweet pittosporum	8	8	remove
5 sweet pittosporum	8	8	remove
6 camphor laurel	8	5	remove
7 sweet pittosporum	8	8	remove
8 prickly leaf paperbark	11	8	remove
9 sweet pittosporum	8	10	remove
10 camellia	2.5	2	remove
11 apple	4	4	remove
12 prunus	2	2	remove
13 prunus	3	3	remove
14 fig	3	2	remove
15 fig	3	2	remove

No significant vegetation removed within last 12 months.
Read in conjunction with Arborist's Report.

DRIVEWAYS
CS (areas shown hatched) denotes a clear area of 2.0m wide x 2.5m deep on both sides of driveway having no fencing or other obstructions greater than 1.15 metres in height. The areas may include adjacent landscaping areas with a height of less than 900mm.

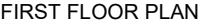
Proposed Dwellings
used as Rooming Houses
134-136 Station Street
Burwood

drawing 4A july 2020 scale 1:100

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Glen Waverley 3150
ph 9561 2088





THE ROYAL AUSTRALIAN
INSTITUTE OF ARCHITECTS

LEGEND

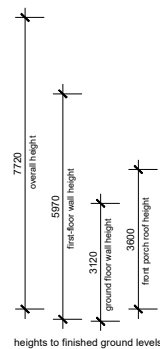
levels shown are to A.H.D.

Windows shown on adjoining properties are habitable room windows

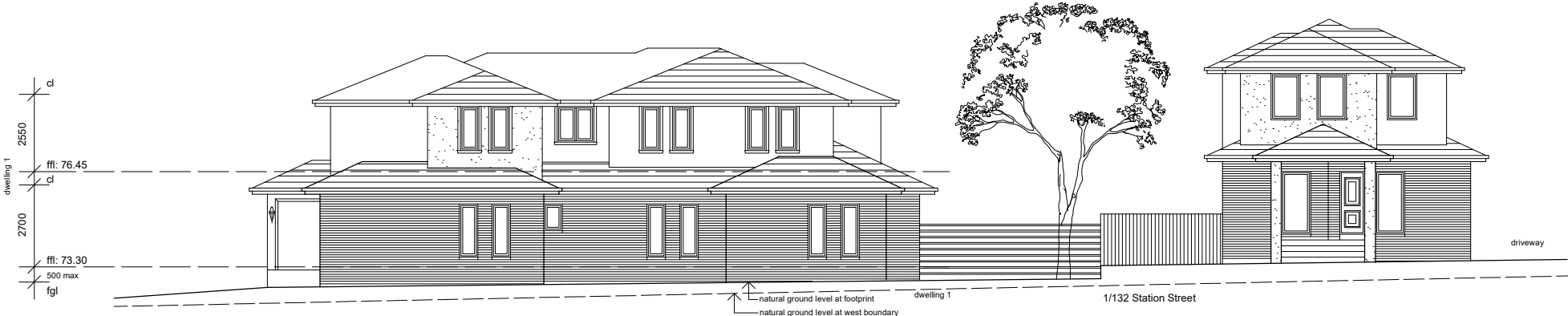
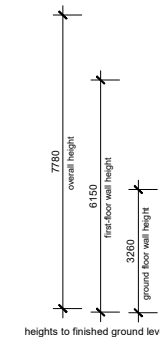
Internal room sizes shown are approximate only.

frosted glazing

f fixed and frosted glass to 1.7m above finished floor level
install manufactured obscured glass.
do not install applied obscured film to clear glazing.



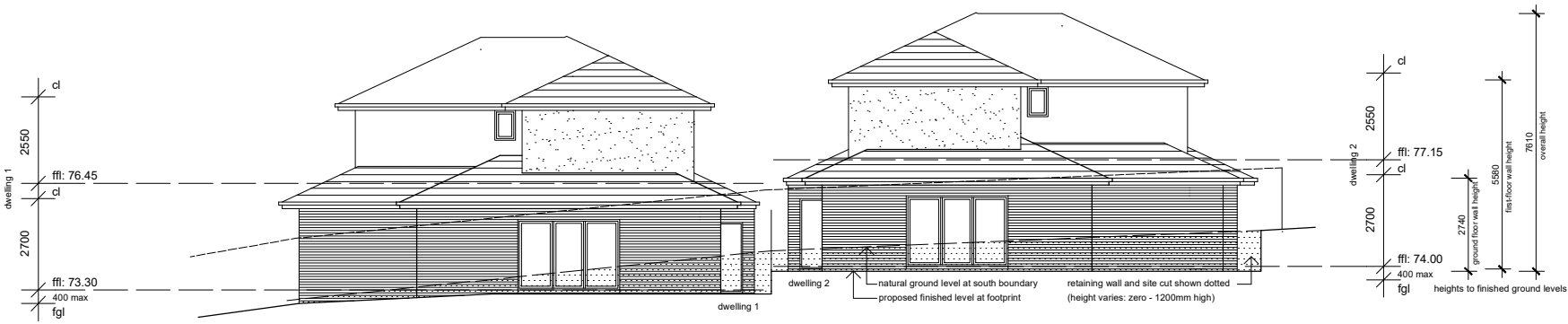
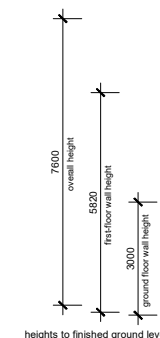
FARLEIGH AVENUE STREETSCAPE (north elevation)
no front fence to Farleigh Avenue frontage



STATION STREET STREETSCAPE (west elevation)
no front fence to Station Street frontage

MATERIALS SCHEDULE

- WALLS:
- Face brickwork to ground floor. Colour: selected red or brown tones.
 - Applied rendered finish to first floor. Colour: selected sandstone or brown tones.
 - Applied rendered finish to porches. Colour: selected sandstone or brown tones.
- ROOF:
- Concrete tiles, slate profile. Colour: brown tones or charcoal.
- RAINWATER GOODS:
- Colorbond steel. Colour: neutral tones.
- WINDOWS:
- Aluminium, powdercoat finish. Colour: neutral tones.
- GARAGE DOORS:
- Colorbond steel. Colour: neutral tones.
- Window Screens (shown ff) denotes fixed and frosted glazing to 1.7m above finished floor level. do not install adhesive film.



SOUTH ELEVATION
outline of boundary fence shown with broken line
1800mm timber paling fence




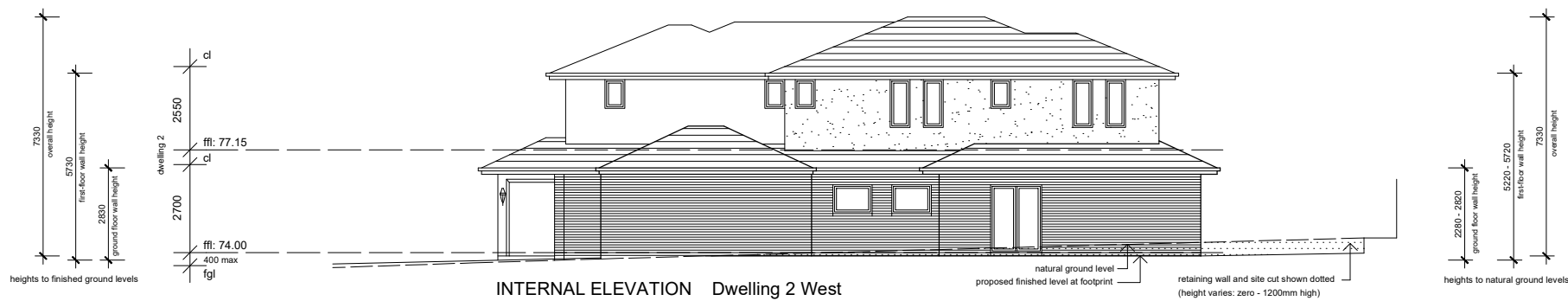
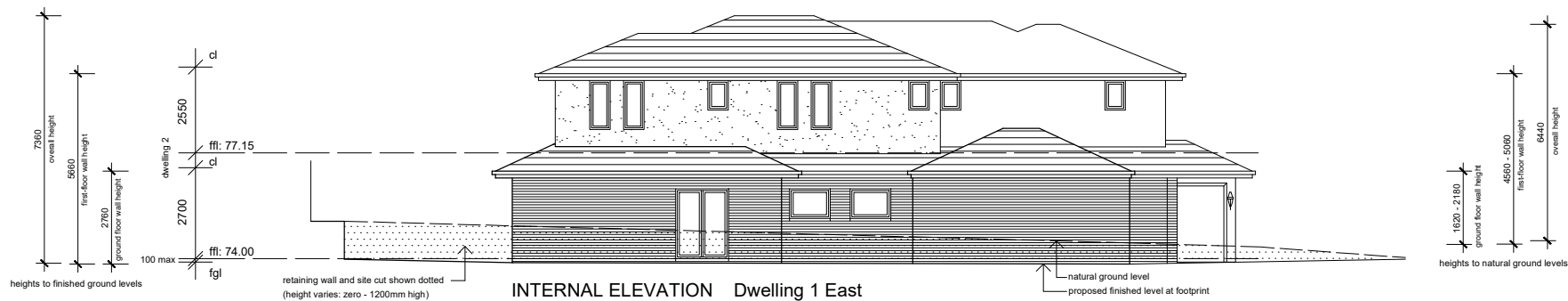
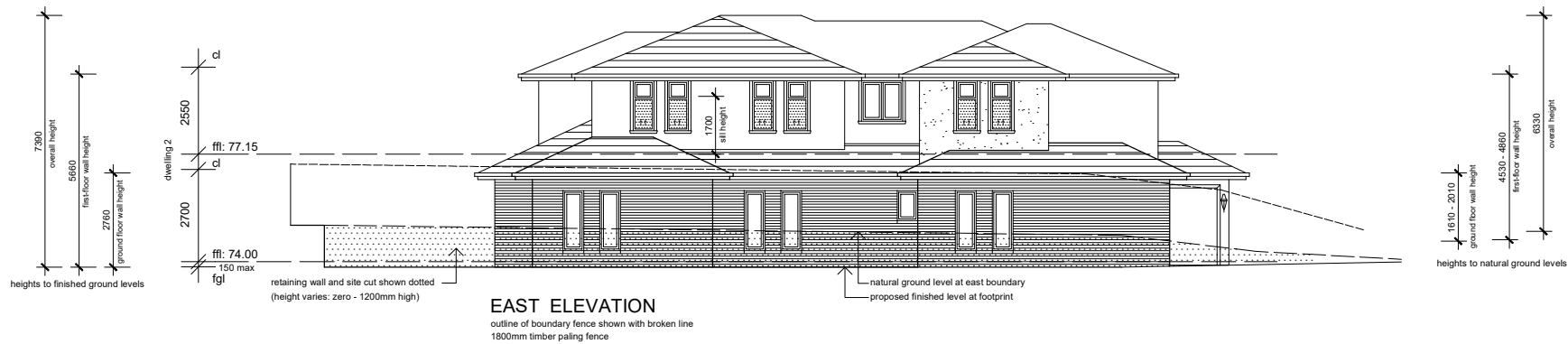
Proposed Dwellings
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Burwood

drawing 6A march 2020 scale 1:100

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THE ROYAL AUSTRALIAN
INSTITUTE OF ARCHITECTS



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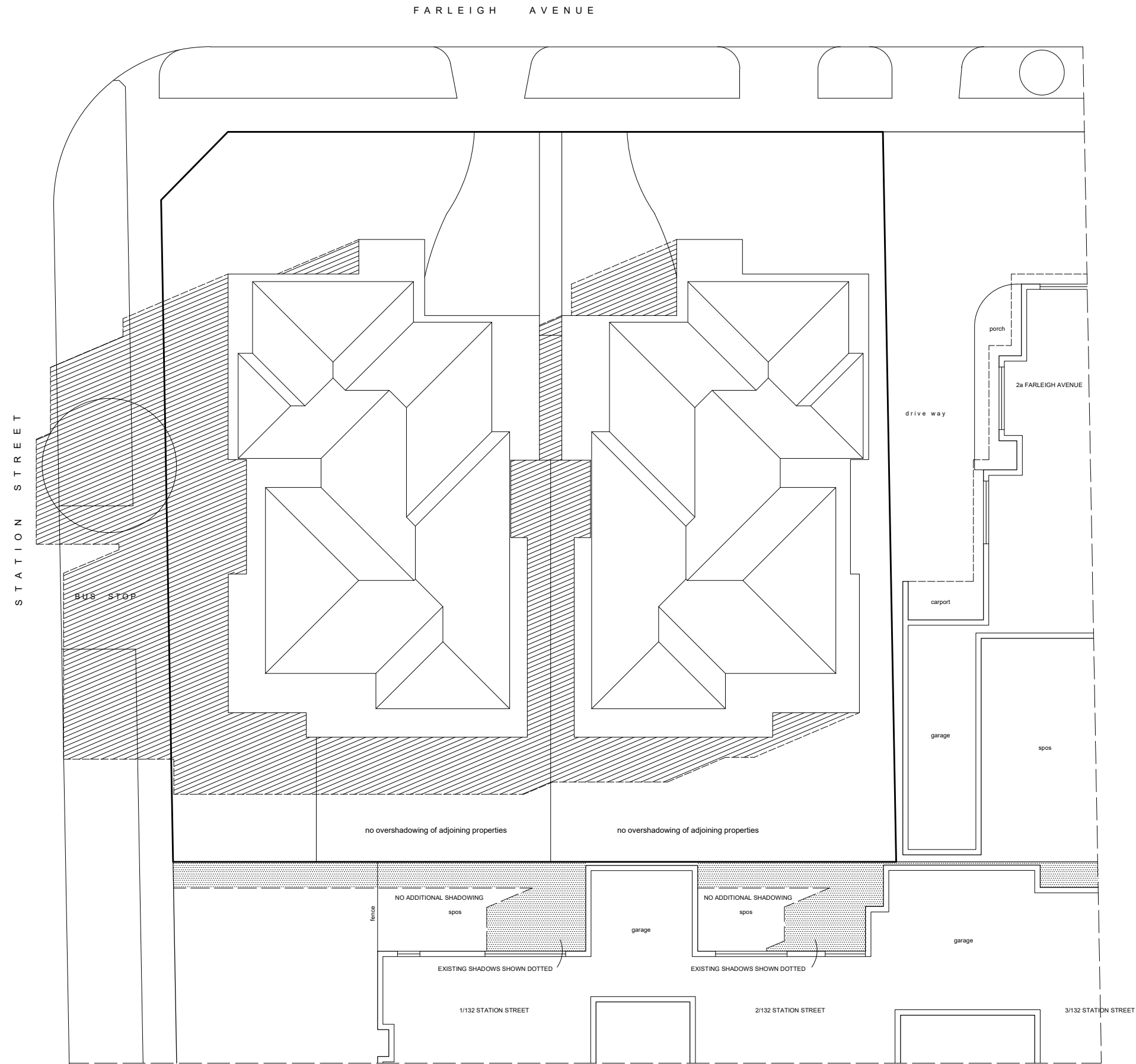
Proposed Dwellings
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134-136 Station Street
Burwood

drawing 7 march 2020 scale 1:100

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SHADOW DIAGRAMS FOR EQUINOX
9.00am March 22 & September 22



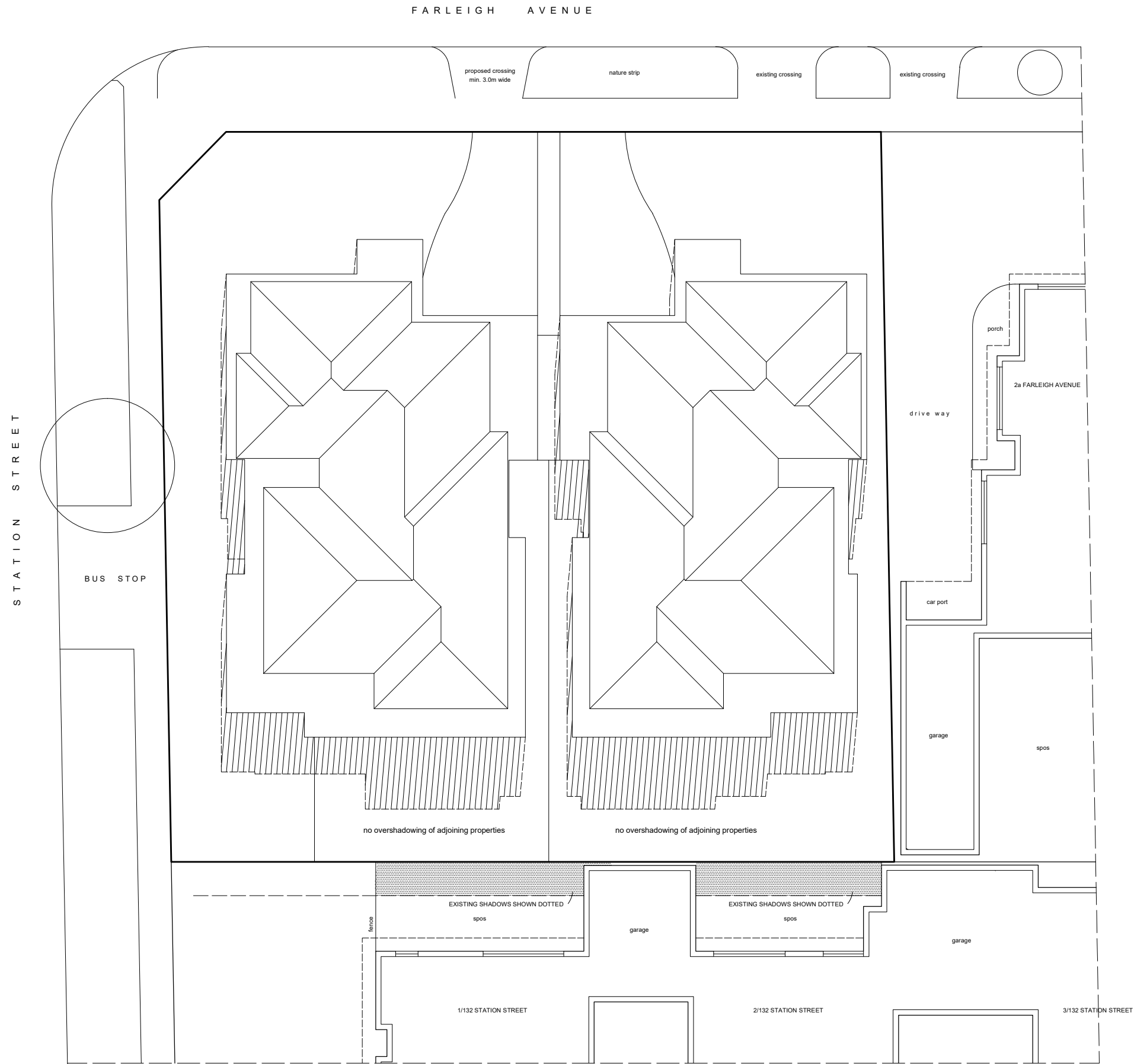
Proposed Dwellings
used as Rooming Houses
134-136 Station Street
Burwood

drawing 8 march 2020 scale 1:100

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Glen Waverley 3150
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SHADOW DIAGRAMS FOR EQUINOX
midday September 22

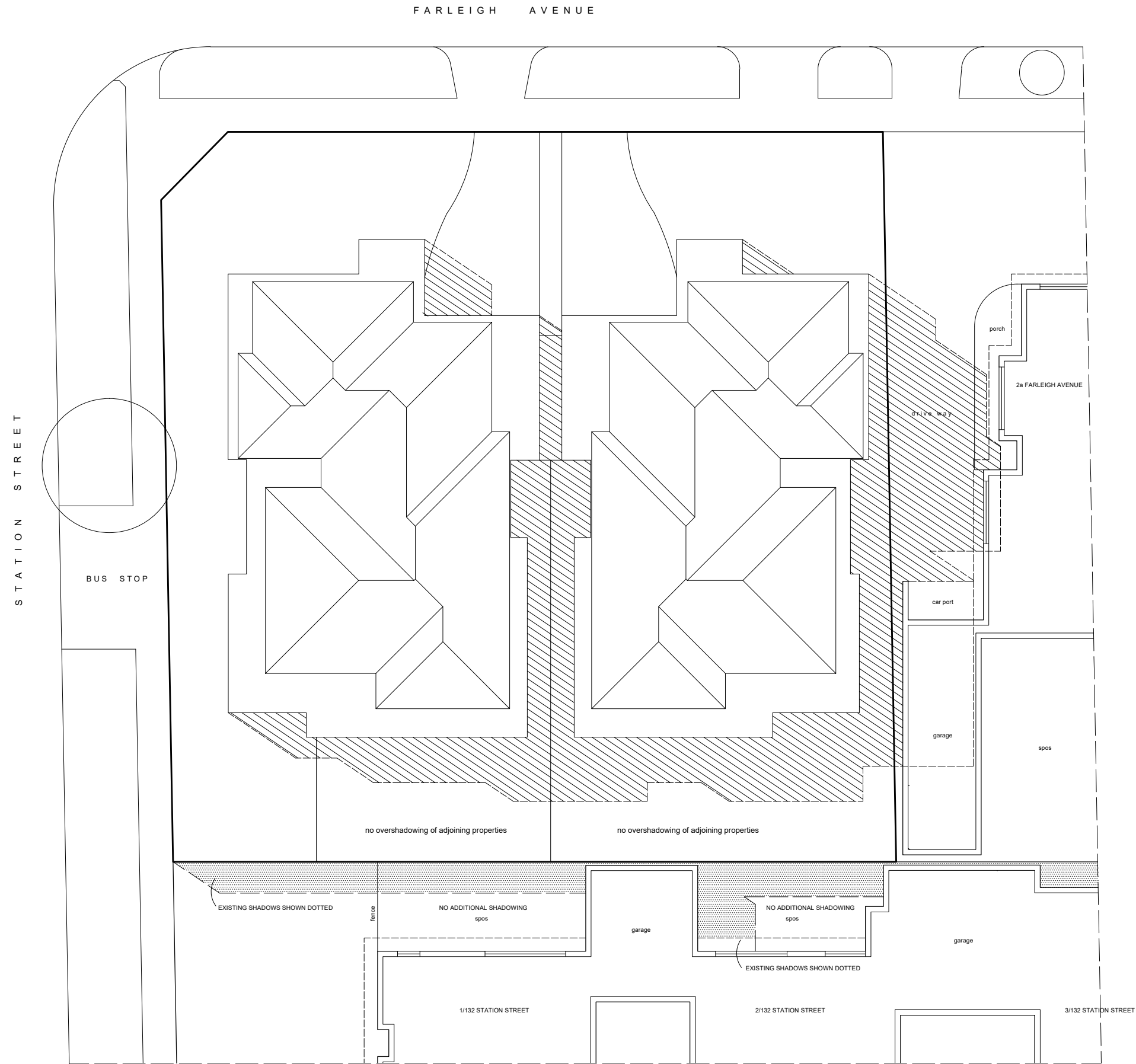
Proposed Dwellings
used as Rooming Houses
134-136 Station Street
Burwood

drawing 9 july 2018 scale 1:100

IVY Architects
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35 Ralton Avenue
Glen Waverley 3150
ph 9561 2088





SHADOW DIAGRAMS FOR EQUINOX
3.00pm March 22 & September 22



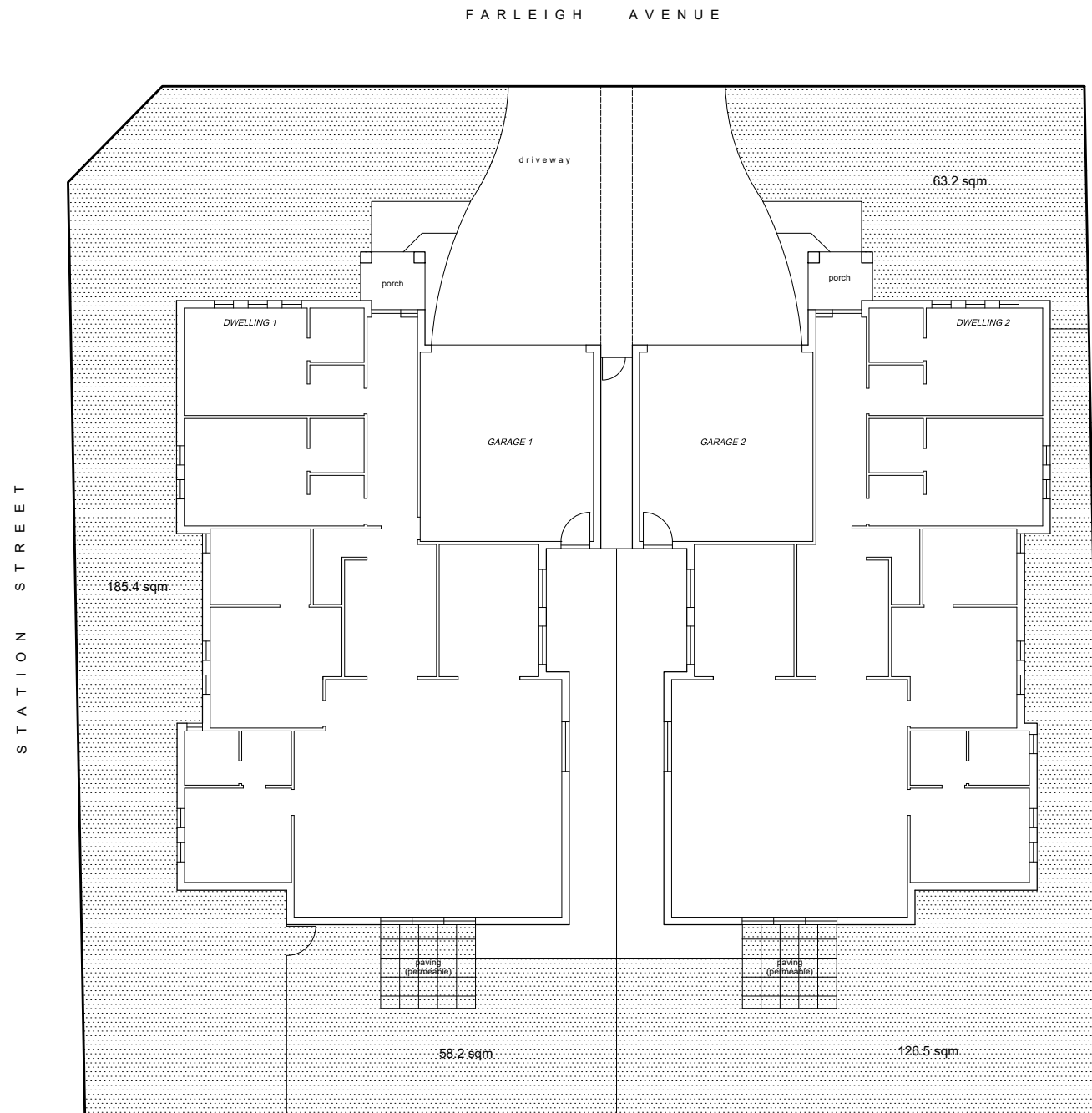
Proposed Dwellings
used as Rooming Houses
134-136 Station Street
Burwood

drawing 10 may 2018 scale 1:100

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Glen Waverley 3150
ph 9561 2088





GARDEN AREA PLAN

site area: 1048.9 sq.m.
garden area: 432.4 sq.m. (41.2%)



Proposed Dwellings
used as Rooming Houses
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Burwood

drawing 11 july 2018 scale 1:100

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Existing Vegetation Summary

Extracted from vegetation audit and report prepared by PSY Inv Pty Ltd (29/07/2020)

TREE NO.	BOTANICAL NAME	H x W (m)
1.	Waterhousea floribunda	10 x 8
2.	Arucaria heterophylla	10 x 5
3.	Pittosporum undulatum	8 x 4
4.	Pittosporum undulatum	8 x 8
5.	Pittosporum undulatum	8 x 8
6.	Cinnamomum camphora	5 x 8
7.	Pittosporum undulatum	8 x 8
8.	Melaleuca stypheloides	11 x 8
9.	Pittosporum undulatum	8 x 10
10.	Camellia spp	2.5 x 2
11.	Malus domestica	4 x 4
12.	Prunus spp	2 x 2
13.	Prunus spp	3 x 3
14.	Ficus carica	2 x 3
15.	Prunus armeniaca	2 x 3

Specifications

Subgrade preparation
Site preparation to be carried out in accordance with best horticultural practice and under suitable conditions. Disturbance to indigenous soil structure is to be minimised. The use of machinery that may damage soil structure or profile is not acceptable. Sub-grade to all lawn and planted areas is to be cultivated to a minimum depth of 150mm and shaped to achieve drainage falls prior to topsoiling. Subgrade to be tested prior to preparation and conditioning to determine ph, salinity and gypsum requirement. Any gypsum required is to be distributed at the manufacturers recommended rate and cultivated into the sub-grade at a minimum depth of 150mm. Proposed topping areas to be graded / drained to prevent water discharge into neighbouring properties

Weed control
Remove and dispose of environmental weeds off site prior to subgrade preparation, topsoiling and planting works.

Soil Preparation
Topsoil is to be spread in maximum 150mm layers, lightly compacted by use of a 150 - 200kg roller, or by thoroughly walking until it accords with finished kerb levels or to within 75mm below edging levels to accommodate mulch. Imported topsoil for garden beds is to be medium texture general purpose garden soil and lightly compacted to minimum 300mm depth to garden beds. Soil is to comply with s.a.s. 2223-1978, and as follows:

- free from perennial weeds and their roots, bulbs and rhizomes
- free from building rubble and any other matter deleterious to plant growth
- ph to be 6.0 - 7.0
- texture to be light to medium friable loam
- free from silt material

Imported topsoil for lawn rejuvenation / establishment shall have the above characteristics, but shall be a free draining sandy loam, lightly compacted to minimum 100mm depth

Mulch
The specified mulch for garden beds is to be an aged organic material with 60 - 80 percent of its volume being wood chips particles in a size range of 25 - 50 mm maximum. Mulch is to be spread at a consolidated depth of 75mm

Planting Procedure
If soil to planting hole is dry - fill with water and allow to drain completely. Tree roots are to be teased outwards if matted or circling occurs prior to backfilling. Place tree in centre of hole on firm soil to prevent sinking, ensuring top of the rootball is flush with the surrounding soil surface and the trunk is vertical. Backfill material is to be in a loose, friable state, with no bricks, rocks or foreign material - if sufficient material is not available form the original hole to backfill, a similar soil type must be sourced and used. Soil material must be firmly backfilled in layers to prevent large air pockets from occurring, then thoroughly watered in. Trees to be staked with two 2250mm x 70mm hardwood stakes driven firmly into the ground - stakes must not be placed through the rootball area. Trees are to be secured to each stake with a strong, soft and flexible material, light enough to support the tree in windy conditions - yet loose enough to stimulate development of a good supportive root system. Tree tie material must not injure tree bark or restrict trunk growth for a minimum period of three years. Slow release fertiliser (3/6 month formulation) such as 'Osmocote' is to be applied to the top of the rootball area away from the trunk / stem to manufacturers specifications and watered in immediately. All trees to be mulched to a diameter of 1200mm wide and to a depth of 100mm but must not be in contact with the tree trunk. Mulch is to be an aged organic material with 60 - 80 percent of its volume being wood chip particles in a size range of 25 - 50mm maximum. Mulch is to be spread at a consolidated depth of 75mm. The planting hole surface is to be shaped to minimise waterlogging/excessive water retention but retain the mulch material neatly. The site must be left in a clean and safe condition

Plant Establishment Period
The landscape is to be maintained by applying best horticultural practice to promote healthy plant performance for a 13 week establishment period following the approval of Practical Completion by the responsible authority including (but not limited to) the following tasks - Pruning as necessary to maintain plants in a healthy and structurally sound manner, pest and diseases - vegetation to be pest and disease free, mulching, staking and tying - 75mm mulch depth to be maintained around tree bases throughout maintenance period, watering - as often as necessary to ensure healthy and vigorous growth in accordance with current local watering regulations, weeding - maintained in a weed free state over the entire mulch area by spraying or mechanical mean, fertilising - 3/6 monthly slow release fertiliser in accordance with manufacturers recommended application rates, replacement of deceased, stolen or vandalised plants beyond repair or regrowth with the same species as specified in the plant schedule within the assigned maintenance period

Irrigation
An in-ground automatic drip irrigation system to be installed to all garden areas and planter boxes (if applicable) in accordance with current local watering regulations

Timber Edging
Timber edging to be 75mm x 25mm treated pine secured to 300mm long treated pine stakes at nom. min 1000mm spacings with galvanised screws and installed to all junctions between garden beds, lawn and topping / pebble areas

Drainage
Landscape and / or building contractor(s) are responsible for civil and hydraulic computations for landscape building works including, but not limited to surface and sub surface drainage for all landscape areas prior to commencement of works

General
While care has been taken to select tree species with non-invasive root systems it is recommended that root control barriers be installed for any trees located within two metres of any building lines.

Climbing plants (if applicable) are to be trained to supportive mesh, wire or lattice fixed over entire fence section from base to top

Do not scale from plan - contractor to verify all dimensions on site prior to commencing construction

Plants - Quality of Trees and Shrubs

Trees and shrubs shall be healthy nursery stock free from insects, diseases and weeds. The specified plant heights, and pot sizes are minimums. If plant material is unavailable in these sizes, larger stock must be used. Plant substitution is not acceptable unless confirmed by the responsible authority in writing. The contractor is to supply and install semi mature trees which meet the following criteria: Have a minimum planted height to sizes as indicated in the plant schedule, have a minimum trunk calliper of 50mm at ground level, be undamaged and free of diseases and insect pests, not be root bound or have circling or girdling roots but have roots grown to the edge of - the container, should bear a single straight trunk, strong branching pattern, and full canopy, show healthy, vigorous growth

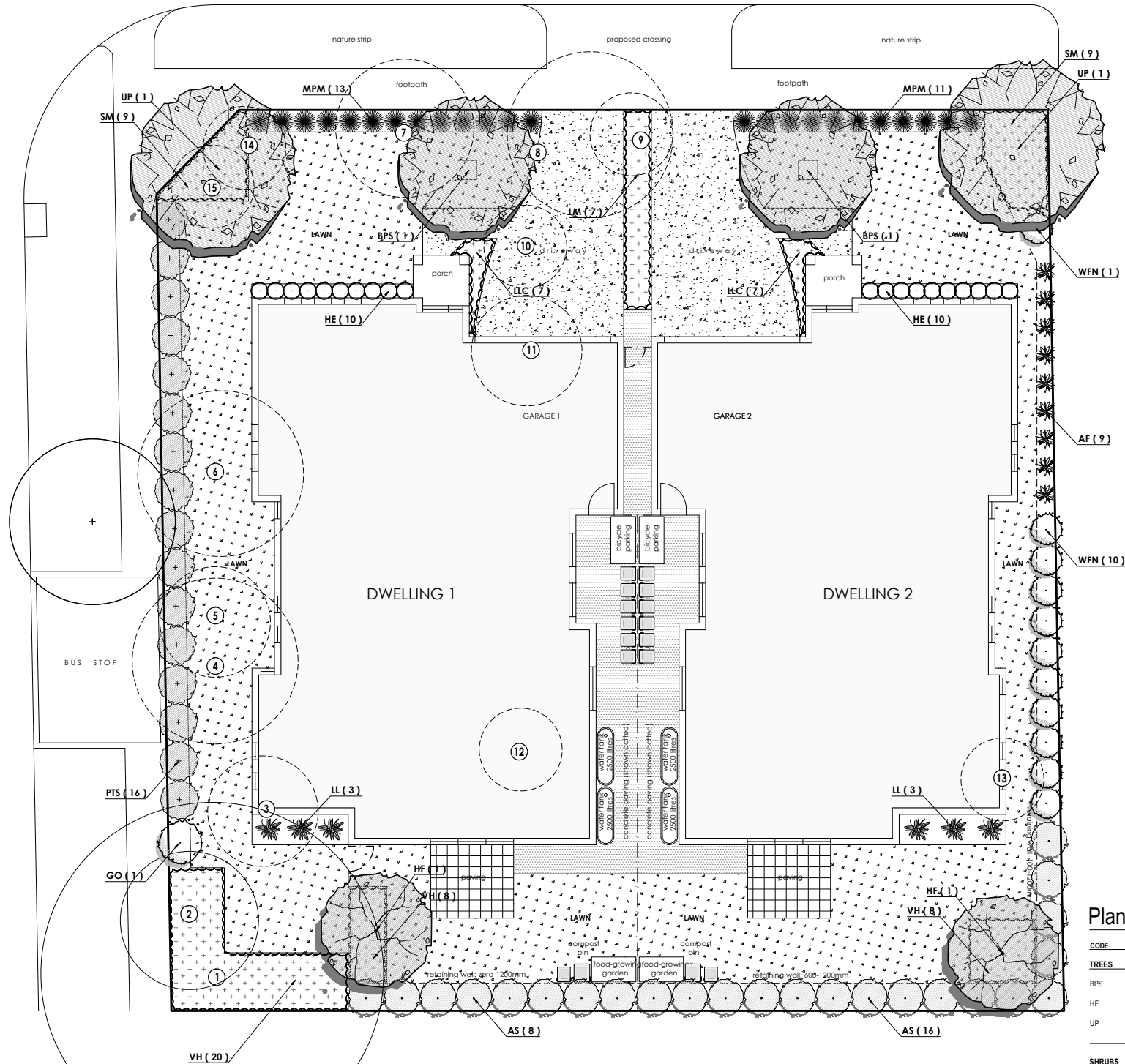
Protection of Existing Trees
This plan is to be read in conjunction with the arboricultural report prepared by PSY Inv Pty Ltd (29/07/2020). Denoted tree numbers - refer to arboricultural report prepared by PSY Inv Pty Ltd for further information.

All existing vegetation shown on the endorsed plan (subject site and neighbouring properties) to be retained must be suitably marked before any development (including demolition) commences on the land and that vegetation must not be removed, destroyed or topped without the written consent of the responsible authority. Before the commencement of works (including demolition) start, tree protection barriers must be erected around trees (subject site and neighbouring properties) to form a defined tree protection zone during demolition and construction in accordance with tree protection measures as per AS 4970-2009 (Tree protection in development sites) and to the satisfaction of the responsible authority.

Any pruning that is required must be carried out by a trained and competent arborist with a thorough knowledge of tree physiology and pruning methods to carry out pruning to the Australian standard - AS 4373-2007 (Pruning of amenity trees). All tree protection practices must be adhered to in accordance with the arboricultural report and to the satisfaction of the responsible authority

Landscape Plan

STATION STREET



Advanced Tree Planting

Surface Finishes Detail

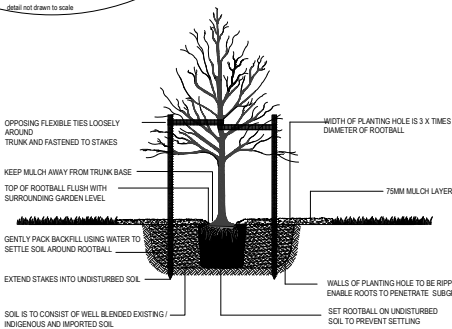
Garden Beds



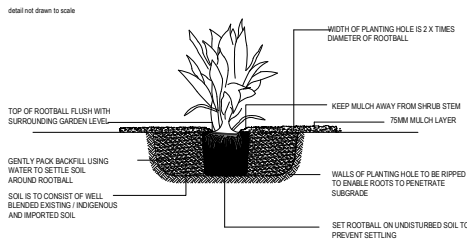
Topping / Pebble areas



Lawn areas



Shrub Planting



Plant Schedule

CODE	BOTANICAL NAME	COMMON NAME	QTY	SUPPLY SIZE	MATURE H x W
TREES					
BPS	Betula pendula	Silver Birch	2	Min 1.5m high	12m x 5m
HF	Hymanasporum Ravum	Native Frangipani	2	Min 1.5m high	10m x 4m
UP	Ulmus parvifolia	Chinese Elm	2	Min 1.5m high	10m x 10m

SHRUBS

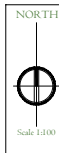
AS	Acmena smithii var. 'Minor'	Compact Lilly Pilly	24	20cm pot	3m x 1.5m
GO	Goodenia ovata	Hop Goodenia	1	14cm pot	1.5 x 1.5m
HE	Hebe 'Emerald Green'	Emerald Green Hebe	20	14cm pot	4m x 4m
MPM	Murraya paniculata 'Min-A-Min'	Dwarf Orange Jessamine	24	14cm pot	.9m x .9m
PTS	Pittosporum tenuifolium 'Silver sheen'	Pittosporum	16	20cm pot	3m x 1.5m
WFN	Westringia fruticosa 'Naringa'	Coast Rosemary	11	20cm pot	2m x .8m

GROUND COVERS & LOW SHRUBS

VH	Viola hederacea	Native Violet	36	14cm pot	Prostrate x 2
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TUSsocks / GRASSES / EVERGREEN PERENNIALS

AF	Anigozanthos flavus	Tall Kangaroo Paw	9	20cm pot	1.5m x .6m
LL	Lomandra longifolia	Spiny Headed Mat Rush	6	14cm pot	1m x 1m
LLC	Lomandra confertifolia	Little Con	14	14cm pot	.3m x .3m
LM	Liriope muscari	Liriope	7	14cm pot	.75m x .75m
SM	Salvia 'Mystic Spires Blue'	Saga	18	14cm pot	.9m x .9m



PROJECT: PROPOSED DUAL OCCUPANCY
ADDRESS: 134 - 136 STATION STREET BURWOOD
DATE: 07/08/2020
SHEET SIZE: A1
DESIGNED BY: NJH/MA Landscape Arch. UEL/UK
PROJECT NO. #: L8202
REV # B
DRAWN BY: AS

Keystone Alliance Pty Ltd

713 Plenty Road Reservoir VIC 3073
T 03 9478 8991 M 0414 959 186
E: nina@keystonealliance.com.au
W: keystonealliance.com.au



KEYSTONE
ALLIANCE